



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman
Steven A. Heikin, Clerk
Robert Cook
Blair Hines
Sergio Modigliani
Matthew Oudens
Mark J. Zarrillo

To: Brookline Board of Appeals

From: Brookline Planning Board

Date: August 11, 2016

Subject: Construct dormers

Location: 20 Searle Avenue

Atlas Sheet:	36	Case #:	2016-0049
Block:	177	Zoning:	T-5
Lot:	32	Lot Area (s.f.):	± 3,602

Board of Appeals Hearing: August 25, 2016 at 7:15 PM

SITE AND NEIGHBORHOOD

20 Searle Avenue is a two-and-a-half-story structure that is currently assessed as a two-family dwelling. The dwelling was originally constructed in 1880. The neighborhood consists of mostly single- and two-family homes. The home is located near Emerson Park, businesses along Washington Street and Town Hall.

APPLICANT'S PROPOSAL

The applicants, Ian and Jennifer Roffman, are seeking to add dormers to the third floor of the structure to add more livable space as they convert this dwelling from a two-family to a single-family home. One existing dormer on the east side of the roof will be replaced by a shed dormer and one new shed dormer will be added on the west side of the roof. The dormer will increase space in a proposed new fourth bedroom and a new bathroom by an overall square footage of 78.4 square feet.

A two car garage in the rear yard and a fire escape staircase between the house and the west

property line will be removed. Two cars will be parked in a driveway at the front of the lot adjacent to the house.

FINDINGS

Section 5.43 – Exceptions to Yard and Setback Requirements:

Section 5.60 – Side Yard Requirements:

The dwelling is currently **1.5 feet from the west side property line**, which does not conform to current setback regulation. The addition will not increase the footprint of the structure; however setback relief is required due to the work that is being performed on the existing nonconforming dwelling.

Dimensional Requirements	Required/Allowed	Existing	Proposed	Relief
Side Yard Setback	7.5 feet	1.9 feet	1.9 feet	Special Permit/ Variance*

*The dwelling has a pre-existing non-conforming front setback that is not being altered with this proposal.

Section 8.02.2 – Alteration or Extension

A special permit is required for alterations to a dimensionally nonconforming structure.

PLANNING BOARD COMMENTS

The Planning Board **supports the proposed addition**, which will allow for an additional 78.4 square feet of floor area. The addition will not further encroach on the side yard setback, as the dormer addition will be even with the existing wall on the second story of the dwelling. The structure is currently in violation of the side yard setback on the west side of the property, but will not be affected by the proposed addition. The Board supports granting relief to the side yard setback.

Therefore, the Planning Board recommends approval of the site plan and drawings by Mary McKee Design, dated 1.31.16, for a 78.4 square foot third story dormer with conditions.

1. Prior to the issuance of a building permit, the applicant shall submit a final plan, floor plans and elevations indicating all dimensions and materials subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a landscape plan indicating all counterbalancing amenities.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final floor plans building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.



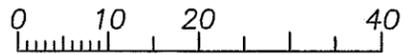
Aerial View of Roof



Front View of 20 Searle Ave

SITE PLAN
 20 SEARLE AVENUE
BROOKLINE, MASSACHUSETTS

1 INCH = 20 FEET



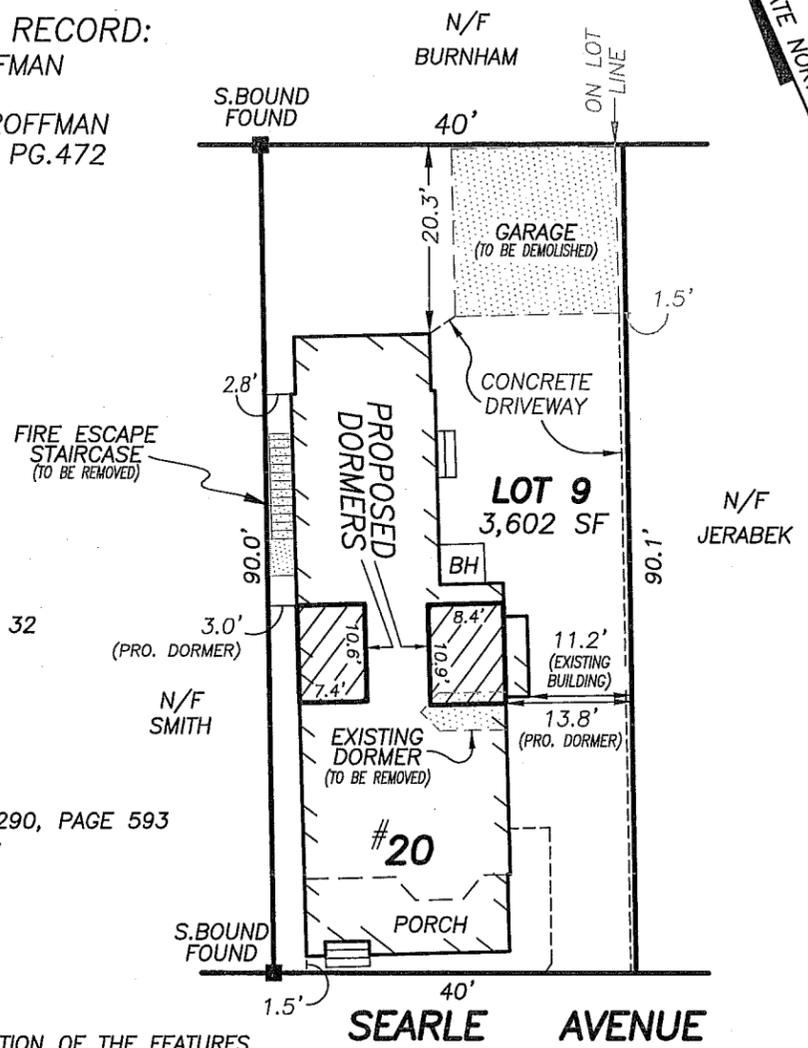
1 INCH = 20 FEET MARCH 24, 2016

SNELLING & HAMEL ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS & ENGINEERS
 10 LEWIS STREET P.O. BOX 102
 LINCOLN, MASSACHUSETTS 01773



OWNERS OF RECORD:

IAN ROFFMAN
 &
 JENNIFER ROFFMAN
 BK.23288 PG.472



- NOTES:
- ZONING DISTRICT: T-5
 - ASSESSORS MAP 36 PARCEL 32

- PLAN REFERENCES:
- PLAN BOOK 6, PLAN 241
 - PLAN RECORDED IN BOOK 1290, PAGE 593
 - PLAN NUMBER 229 OF 1927

I HEREBY STATE THAT THE LOCATION OF THE FEATURES SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED AS OF MARCH 23 2016, WITH THE USE OF A TOPCON TOTAL STATION.

John R. Hamel
 JOHN R. HAMEL
 PROFESSIONAL
 LAND SURVEYOR



MARCH 24, 2016
 DATE:

IAN & JENNIE ROFFMAN RESIDENCE
20 SEARLE AVE
BROOKLINE, MA 02445

March 15, 2016

FAR CALCULATIONS:

T-5 District

Lot size: 3,602 sf

Allowable FAR: 1.0

Permitted Gross Floor Area: 3,602sf

Existing Gross Floor Area:

Basement: unfinished

First Floor: 1,109 SF

Second Floor: 1,070 sf

Third Floor: 460 sf

Total House Floor Area: 2,639 sf

Garage: 333 sf

Total: 2,972 sf

Proposed Gross Floor Area:

Basement: unfinished

First Floor: 1,109 sf

Second Floor: 1,070 sf

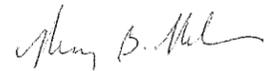
Third Floor: 460 sf + 79 sf = 539 sf

Total House Floor Area: 2,718 sf

DEMOLISH GARAGE = 0 sf

Total: 2,718 sf

Total Gross Floor Area 2,718 / Lot Size 3,602 = FAR 0.75



Mary B. McKee, M. Arch.

Mary McKee Design
55 Ballard Street
Newton, MA 02459
617.872.4040
marybmckee@me.com

Dear Mr. DeAngelis:

I represent my wife, Susan Larrabee, and Carol Smith, the abutters to 20 Searle Avenue.

We reside at 14-16 Searle Avenue.

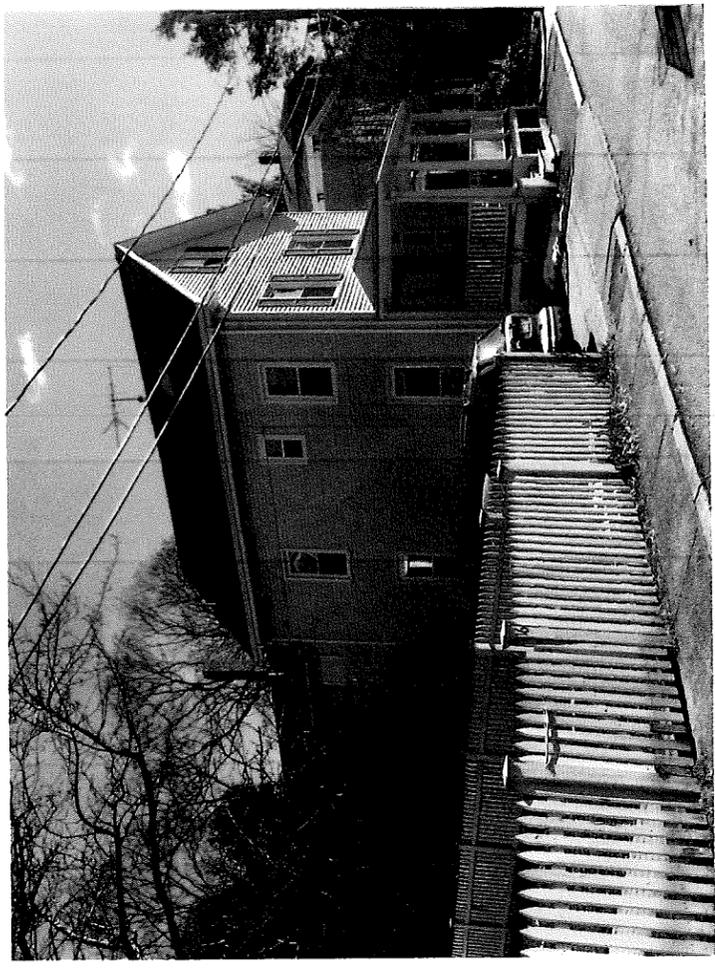
We have no objection to the application for a special permit to install a shed dormer.

Thank you for your attention to this matter.

J. Whitfield Larrabee
Attorney at Law
251 Harvard Street, Suite 9
Brookline, Massachusetts 02446
www.larrabee-law.com
(617) 566-3670

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Pre-Construction Photos





RIVERMOOR ENGINEERING, LLC
PROFESSIONAL ENGINEERS

STRUCTURAL ELEMENTS - RENOVATIONS

Roffman Residence
20 Searle Avenue
Brookline, MA

Mary McKee Design
Newton, MA

RE Project No. 15-369



December 29, 2015

LIMITATIONS

This Report includes specific *structural elements* as required under *The International Residential Code for One- and Two-Family Dwellings (IRC 2009)* and *The Massachusetts Amendments to the IRC (780 CMR 51.00, Eighth Edition)*. The Report does not include non-structural permitting and/or design requirements, including but not limited to field survey, site planning and approvals, zoning bylaw compliance, architectural design, and mechanical/electrical/plumbing design. All such non-structural services are provided by others.

The structural elements specified in this Report are for the Renovation only framing structural elements specified in the sketches and include:

- Steel Beams & Columns
- LVL Posts, Beams & Connections
- Dimensioned Lumber
- Concrete Footings

Existing conditions not addressed or uncovered during construction may require additional engineering services. Contractor to coordinate any issues with the Architect to determine if additional structural engineering services are required.

All engineering associated with lifting, moving, and resetting an existing structure is by others.

The contractor is responsible for providing all required temporary support, shoring, and/or bracing until all structural work has been completed.

The *structural elements* included in this report are based on the framing arrangement provided by others. Refer to the Architect Plans & contractor site measurements for controlled dimensions. Where applicable, coordinate all work with existing conditions.

Rivermoor Engineering assumes no risk with respect to the suitability of the subsurface conditions for the foundation system.

The design of porch, deck, and stair railings and/or the approval of any proprietary railing products is not by Rivermoor Engineering. The design of specialty stairs, including but not limited to monumental stairs, curved stairs, and stairs with unsupported intermediate landings, is not by Rivermoor Engineering.

Corrosion protection of exposed or partially exposed connection hardware (including but not limited to joist hangers, hold-downs, anchor bolts, pile cap connections, machine bolts, lag bolts, nails, and screws) is a maintenance issue. The structural design of such elements does not include a corrosion allowance. All such connection hardware installed in coastal areas shall be stainless steel, unless specifically directed otherwise by the Architect or Owner. The selection of connection material and/or protective coatings in other areas shall be coordinated between the Owner and Contractor.

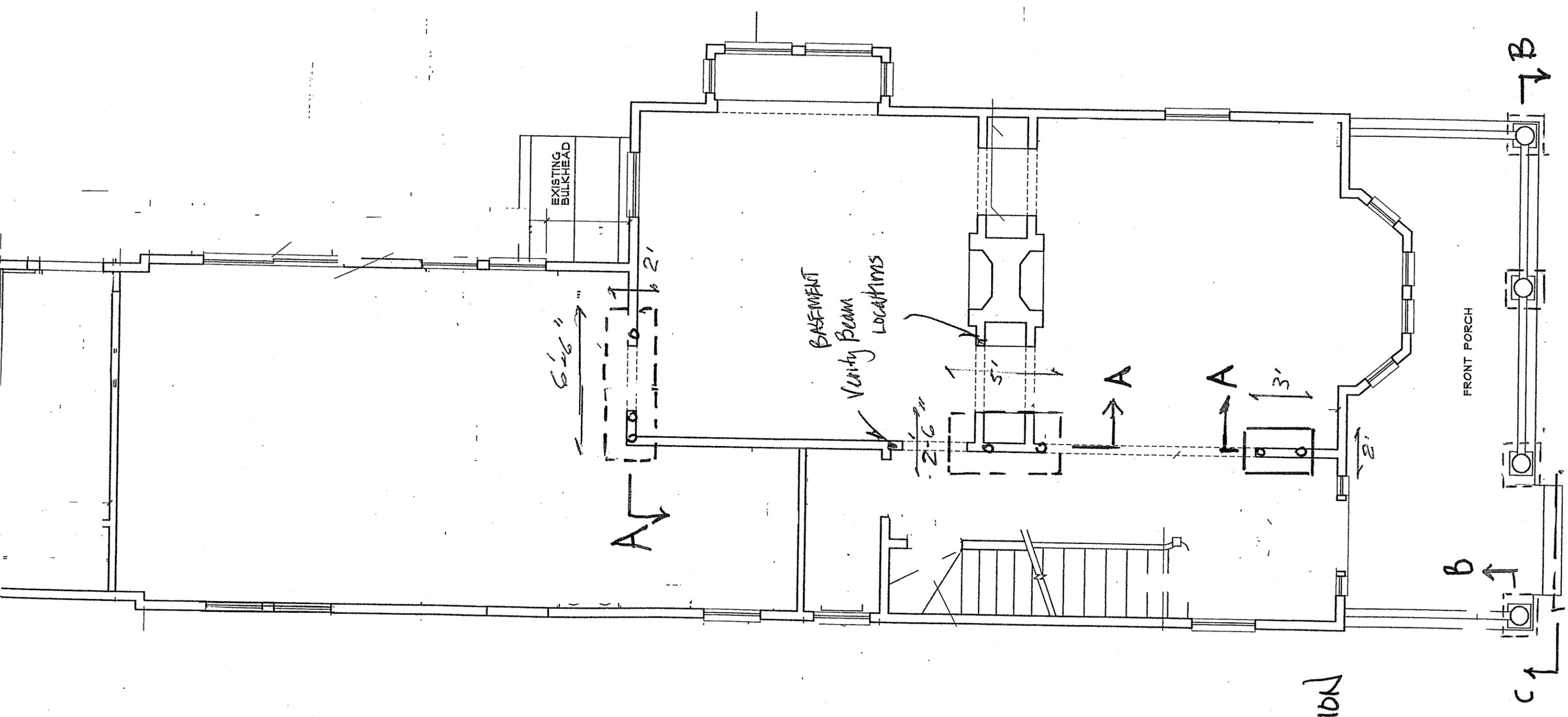
The contractor/builder shall refer to the *IRC* for structural elements and details not included herein.

JOB-SITE SAFETY

Job-site safety is the contractor's responsibility. Although Rivermoor Engineering may visit the job-site on one or more occasions, such visits are for clarification of specific structural design issues only, and are not for the purposes of identifying potential job site safety issues. The US Department of Labor (OSHA) website provides direction in the form of a job-site safety handbook for residential construction that includes- but is not limited to- requirements for head and eye protection, ladder safety, and fall protection. It is the contractor's responsibility to comply with all applicable requirements.

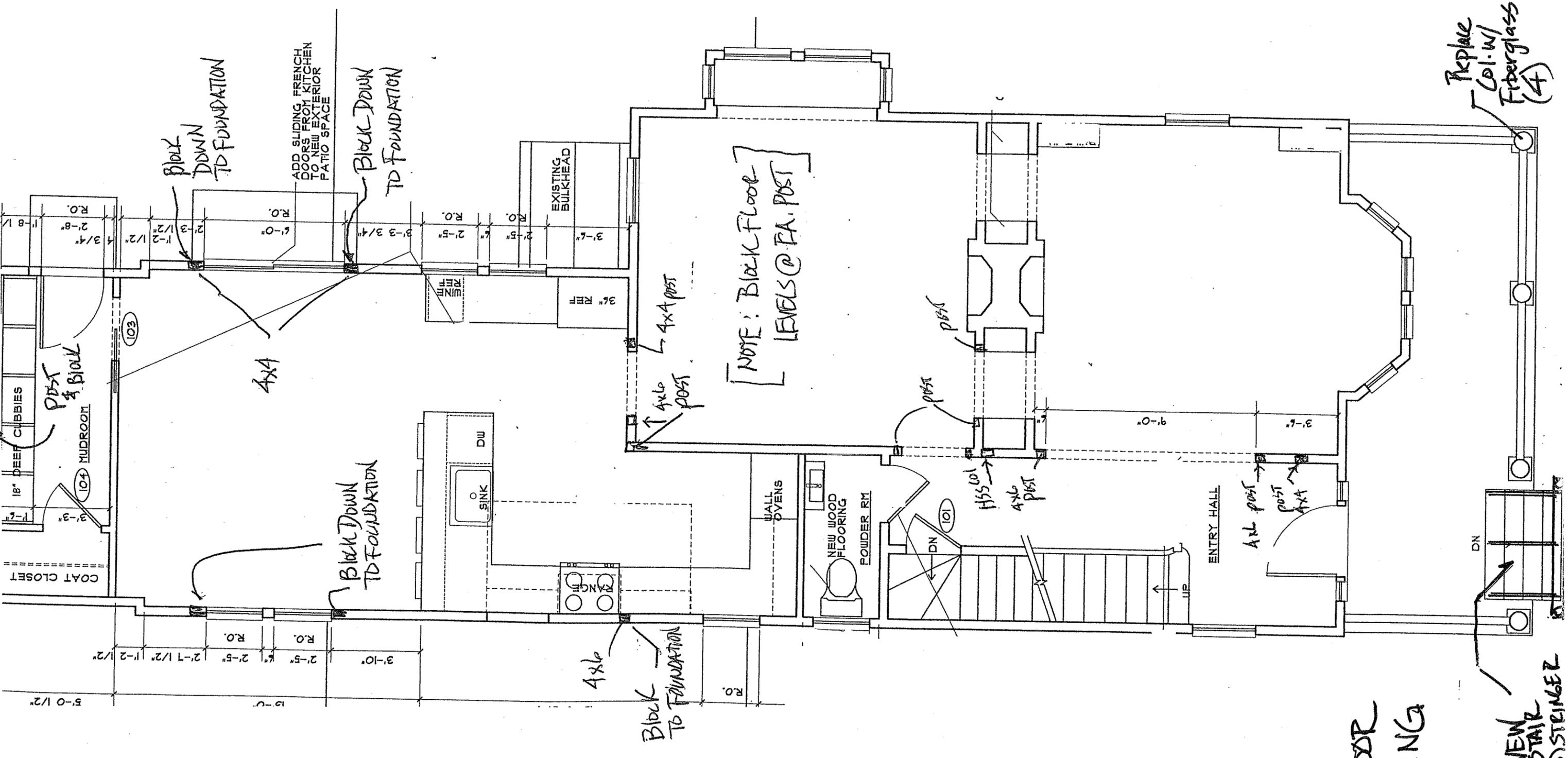
SKETCHES

- 1. Dimensions shown on structural sketches & calcs are for design purposes. Contractor to layout new work to determine exact measurements in order to provide full bearing and fit-up prior to ordering material.**
- 2. The Contractor is responsible for temporary shoring and support of all floors, walls, and roof including means and methods of construction and safety.**
- 3. Only structural elements included in the calculations & marked up on copies of plans produced by others are the addressed in this design package. Refer to other design documents for elevations, architectural and civil engineering code requirements.**
- 4. Any existing structural elements identified by size on the Architect/Designer plans or Engineering sketches must be field verified by the Contractor. If any discrepancies are found, this must be brought to the attention of the Engineer prior to work commencement.**



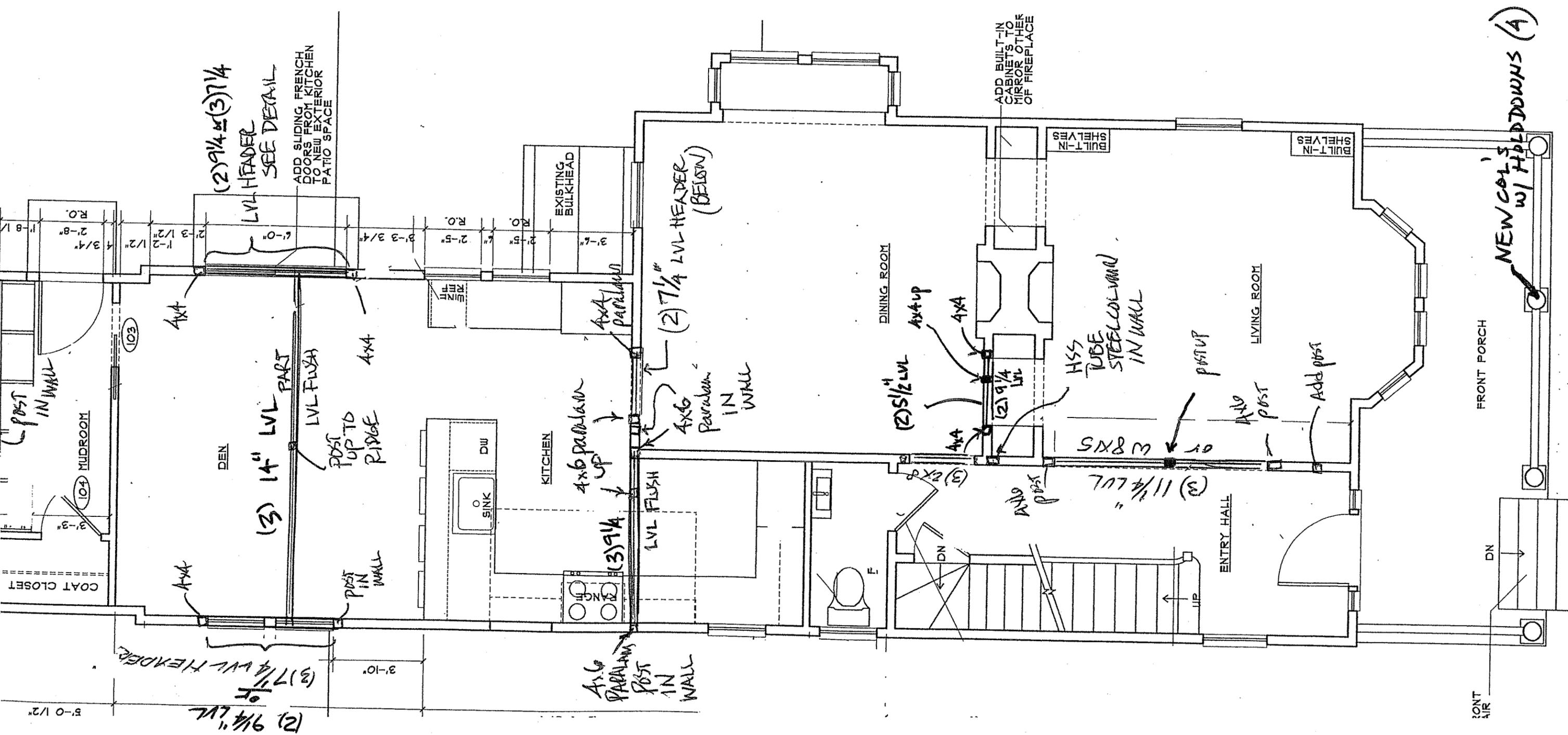
FOUNDATION
PLAN

 <p>RIVERMOOR ENGINEERING, LLC 146 FRONT STREET, SUITE 211 SCITUATE, MASSACHUSETTS 02066 TEL: (781) 545-2848 FAX: (781) 544-7729</p>	<p>TITLE: ROFFMAN RESIDENCE 20 SEARLE AVE. BROOKLINE, MA</p>	<p>DRAWING NO: SK-1 DATE: 12/15 PROJECT NO:</p>
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1ST FLOOR
FRAMING

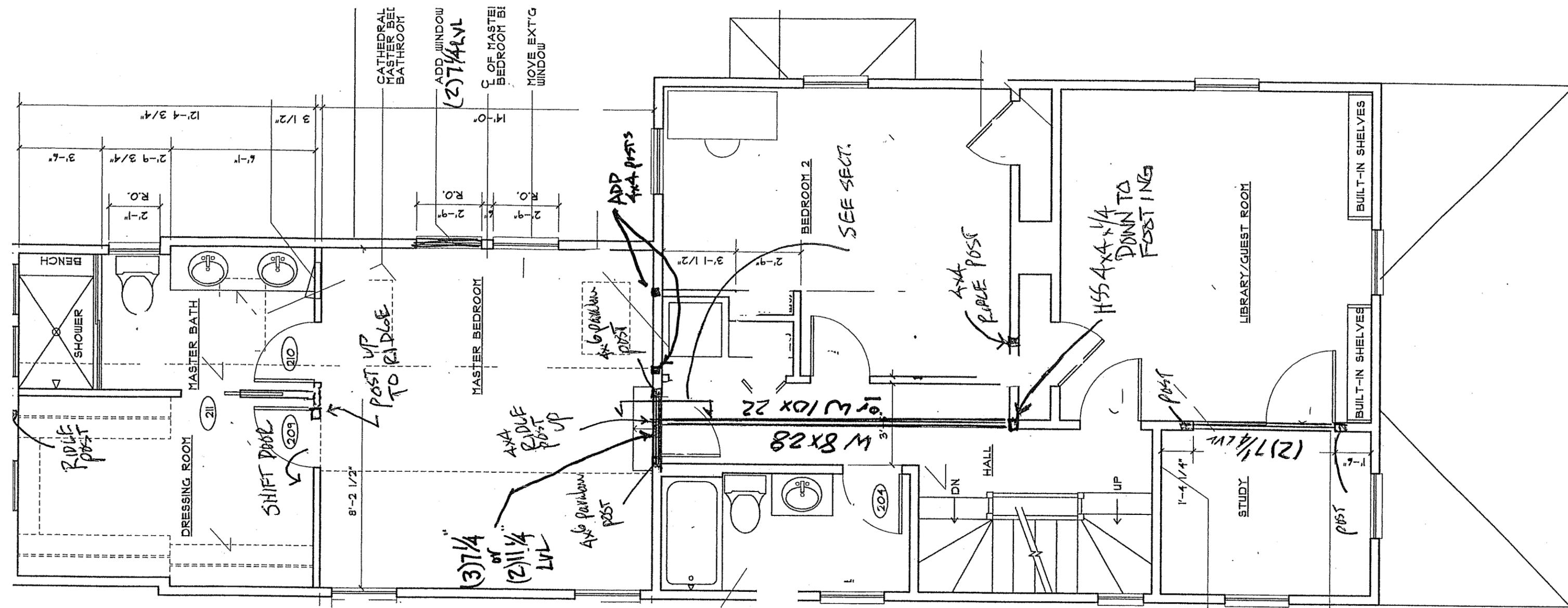
 <p>RIVERMOOR ENGINEERING, LLC 146 FRONT STREET, SUITE 211 SCITUATE, MASSACHUSETTS 02066 TEL: (781) 545-2848 FAX: (781) 544-7729</p>	TITLE:	DRAWING NO:
	<p>PDIFFMAN RESIDENCE 20 SEARLE AVE. BROOKLINE, MA</p>	<p>SK-2</p>
		PROJECT NO:



 <p>RIVERMOOR ENGINEERING, LLC 146 FRONT STREET, SUITE 211 SCITUATE, MASSACHUSETTS 02066 TEL: (781) 545-2848 FAX: (781) 544-7729</p>	TITLE:	DRAWING NO:
	<p>ROFFMAN RESIDENCE 20 SEARLE AVE. BROOKLINE MA</p>	<p>SK-3 12-28-15</p>
		PROJECT NO:

2ND FLOOR
 FRAMING

NEW COLS w/ HALLDOWNS (A)

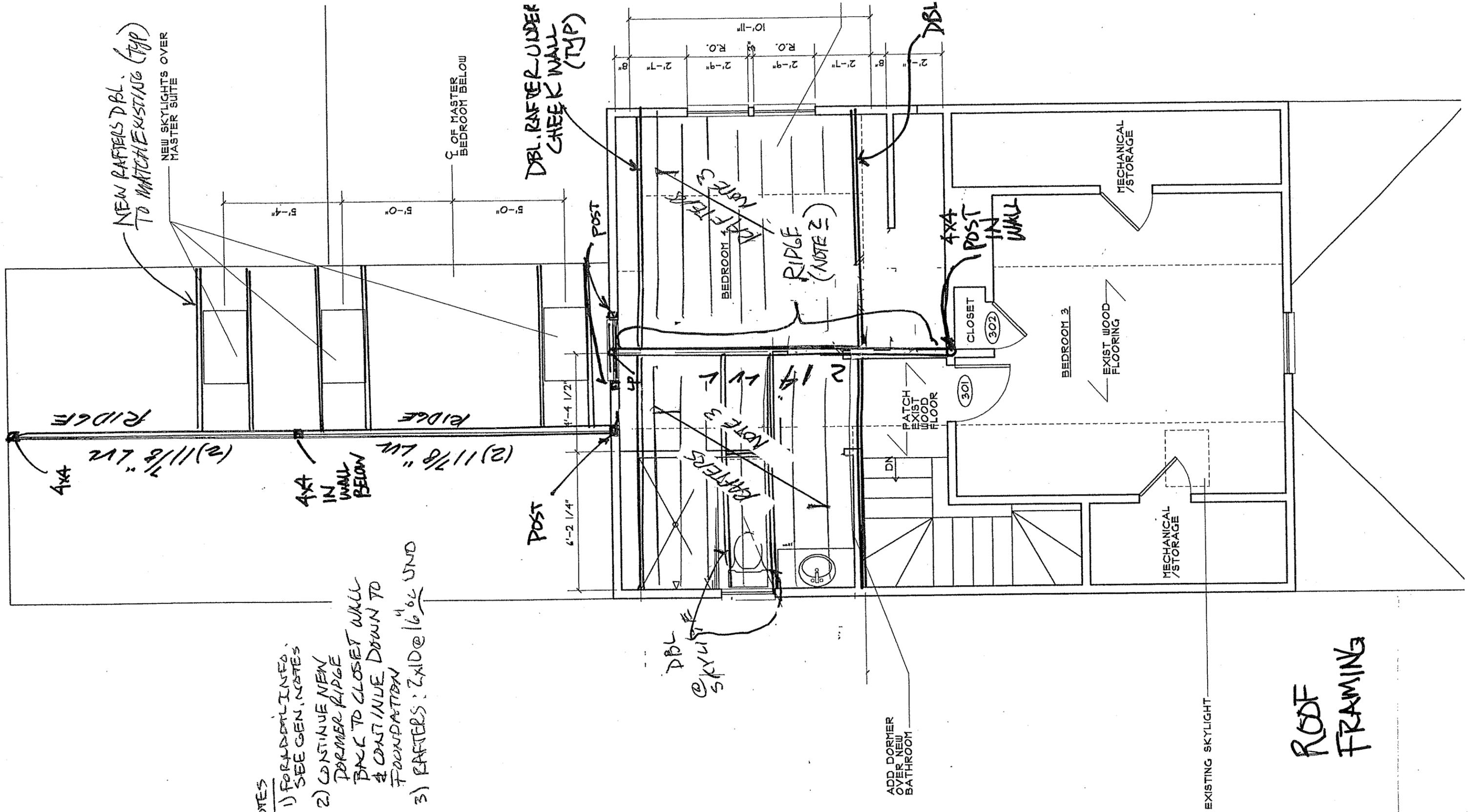


CLOSE OFF OPENING FROM HALLWAY TO STUDY

ADD FRENCH DOORS BETWEEN STUDY & LIBRARY/GUEST

3RD FLOOR FRAMING

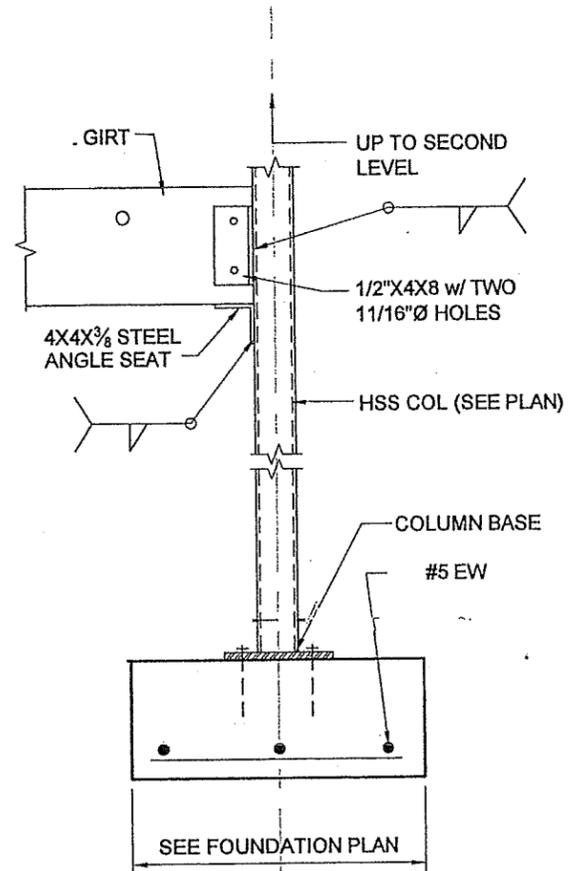
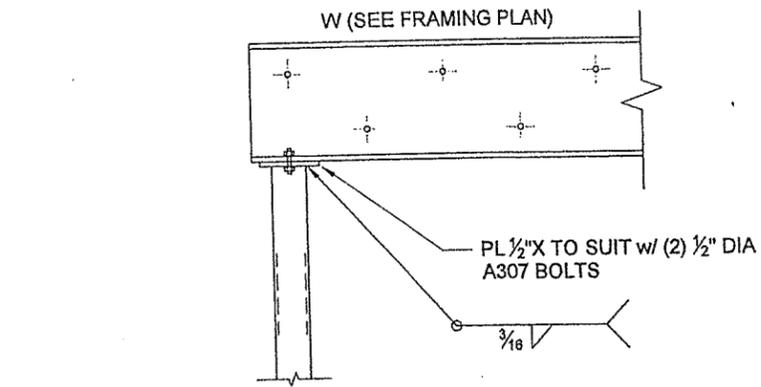
 <p>RIVERMOOR ENGINEERING, LLC 146 FRONT STREET, SUITE 211 SCITUATE, MASSACHUSETTS 02066 TEL: (781) 545-2848 FAX: (781) 544-7729</p>	TITLE:	PLOFFMAN RESIDENCE 20 SEARLE AVE. BROOKLINE MA	DRAWING NO:	SK-4
			DATE:	12-15
			PROJECT NO:	



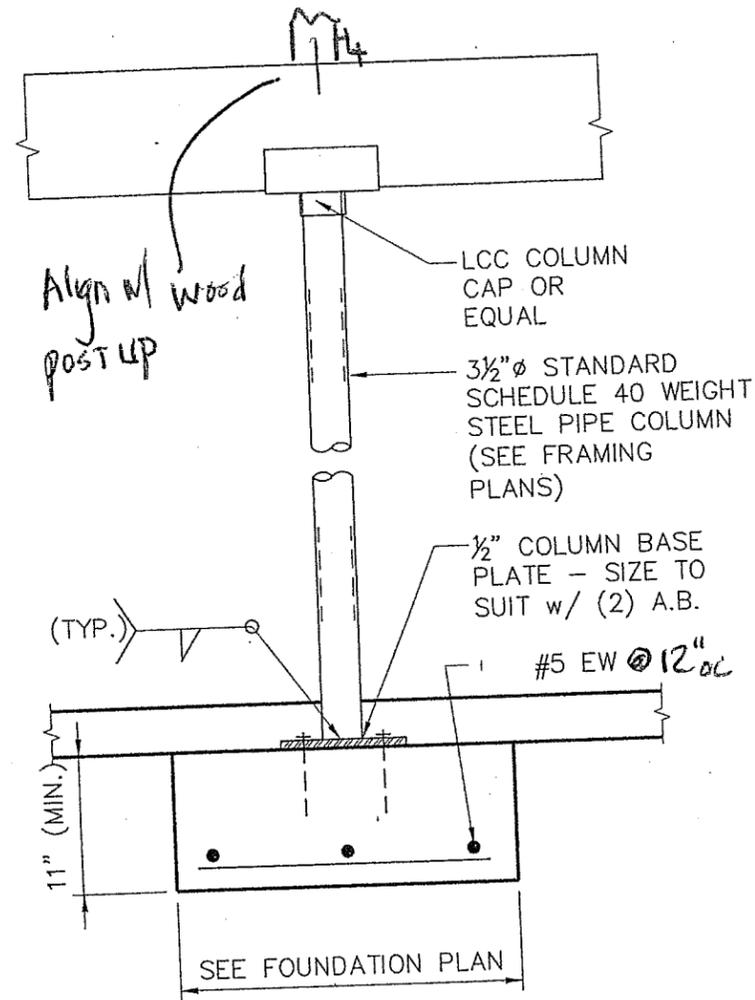
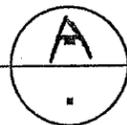
- NOTES**
- 1) FOR ADDITIONAL SEE GEN. NOTES
 - 2) CONTINUE NEW FORMER RIDGE BACK TO CLOSET WALL & CONTINUE DOWN TO FOUNDATION
 - 3) RAFTERS: 2x10 @ 16" ON CENTER

ROOF FRAMING

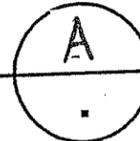
 <p>RIVERMOOR ENGINEERING, LLC 146 FRONT STREET, SUITE 211 SCITUATE, MASSACHUSETTS 02066 TEL: (781) 545-2848 FAX: (781) 544-7729</p>	<p>TITLE: ROFFMAN RESIDENCE 20 SEARLE AVE. BROOKLINE MA</p>	<p>DRAWING NO: SK-5</p>
		<p>DATE: 12-15</p>
<p>PROJECT NO:</p>		



STEEL COLUMN:
SECTION



INTERIOR LALLY COLUMN @ WOOD POSTS
SECTION



DRAWING NO:

SK-6

DATE:

12/15

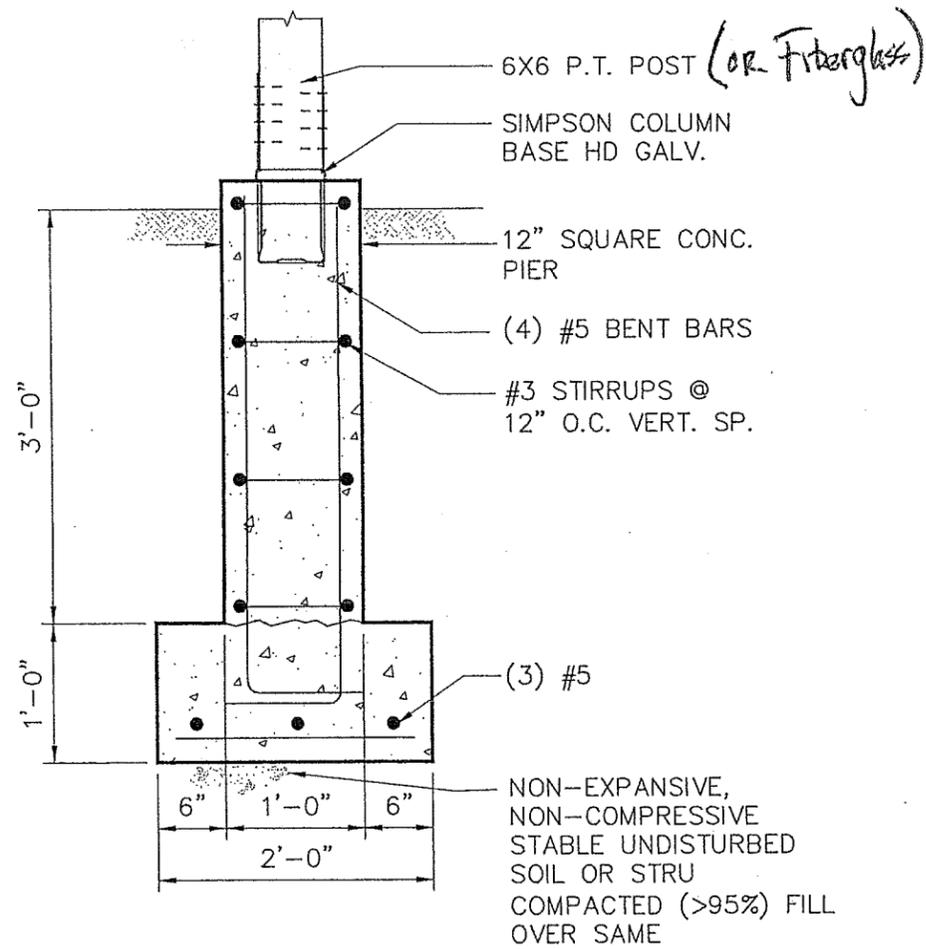
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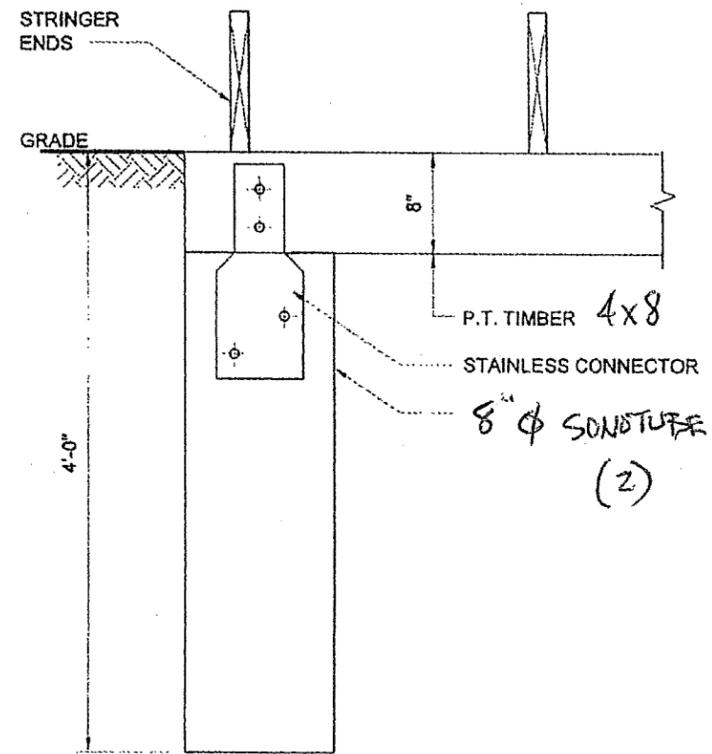
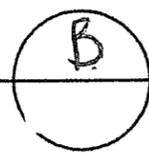
ROFFMAN RESIDENCE
20 SEARLE AVE
BROOKLINE, MA

RIVERMOOR ENGINEERING, LLC
146 FRONT STREET, SUITE 211
SCITUATE, MASSACHUSETTS 02066
TEL: (781) 545-2848
FAX: (781) 544-7729





FOUNDATION PIER @ DECK POST
SECTION



TYPICAL STAIR LANDING
SECTION C

DRAWING NO: SK-7

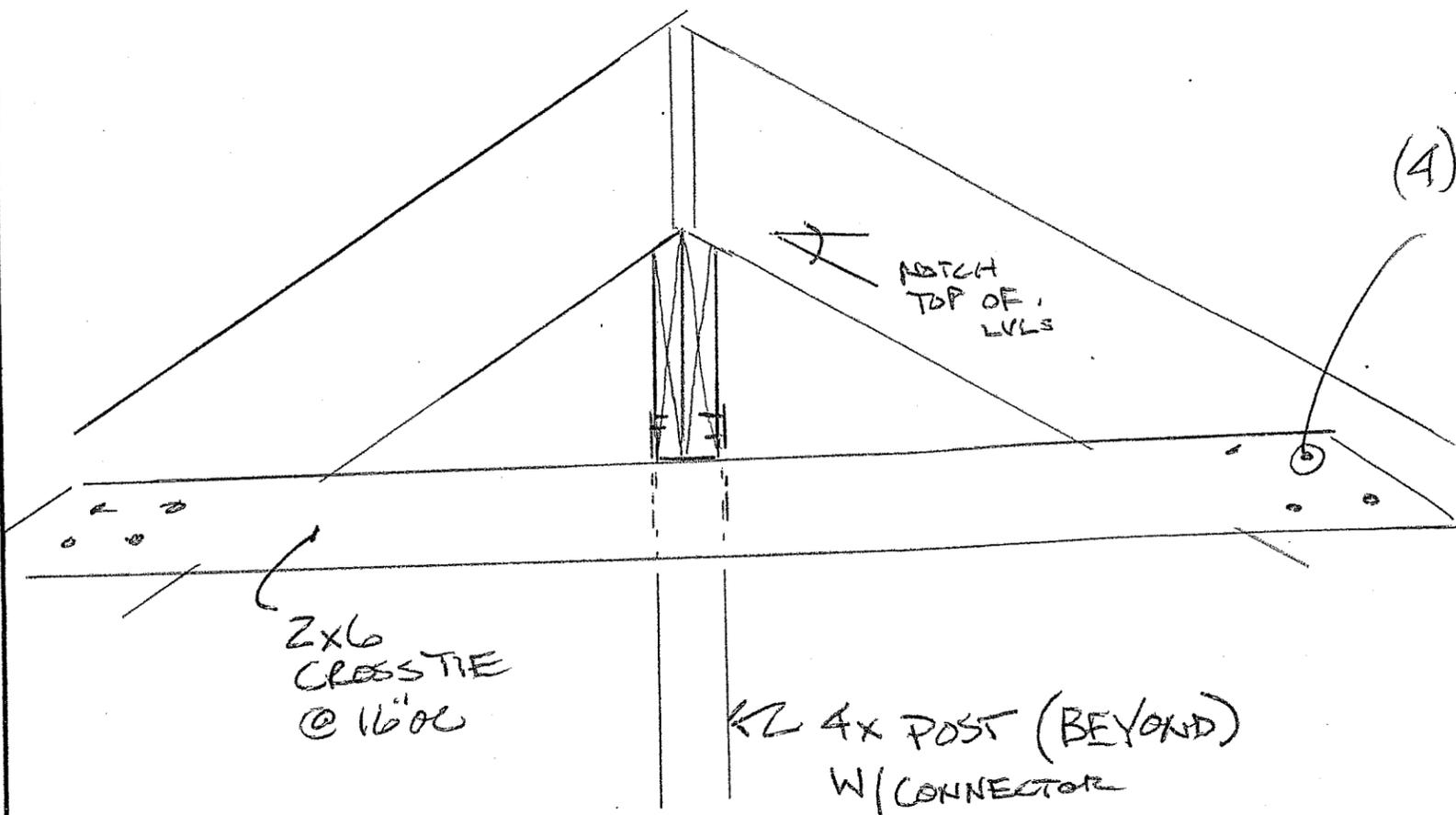
DATE: 12/15

PROJECT NO:

TITLE: ROFFMAN RESIDENCE
20 SEARLE AVE.
BROOKLINE, MA

RIVERMOOR ENGINEERING, LLC
146 FRONT STREET, SUITE 211
SCITUATE, MASSACHUSETTS 02066
TEL: (781) 545-2848
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2x6
CROSS TIE
@ 16" OC

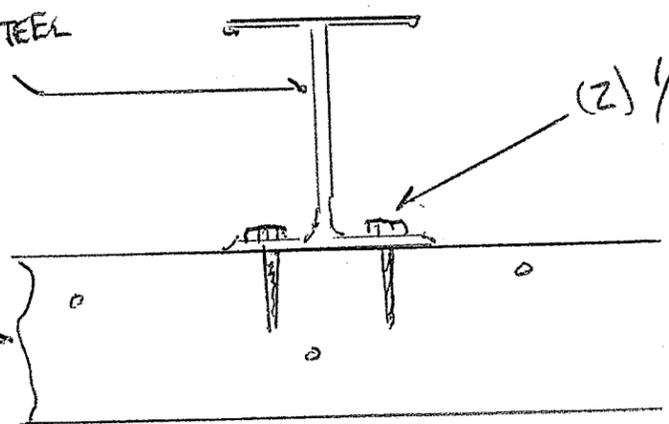
K2 4x POST (BEYOND)
W/ CONNECTOR

LVL RIDGE

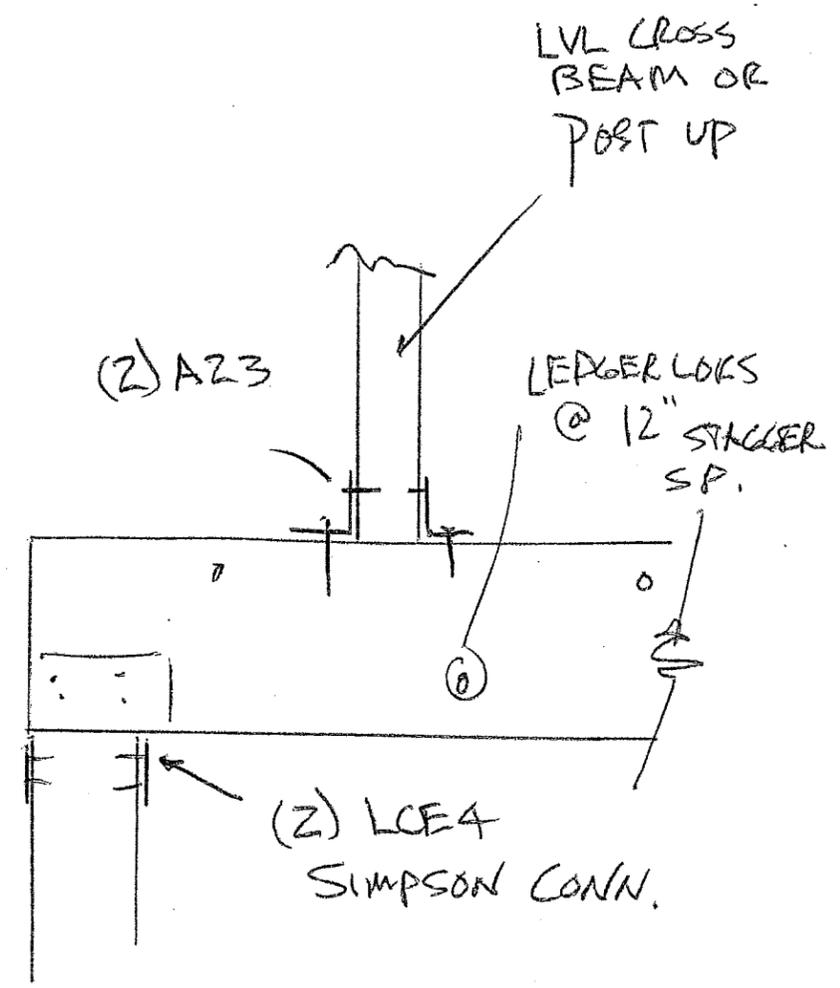
W STEEL

(2) 1/2" LAG
BOLTS

LVL
HEADER



STEEL BEAM ON LVL HDR.



(2) A23

LEDGER LOGS
@ 12" STAGGER
SP.

(2) LCE4
SIMPSON CONN.

TYPICAL POST / LVL

CONNECTIONS

DRAWING NO: SK-8

DATE: 12/15

PROJECT NO:

TITLE:
ROFFMAN RESIDENCE
20 SEARLE AVE.
BROOKLINE, MA

RIVERMOOR ENGINEERING, LLC
146 FRONT STREET, SUITE 211
SCITUATE, MASSACHUSETTS 02066
TEL: (781) 545-2848
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STRUCTURAL GENERAL NOTES
ROFFMAN RESIDENCE 20 SEARLE AVENUE BROOKLINE, MA

GENERAL

USE STRUCTURAL SKETCHES IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. COORDINATE ALL STRUCTURAL WORK WITH THE WORK SHOWN ON ARCHITECTURAL DRAWINGS AND WITH THE WORK OF OTHER TRADES, INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, AND WITH SITE DRAWINGS. CONSULT THESE DRAWINGS AND COORDINATE WITH OTHER TRADES FOR LOCATIONS AND DIMENSIONS OF PIPES, OPENINGS, CHASES, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL SKETCHES.

FASTENERS UTILIZED FOR FRAMING CONNECTORS SHALL BE THE TYPE, SIZE, AND QUANTITY SPECIFIED IN THE FRAMING CONNECTOR MANUFACTURER'S CATALOG.

ALL OTHER FASTENERS SHALL BE COMMON NAILS AS INDICATED OR IN ACCORDANCE WITH THE CODE FASTENER SCHEDULES WHERE NOT INDICATED. IF THE CONTRACTOR PROPOSES TO UTILIZE NAIL GUN FASTENERS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DOCUMENTATION CONCERNING THE SUITABILITY OF THE PROPOSED FASTENERS AS SUBSTITUTES FOR COMMON NAILS.

FOR ELEMENTS NOT INCLUDED AS PART OF THIS PACKAGE, ALL WORK SHALL CONFORM TO THE WFCM AND IRC AS AMENDED.

DIMENSIONS SHOWN ARE FOR DESIGN PURPOSES ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS. WHERE APPLICABLE COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING AND FOR CONSTRUCTION SITE SAFETY.

ALL WORK SHALL BE SUPERVISED BY A CONSTRUCTION SUPERVISOR LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS.

THE WORK SHALL COMPLY WITH ALL LOCAL PERMIT APPROVAL DOCUMENTS, BYLAWS, ZONING REGULATIONS, AND CONSERVATION COMMISSION ORDER OF CONDITIONS, AS APPLICABLE.

MATERIAL SUBSTITUTIONS

THE STRUCTURAL DESIGN FOR THIS PROJECT IS BASED ON USING THE PRODUCTS AND MATERIALS SPECIFIED HEREIN, INCLUDING BUT NOT LIMITED TO LAMINATED VENEER LUMBER, PARALLEL STRAND LUMBER, AND ENGINEERED WOOD JOISTS. THE CONTRACTOR IS RESPONSIBLE FOR ANY SUBSTITUTIONS MADE FOR THE SPECIFIED PRODUCTS. IF THE CONTRACTOR REQUIRES RIVERMOOR'S CONCURRENCE FOR PRODUCT SUBSTITUTIONS, SUBMIT MEMBER DESIGN PROPERTIES FOR PROPOSED PRODUCTS.

CODE

THE INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS (IRC 2009)

THE MASSACHUSETTS RESIDENTIAL CODE (780 CMR 51.00) EIGHTH EDITION (MA AMENDMENTS TO THE IRC)

MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7-05

STEEL CONSTRUCTION MANUAL, AISC, THIRTEENTH EDITION

LIVE LOADS

BASIC WIND SPEED: 100 MPH (MASS AMENDMENTS)
WIND EXPOSURE CATEGORY: B
GROUND SNOW LOAD: 40 PSF (MASS AMENDMENTS)
LIVING AREAS: 40 PSF
SLEEPING AREAS: 30 PSF
ATTICS WITH FIXED STAIR ACCESS: 30 PSF
ATTIC WITH STORAGE AND NO FIXED STAIR: 20 PSF
ATTIC WITHOUT STORAGE: 10 PSF (LESS THAN 42" VERTICAL CLEARANCE)
PORCHES AND DECKS: 40 PSF
BALCONIES: 40 PSF

FOUNDATIONS (NEW FOOTINGS)

NOTIFY DIG SAFE PRIOR TO FOUNDATION EXCAVATION

THE MINIMUM CONCRETE REQUIREMENTS SHALL BE AS FOLLOWS:

- FOOTINGS
 - COMPRESSIVE STRENGTH: 3,000 PSI @ 28 DAYS
 - AIR ENTRAINMENT: NOT REQUIRED
- INTERIOR FOUNDATION WALLS
 - COMPRESSIVE STRENGTH: 3,000 PSI @ 28 DAYS
 - MAXIMUM SLUMP: 6"
 - AIR ENTRAINMENT: NOT REQUIRED
- PERIMETER FOUNDATION WALLS
 - COMPRESSIVE STRENGTH: 3,000 PSI @ 28 DAYS
 - MAXIMUM SLUMP: 6"
 - AIR ENTRAINMENT: 5 TO 7%

REINFORCING STEEL

#3 BARS: ASTM A615 GR 40 (MIN)
#4 AND LARGER BARS: ASTM A615 GR 60
WWF: ASTM A185

THE DESIGN OF FOUNDATIONS AND BASEMENT/CRAWL SPACE SLABS IS BASED ON A GROUNDWATER ELEVATION BELOW THE BASEMENT FLOOR LEVEL. THE FOUNDATION AND BASEMENT/CRAWLSPACE SLABS HAVE NOT BEEN DESIGNED FOR ANY NET UPLIFT PRESSURE DUE TO HIGHER GROUNDWATER ELEVATIONS. VERIFICATION OF THE ACTUAL GROUNDWATER ELEVATION, INCLUDING ANY SEASONAL FLUCTUATION, IS NOT BY RIVERMOOR ENGINEERING.

THE DESIGN OF FOUNDATION ELEMENTS IS BASED ON AN ALLOWABLE PRESUMPTIVE SOIL BEARING PRESSURE OF 3,000 PSF, WHICH CORRESPONDS TO UNDISTURBED SANDY GRAVEL AND/OR GRAVEL WITH NO COMPRESSIBLE OR ORGANIC MATERIAL, OR BETTER.

THE ACTUAL SOIL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR. ALL FOUNDATION ELEMENTS SHALL BE PLACED EITHER ON UNDISTURBED MATERIAL OR ON A MAXIMUM OF 12" COMPACTED GRANULAR FILL. NOTIFY THE ENGINEER IF THE PRESUMED SOIL CONDITIONS ARE NOT APPLICABLE.

FOUNDATION DETAILS ARE BASED ON CONTINUOUS PLACEMENT OF FOUNDATION WALL CONCRETE. NOTIFY THE ENGINEER IF HORIZONTAL CONSTRUCTION JOINTS ARE PLANNED.

PROTECT FOUNDATION AND SLAB SUBGRADE FROM THE ACCUMULATION OF GROUNDWATER AND FROM FREEZING THROUGHOUT THE CONSTRUCTION PERIOD.

ALL FOUNDATION WALLS WITH UNBALANCED SOIL LOADING SHALL BE BACKFILLED WITH FREE-DRAINING GRANULAR MATERIAL AND SHALL HAVE PERIMETER DRAINAGE ALONG THE BASE OF THE WALLS. WALLS SHALL NOT BE BACKFILLED UNTIL FIRST FLOOR FRAMING AND SHEATHING AND BASEMENT FLOOR SLAB ARE IN PLACE.

AT LOCATIONS WHERE NEW FOUNDATIONS MEET EXISTING, STEP NEW FOUNDATIONS UP OR DOWN AS REQUIRED TO MATCH THE EXISTING BOTTOM OF FOOTING ELEVATION. DO NOT PLACE NEW FOUNDATION ELEMENTS ON PREVIOUSLY DISTURBED MATERIAL OR ON PREVIOUSLY PLACED BACKFILL.

AT LOCATIONS WHERE BOTTOM OF FOOTING ELEVATIONS VARY, PROVIDE STEPPED FOOTING TRANSITION. DO NOT PLACE NEW FOUNDATION ELEMENTS ON PREVIOUSLY DISTURBED MATERIAL OR ON UNCONTROLLED BACKFILL.

IF LEDGE IS ENCOUNTERED ABOVE THE MINIMUM FROST DEPTH, PIN FOUNDATION WALLS TO LEDGE WITH #4 BARS DRILLED AND EPOXY GROUTED WITH 8" MINIMUM EMBEDMENT AT 4 FT OC UNLESS NOTED OTHERWISE.

REFER TO ARCHITECTURAL DRAWINGS FOR LIMITS AND DETAILS FOR FOUNDATION WALL INSULATION, WATERPROOFING, AND/OR DAMPPROOFING.

STRUCTURAL STEEL

WIDE FLANGE SHAPES: ASTM A992 GR 50.
PIPE COLUMNS: ASTM A53 GRADE B
SQUARE COLUMNS: ASTM A500 GRADE B
MISC PLATES: ASTM A36
HIGH STRENGTH BOLTS: ASTM A325
COMMON BOLTS: ASTM A307
WELDING ELECTRODE: E70XX

ALL BEAMS SHALL BE SHOP DRILLED OR PUNCHED TO ACCOMMODATE TOP FLANGE NAILERS AND/OR WEB PADDING AS INDICATED OR REQUIRED.

FLUSH BEAM WEB PADDING: UNLESS OTHERWISE INDICATED, WEB PADDING SHALL CONSIST OF LVL, RIPPED TO FIT TIGHT BETWEEN FLANGES, AND SHIMMED TO BE FLUSH WITH THE FLANGES. PADDING SHALL BE FASTENED TO THE BEAM WEB WITH 1/2" DIA COMMON BOLTS AT 16" OC (STAGGERED).

FRAMING CONNECTIONS NOT DETAILED ON THE SKETCHES SHALL BE DESIGNED BY THE STEEL FABRICATOR FOR ONE-HALF OF THE BEAM CAPACITY BASED ON THE APPLICABLE AISC UNIFORM LOAD TABLES.

SUBMIT SHOP DRAWINGS SHOWING MEMBER SIZES, LAYOUT DIMENSIONS, AND CONNECTION DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING SHOP DRAWINGS FOR COMPLIANCE WITH STRUCTURAL SKETCHES, FOR CORRECTNESS OF DIMENSIONS AND ELEVATIONS, AND FOR COORDINATION WITH OTHER WORK.

DIMENSION LUMBER

ALL INTERIOR OR OTHERWISE PROTECTED DIMENSION LUMBER SHALL BE SPRUCE-PINE-FIR (SPF) GRADE NO. 2 OR BETTER FOR RAFTERS, JOISTS, HEADERS, AND STUDS, UNLESS NOTED OTHERWISE.

DIMENSION LUMBER FOR THE FOLLOWING LOCATIONS SHALL BE PRESSURE PRESERVATIVE-TREATED SOUTHERN PINE #2 OR BETTER:

- PORCHES, DECKS, AND OTHER FRAMING EXPOSED TO THE WEATHER
- INTERIOR WOOD JOISTS WITHIN 18" OF EXPOSED GROUND
- INTERIOR TIMBER OR BUILT-UP BEAMS WITHIN 12" OF EXPOSED GROUND
- SILL PLATES
- ALL FRAMING MEMBERS SUPPORTED ON CONCRETE OR MASONRY EXTERIOR FOUNDATIONS LESS THAN 8" FROM EXPOSED GROUND
- ALL WALL FRAMING AND SHEATHING LESS THAN 6" FROM EXPOSED GROUND

- TIMBER OR BUILT-UP BEAMS IN CONCRETE OR MASONRY BEARING POCKETS WITH LESS THAN 1/2" CLEARANCE AT TOP, SIDES, AND ENDS
- WOOD FRAMING AND SHEATHING SUPPORTING CONCRETE OR TILE OVERLAYS EXPOSED TO THE WEATHER
- INTERIOR WOOD LEDGERS FASTENED TO CONCRETE OR MASONRY WALLS

ALL WOOD IN CONTACT WITH THE GROUND SHALL BE RATED AS SUCH.

ALL DIMENSION LUMBER SHALL BE IDENTIFIED BY THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY.

LUMBER SHALL BE GENERALLY FREE FROM SPLITS & WARPAGE THAT CANNOT BE CORRECTED BY BRIDGING OR NAILING. MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19% AT THE TIME OF CONSTRUCTION.

LAMINATED VENEER LUMBER (LVL)

LAMINATED VENEER LUMBER SHALL BE 1.9E TJ MICROLAM LVL BY TRUS JOIST, OR APPROVED EQUAL, UNLESS OTHERWISE INDICATED.

PARALLEL STRAND LUMBER (PSL)

PARALLEL STRAND LUMBER SHALL BE 2.0E PARALLAM PSL BY TRUS JOIST, OR APPROVED EQUAL, UNLESS OTHERWISE INDICATED.

ENGINEERED WOOD JOISTS

JOISTS AND ACCESSORIES INCLUDING RIM JOISTS SHALL BE THE PRODUCTS OF TRUS JOIST, OR APPROVED EQUAL.

SHEATHING

ALL ROOF, FLOOR, AND WALL PANELS SHALL BE APA RATED EXPOSURE 1 SHEATHING COMPLYING WITH DOC PS 1 AND PS 2.

FULL 4X8 PANELS SHALL BE USED TO THE MAXIMUM EXTENT PRACTICABLE.

FLOOR SHEATHING (BLOCKED STRUCTURAL DIAPHRAGM, WHERE INDICATED)

MINIMUM SPAN RATING: 32/16

MINIMUM THICKNESS: 3/4 IN

GLUED AND NAILED WITH TONGUE AND GROOVE JOINTS

FASTENERS: 8d COMMON AT X" OC ALONG SUPPORTED EDGES AND 12" OC

INTERMEDIATE

ALL SHEATHING EDGES SHALL BE SUPPORTED; PROVIDE 2x SOLID BLOCKING

AS REQUIRED

NOTE: USE APA RATED STURD-I-FLOOR OR ADVANTECH IF SPECIFIED ON ARCHITECTURAL DRAWINGS.

ROOF SHEATHING (100 MPH)

MINIMUM SPAN RATING: 32/16

MINIMUM THICKNESS: 5/8 IN

FASTENERS: 8d COMMON

FASTENER SPACING

GENERAL: 4" OC ALONG SUPPORTED EDGES AND 6" OC INTERMEDIATE

WITHIN 4 FT OF GABLE END WALLS: 4" OC

WALL SHEATHING (SHEAR WALL PANELS)

MINIMUM THICKNESS: 7/16 IN
FASTENERS: 8D COMMON SPACED @ 3" OC ALONG
SUPPORTED EDGES AND 12" OC INTERMEDIATE
ALL PANEL EDGES SHALL BE SUPPORTED; PROVIDE FULL-DEPTH BLOCKING
ALONG ALL HORIZONTAL PANEL EDGES
SEE WALL BRACING ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL
REQUIREMENTS

SILL ANCHORAGE, HOLD-DOWNS, AND FRAMING CONNECTORS

ALL STRUCTURAL FRAMING CONNECTIONS, UNLESS SPECIFICALLY NOTED OTHERWISE, SHALL BE "STRONG TIE" AS MANUFACTURED BY THE SIMPSON CO. IN ACCORDANCE WITH "WOOD CONSTRUCTION CONNECTORS" CATALOG C-2009. ALL FASTENERS (TYPE, SIZE, AND QUANTITY) SPECIFIED IN SIMPSON'S CONNECTOR SCHEDULE SHALL BE INSTALLED.

SILL PLATE ANCHOR BOLT OPTIONS:

CAST-IN-PLACE: 5/8" DIA ASTM A307 GALVANIZED J-BOLTS OR HEADED BOLTS WITH GALVANIZED 1/4 X 3X3 PLATE WASHERS AND NUTS. ANCHOR BOLT EMBEDMENT SHALL BE 7" (MINIMUM).

DRILLED-IN: SIMPSON TITEN HD MODEL THD62800H WITH GALVANIZED 1/4 X 3X3 PLATE WASHERS.

FOR ANCHOR BOLT LAYOUT, SEE STRUCTURAL SKETCHES.

SHEAR WALL HOLD-DOWN ANCHOR BOLT OPTIONS:

CAST-IN-PLACE: SIMPSON SSTB SERIES ANCHOR BOLTS OR AS NOTED ON SKETCHES

DRILLED-IN: SIMPSON ET EPOXY-TIE ADHESIVE WITH ASTM A307 HOT DIP GALVANIZED THREADED ROD UNLESS NOTED OTHERWISE

REFER TO STRUCTURAL SKETCHES FOR ADDITIONAL INFORMATION

ALL CONNECTORS AND FASTENERS FOR PRESSURE PRESERVATIVE TREATED WOOD SHALL BE SHOP-COATED AND/OR STAINLESS STEEL TO SUIT THE SPECIFIC EXPOSURE(S) AND WOOD PRESERVATIVE(S) IN ACCORDANCE WITH SIMPSON STRONG-TIE RECOMMENDATIONS. THE CONTRACTOR SHALL REVIEW DOCUMENTATION CONTAINED IN THE SIMPSON STRONG-TIE CATALOG AND PROVIDE CONNECTORS AND FASTENERS THAT ARE ACCEPTABLE FOR THE EXPOSURE AND CHEMICAL PRESERVATIVES USED ON THE PROJECT. THE REVIEW SHALL CONSIDER THE TYPE OF PRESERVATIVE(S), PRESERVATIVE RETENTION LEVEL(S), AND EXPOSURE ENVIRONMENT(S).

ALL CONNECTORS AND FASTENERS FOR EXPOSED PORCH AND DECK FRAMING IN COASTAL ENVIRONMENTS SHALL BE STAINLESS STEEL.

WHERE SO NOTED ON ARCHITECTURAL DRAWINGS, PROVIDE STAINLESS STEEL CONNECTORS AND FASTENERS REGARDLESS OF EXPOSURE.

FRAMING INSTALLATION

ALL FRAMING SHALL BE ERECTED TRUE TO LINE, PLUMB AND LEVEL, AND SHALL BE FASTENED/HUNG TO DEVELOP THE FULL STRENGTH OF THE ASSEMBLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

DIMENSION LUMBER JOISTS FRAMING INTO FLUSH STEEL OR LVL BEAMS SHALL BE SET 1/4" ABOVE THE TOP OF BEAM ELEVATION TO ACCOMMODATE SHRINKAGE.

ALL CONTINUOUS WOOD AND/OR STEELPOSTS SHALL BE Laterally BRACED IN BOTH DIRECTIONS AT EACH FLOOR AND CEILING LEVEL.

ALL ENGINEERED PRODUCTS SHALL BE STORED AND INSTALLED IN ACCORDANCE WITH PRODUCT MANUFACTURERS' SPECIFICATIONS AND INSTALLATION DETAILS. WITH THE EXCEPTION OF MANUFACTURER-PROVIDED KNOCKOUTS, NO HOLES SHALL BE FIELD-DRILLED IN MEMBERS. IF HOLES ARE REQUIRED, NOTIFY THE ENGINEER PRIOR TO ORDERING AFFECTED MEMBERS.

FLOOR SHEATHING SHALL BE GLUED AND NAILED.

PROVIDE 2X WOOD BLOCKING OR RIM JOIST AT ALL SAWN LUMBER FLOOR JOIST SUPPORT POINTS. FOR SAWN LUMBER JOISTS EXCEEDING 2X12, PROVIDE BLOCKING AT INTERVALS NOT EXCEEDING 8 FT.

PROVIDE BLOCKING OR RIM BOARD AT ALL ENGINEERED FLOOR JOIST SUPPORT POINTS. USE JOIST MANUFACTURER'S PRODUCTS AND COMPLY WITH JOIST MANUFACTURER'S INSTALLATION DETAILS.

PROVIDE 2X SOLID BLOCKING AT ALL RAFTER TAILS.

PROVIDE DOUBLE FLOOR JOISTS OR BLOCKING BELOW ALL NEW INTERIOR PARTITION WALLS.

PROVIDE DOUBLE FLOOR JOISTS WITHIN LIMITS OF TUBS.

COORDINATE KITCHEN ISLAND AND OTHER SPECIAL LOADING CONDITIONS WITH THE ENGINEER.

SIZES OF DIMENSION LUMBER ARE NOMINAL. ALL LUMBER SHALL BE SURFACED FOUR SIDES, UNLESS NOTED OTHERWISE.

STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.

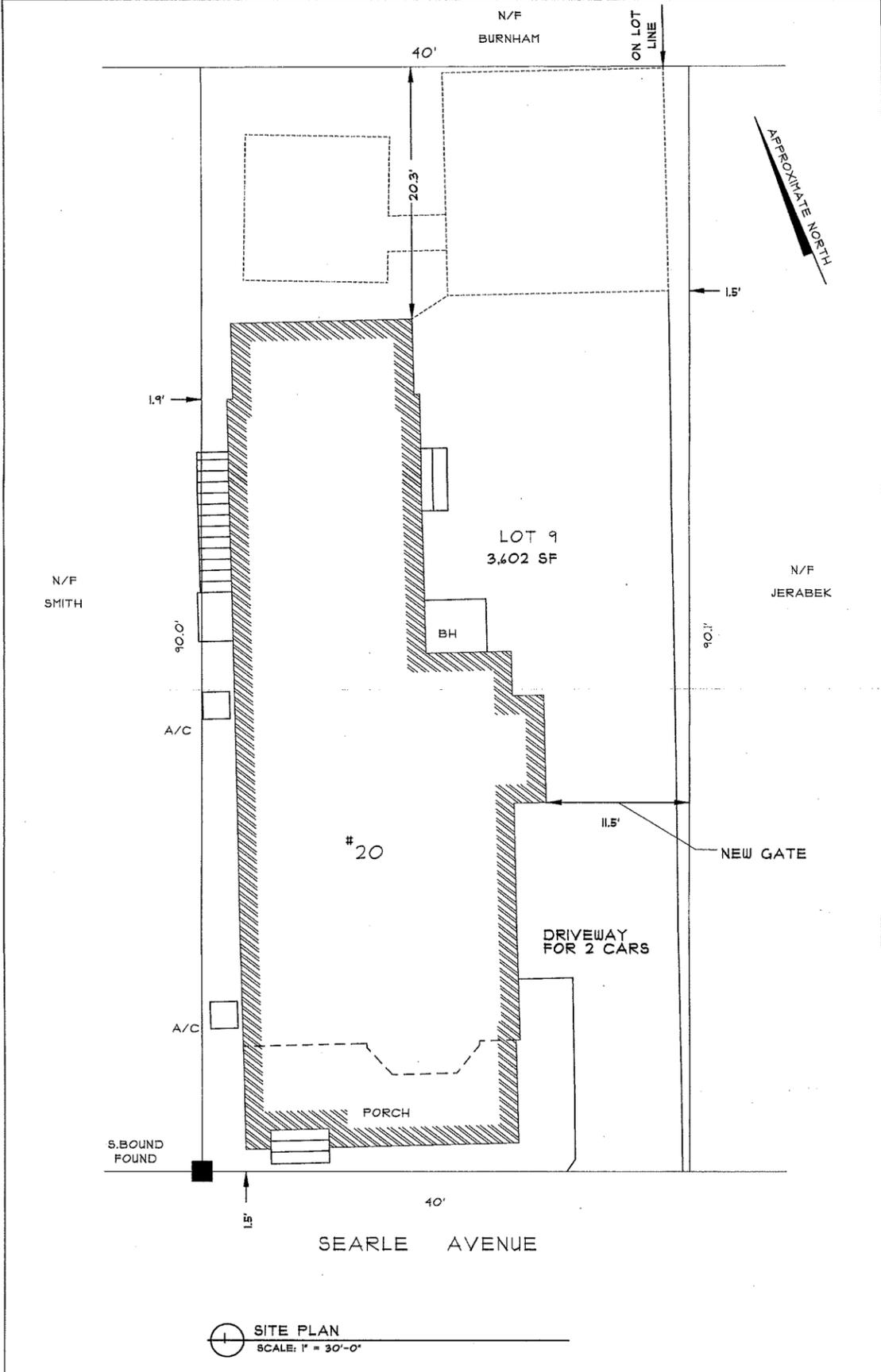
NON-CONTINUOUS DIMENSION LUMBER JOISTS EXTENDING OVER LOAD-BEARING PARTITIONS OR BEAMS MAY BE BUTTED OR LAPPED, SUBJECT TO PROVIDING A MINIMUM BEARING LENGTH OF 1-1/2 INCHES. PROVIDE SOLID BLOCKING BETWEEN JOISTS.

ALL BUILT-UP LVL BEAMS SHALL BE ASSEMBLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

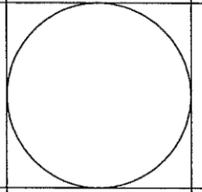
SCOPE OF STRUCTURAL ENGINEERING SERVICES

THE STRUCTURAL ENGINEER HAS PERFORMED THE STRUCTURAL DESIGN AND PREPARED THE STRUCTURAL WORKING SKETCHES FOR SPECIFIC ELEMENTS FOR THIS PROJECT. DESIGN IS LIMITED TO ONLY THOSE STRUCTURAL ELEMENTS IDENTIFIED ON THE ENCLOSED SKETCHES. THE CONSTRUCTION MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE STRUCTURAL DETAILS AND LOCAL CODE REQUIREMENTS. ANY DEVIATION FROM THE SKETCHES MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER. ANY DISCREPANCY BETWEEN THE STRUCTURAL SKETCHES AND THE ARCHITECTURAL DRAWINGS SHALL BE BROUGHT TO THE STRUCTURAL ENGINEER'S ATTENTION.

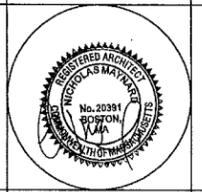
RENOVATION FOR JENNIE & IAN ROFFMAN
 20 SEARLE AVENUE
 BROOKLINE, MASSACHUSETTS



- DRAWING LIST:**
- A0 DRAWING LIST, SITE PLAN
 - A1 FIRST, SECOND, & THIRD FLOOR EXISTING/DEMO PLANS
 - A2 BASEMENT EXISTING PLAN
 - A3 FIRST, SECOND & THIRD FLOOR PROPOSED PLANS
 - A4 EXISTING/DEMO ELEVATIONS
 - A5 PROPOSED ELEVATIONS
 - A6 BUILDING SECTIONS
 - A7 FIRST, SECOND, & THIRD FLOOR LIGHTING & ELECTRICAL PLANS
 - A8 SCHEDULES: LIGHTING, FINISH, INTERIOR DOORS, WINDOWS & EXT. DOORS
 - A9 INTERIOR ELEVATIONS
 - A10 INTERIOR ELEVATIONS
 - A11 INTERIOR DETAILS
 - S1
 - S2
 - S3



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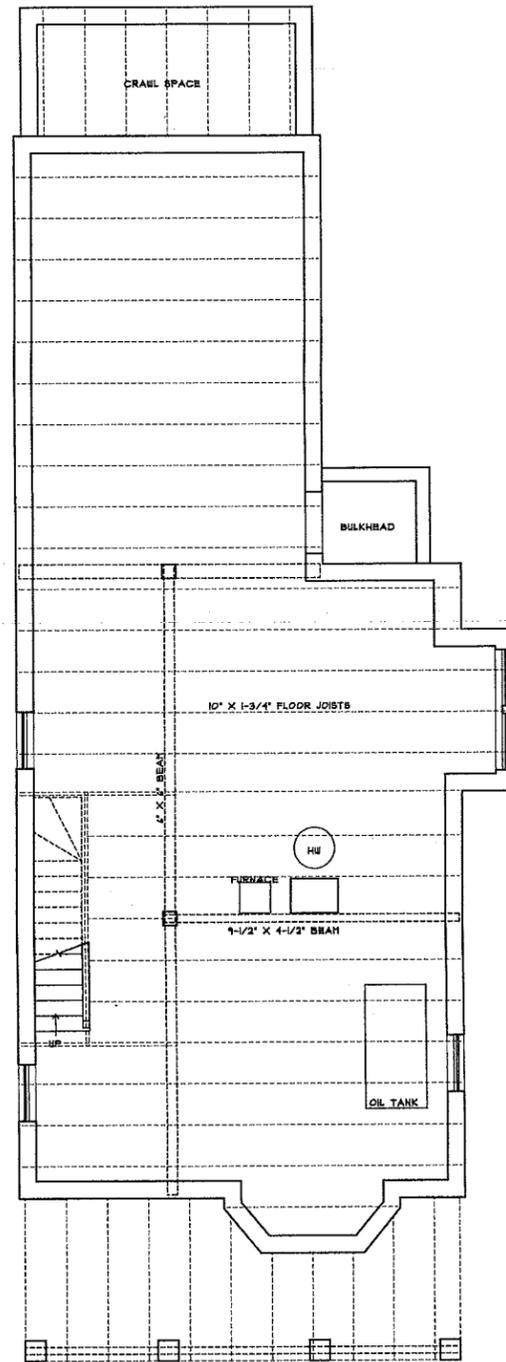


ROFFMAN RESIDENCE
 20 Searle Avenue
 Brookline, MA 02445

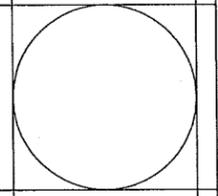
CONSTRUCTION SET 01/31/16

DRAWING LIST
 SITE PLAN

A0



1 BASEMENT PLAN - EXISTING
SCALE: 1/4" = 1'-0"

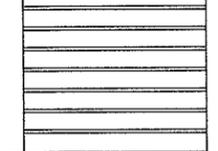


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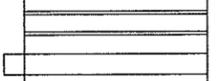


ROFFMAN RESIDENCE
20 Seattle Avenue
Brookline, MA 02445

CONSTRUCTION SET 1.23.14



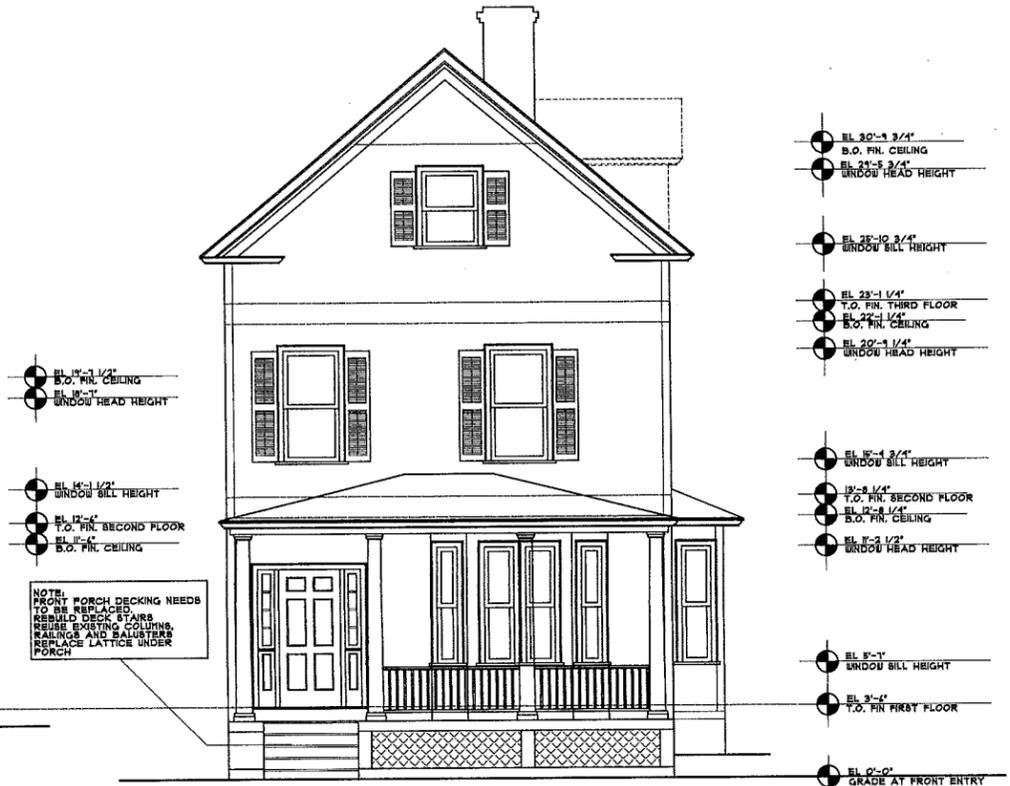
EXISTING PLANS



A2



1 EAST ELEVATION - EXISTING/DEMO
SCALE: 1/4" = 1'-0"

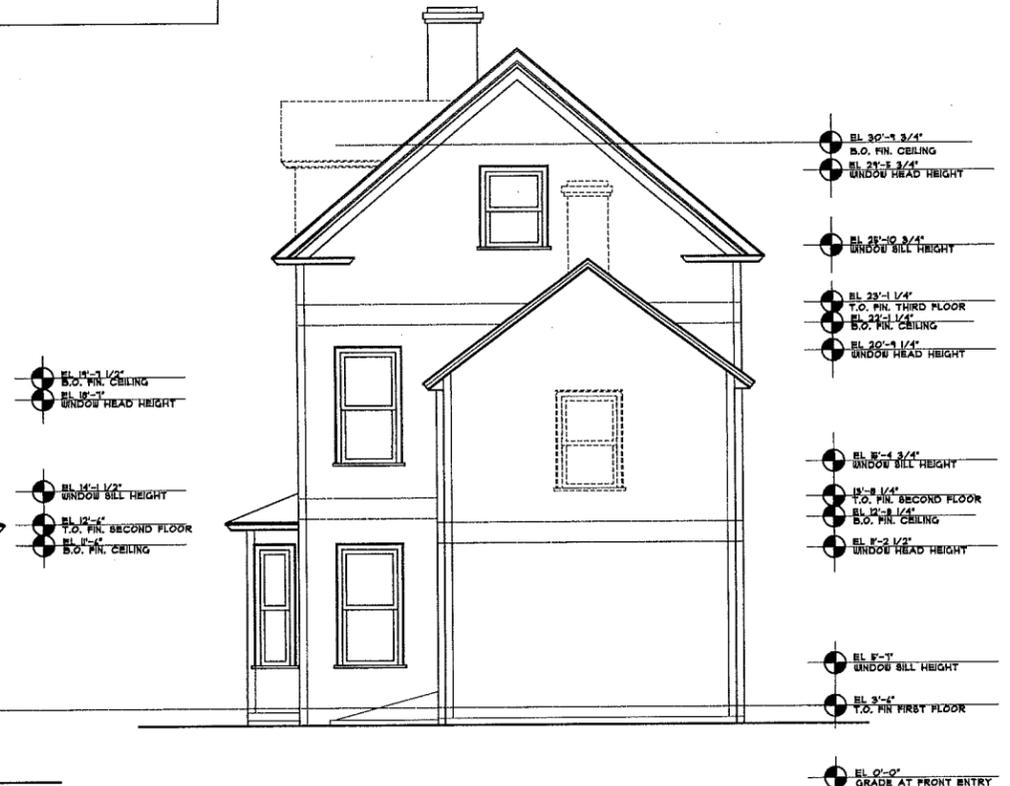


2 SOUTH ELEVATION - EXISTING/DEMO
SCALE: 1/4" = 1'-0"

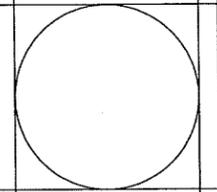
GENERAL NOTES:
1. REPLACE ALL WINDOWS - SEE WINDOW AND EXTERIOR DOOR SCHEDULE.
2. REMOVE ALL ALUMINUM SIDING AND REBUILD WITH PAINTED CEDAR CLAPBOARD, PRICE HARDPLANK SIDING AS ALTERNATE.
3. REPLACE ALL EXTERIOR TRIM WITH RED ASK TRIM.
4. REPLACE ALL GUTTERS WITH NEW ALUMINUM K-BYLE.
5. CONTRACTOR TO INVESTIGATE SOURCE OF EXISTING ROOF LEAKS, PRICE NEW 30 YEAR CERTAINTED ARCHITECTURAL ASPHALT ROOF AS ADD ALTERNATE.



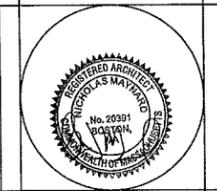
3 WEST ELEVATION - EXISTING/DEMO
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION - EXISTING/DEMO
SCALE: 1/4" = 1'-0"



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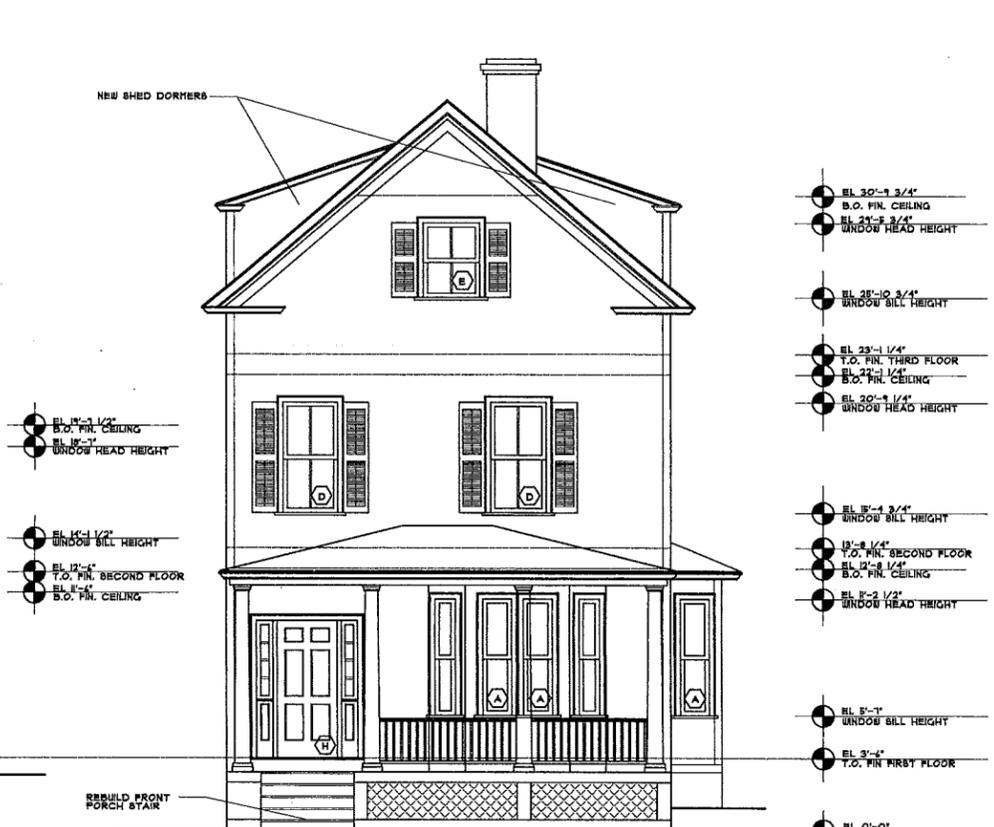
CONSTRUCTION SET 129.16

EXISTING/DEMO ELEVATIONS

A4

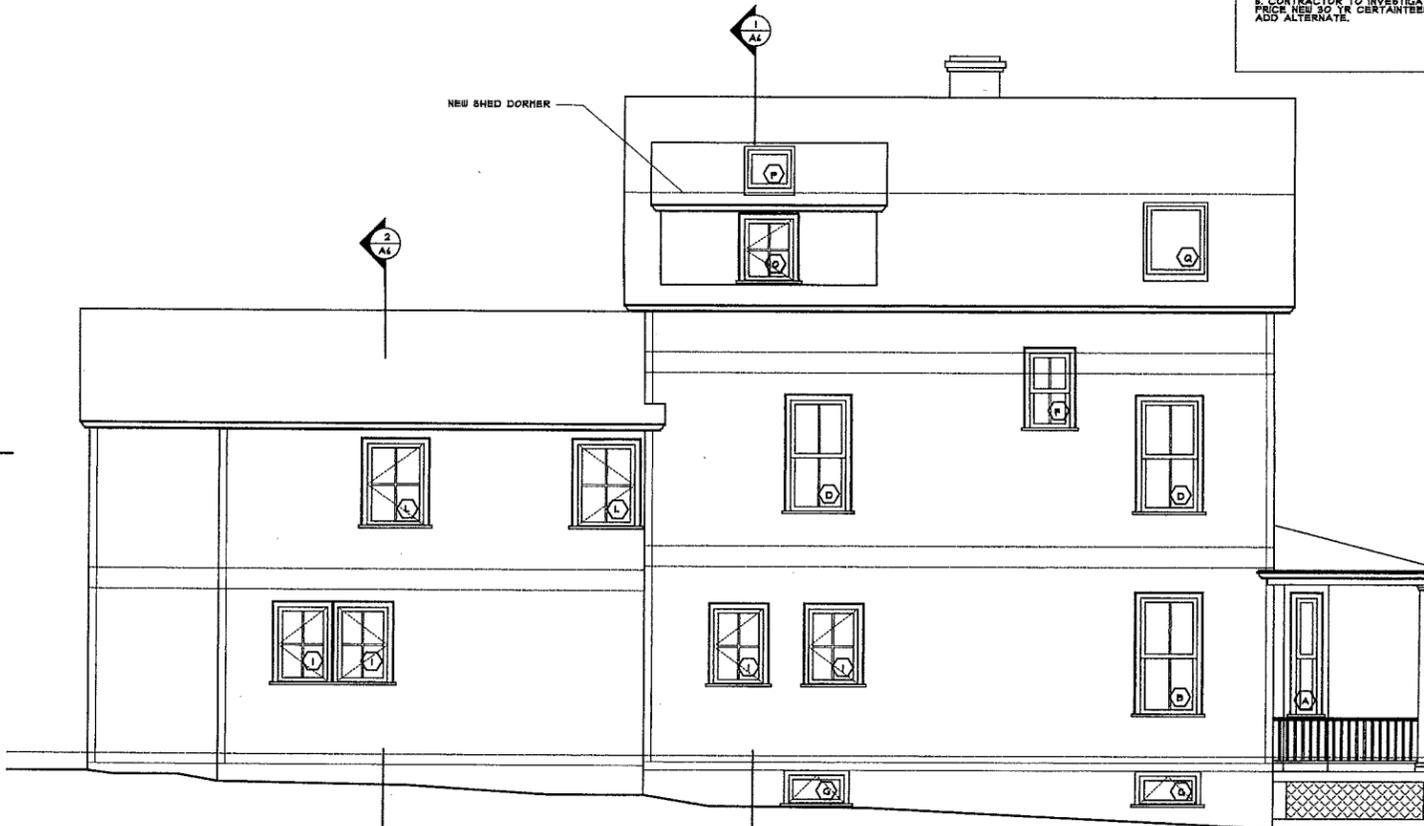


1 EAST ELEVATION - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

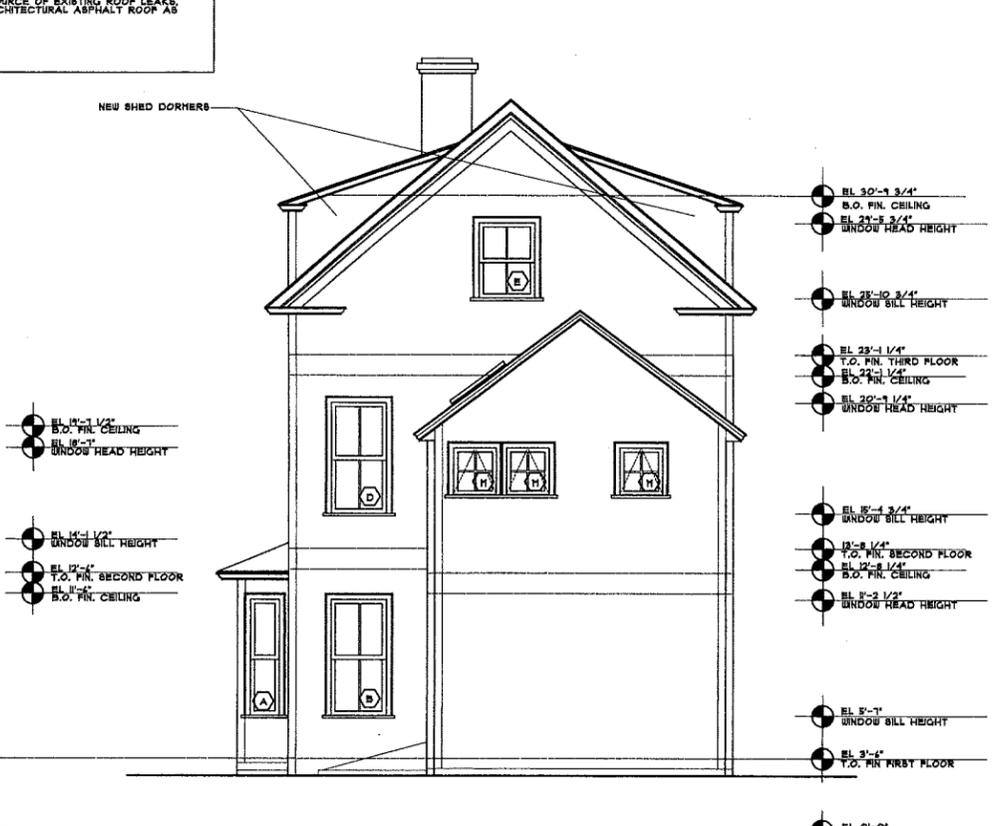


2 SOUTH ELEVATION - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

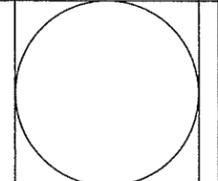
GENERAL NOTES:
 1. REPLACE ALL WINDOWS - SEE WINDOW AND EXTERIOR DOOR SCHEDULE.
 2. REMOVE ALL ALUMINUM SIDING AND RESIDE WITH PAINTED CEDAR CLAPBOARD. PRICE HARDPLANK SIDING AS ALTERNATE.
 3. REPLACE ALL EXTERIOR TRIM WITH NEW AZEK TRIM.
 4. REPLACE ALL GUTTERS WITH NEW ALUMINUM K-STYLE.
 5. CONTRACTOR TO INVESTIGATE SOURCE OF EXISTING ROOF LEAKS. PRICE NEW 30 YR CERTAINTED ARCHITECTURAL ASPHALT ROOF AS ADD ALTERNATE.



3 WEST ELEVATION - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



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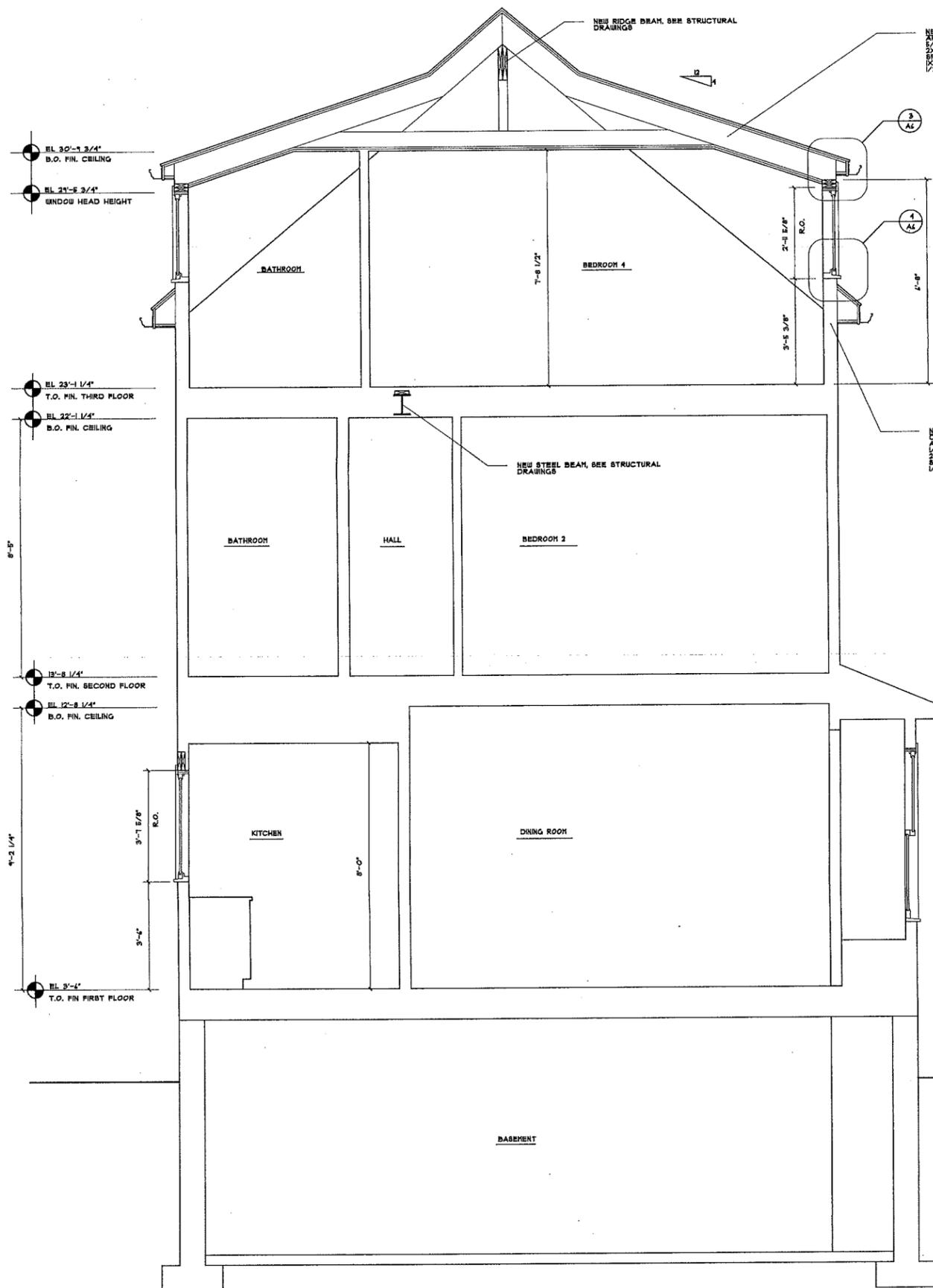


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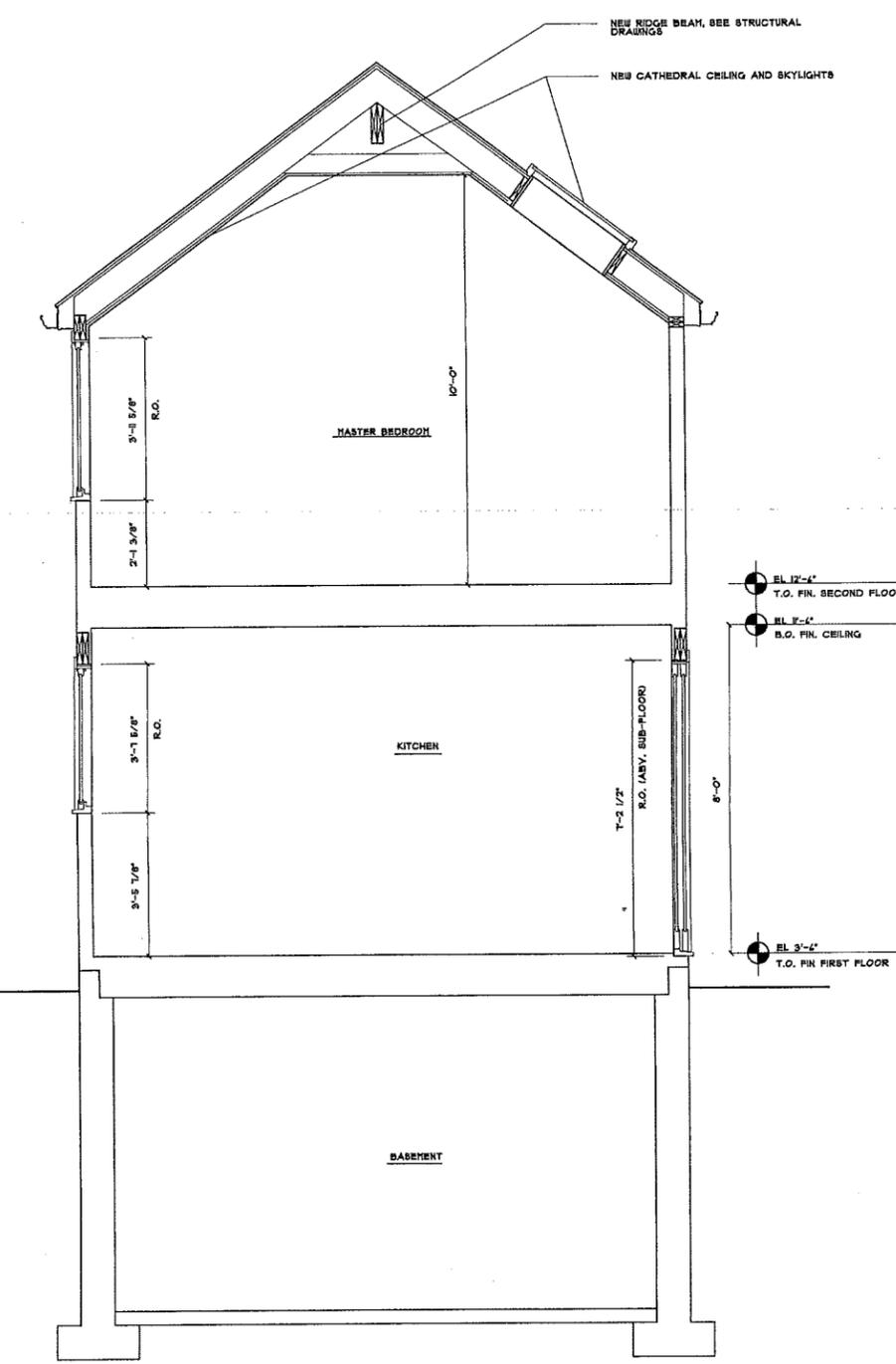
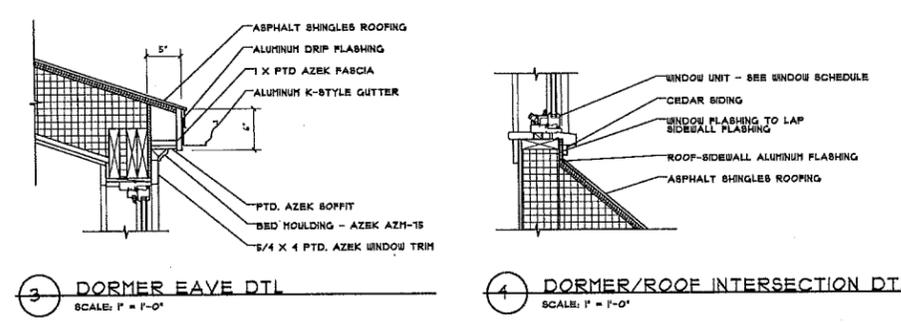
CONSTRUCTION SET 1.29.14

PROPOSED ELEVATIONS

A5

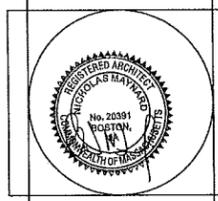


1 SECTION THRU MAIN BOX
SCALE: 1/2" = 1'-0"



2 SECTION THRU REAR BOX
SCALE: 1/2" = 1'-0"

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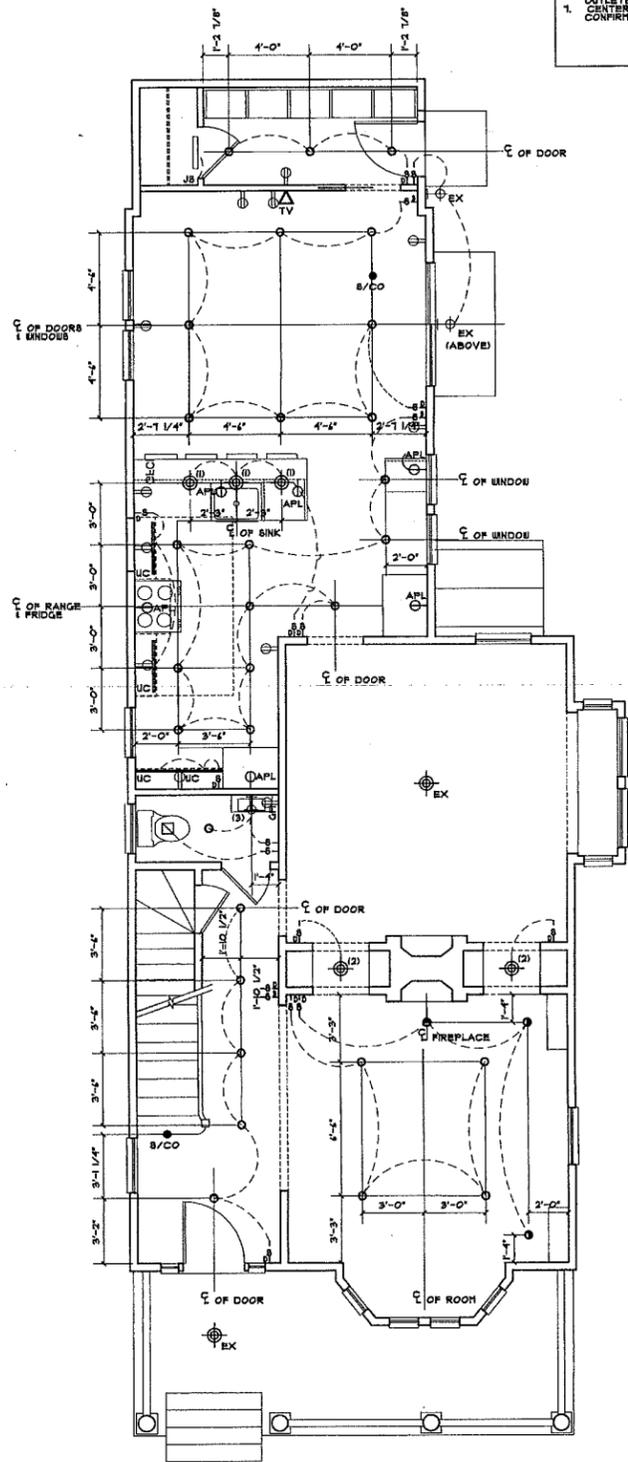
CONSTRUCTION SET 1.27.11
BUILDING SECTIONS
A6

ELECTRICAL PLAN NOTES

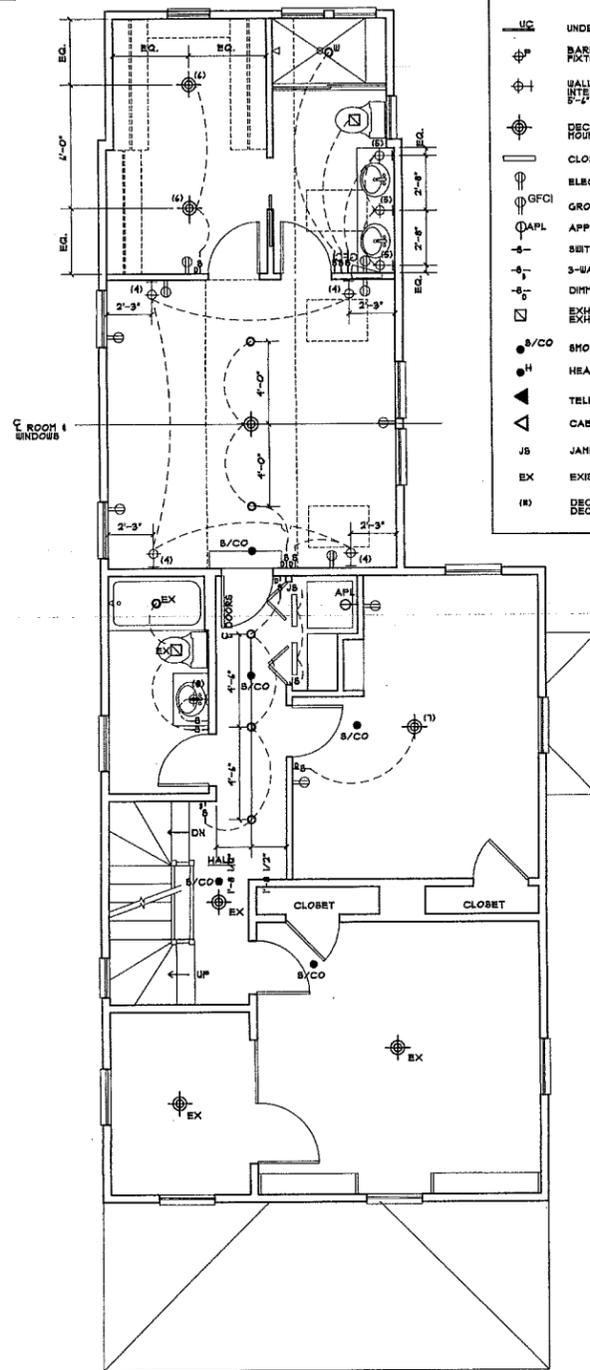
1. ALL ELECTRICAL WORK TO COMPLY WITH STATE CODES
2. PROVIDE SMOKE AND CO DETECTORS PER CODE
3. OUTLETS TO BE MOUNTED 4" A.F.F. TO CENTER LINE, TYP. U.O.N.
4. SWITCHES TO BE MOUNTED 48" A.F.F. TO CENTER LINE, TYP. U.O.N.
5. ALLOW FOR 2" OF VISIBLE PLASTER @ SWITCHES ADJACENT TO DOORWAYS
6. SCONCES TO BE MOUNTED 48" A.F.F. TO CENTER LINE, U.O.N. LEAVE 2" SHIP FOR FIELD ADJUSTMENTS
7. VERIFY REQUIREMENTS FOR ALL APPLIANCE OUTLETS
8. CENTER OUTLETS AS INDICATED ON PLANS. CONFIRM WITH ARCHITECT IF LOCATION IS UNCLEAR

LIGHTING & POWER LEGEND

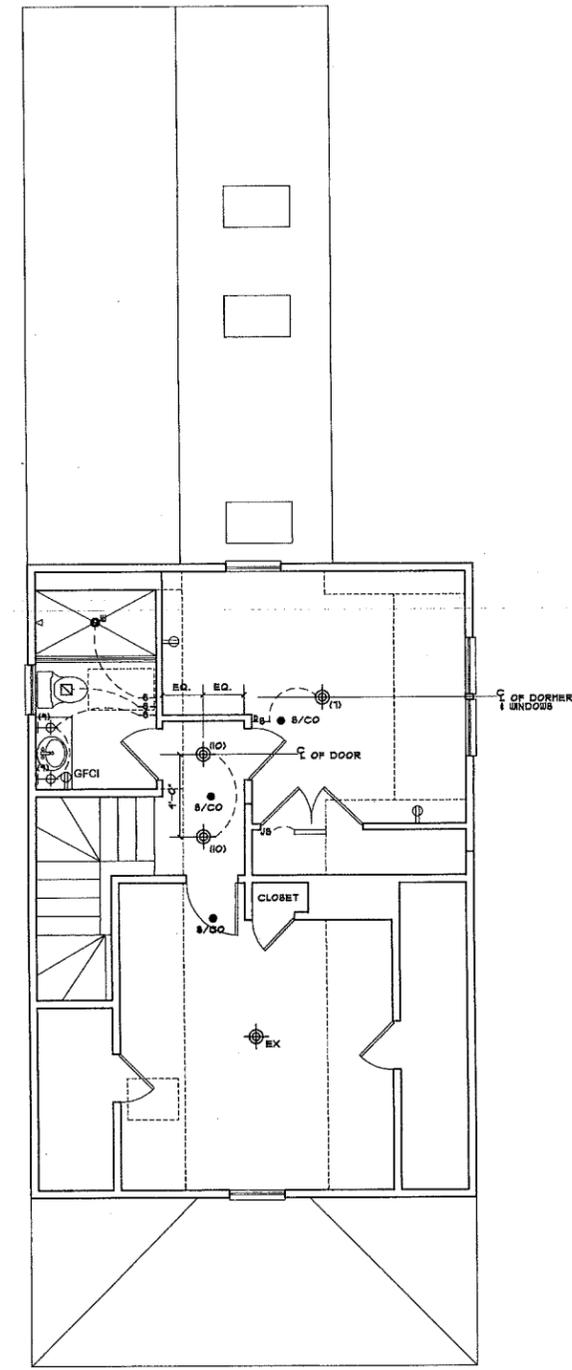
- RECESSED LINE VOLTAGE LIGHT - LIGHTOLIER, LYTECASTER 2000 SERIES 3 3/4" IC FRAME-IN KIT, TRIM KIT 2013CD, CLEAR DIFFUSER, WHITE PLANCE
- RECESSED LINE VOLTAGE LIGHT BY WALL WASHING REFLECTOR TRIM - LIGHTOLIER, LYTECASTER 2000 SERIES 3 3/4" IC FRAME-IN KIT, TRIM KIT 2013CD, CLEAR DIFFUSER, WHITE PLANCE
- ^U RECESSED LIGHT WITH WET LOCATION TRIM - LIGHTOLIER, LYTECASTER 2000 SERIES 3 3/4" IC FRAME-IN KIT, TRIM KIT 2010, LENSED, WHITE PLANCE
- UC UNDER CABINET LED STRIP LIGHT, T.B.D.
- ⊕ BARE BULB SURFACE MOUNTED PORCELAIN FIXTURE
- ⊕⁺ WALL SCONCE - CENTERLINE OF ALL INTERIOR SCONCES ARE TO BE LOCATED AT 5'-0" A.F.F. U.O.N.
- ⊕⁺ DECORATIVE FIXTURE - PENDANT OR SURFACE MOUNTED
- ⊕ CLOSET LIGHT
- ⊕ ELECTRICAL OUTLET
- ⊕ GFCI GROUND FAULT CIRCUIT OUTLET
- ⊕ APL APPLIANCE OUTLET
- SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- ⊕ EXHAUST FAN - PANASONIC WHISPER CEILING EXHAUST FAN
- S/CO SMOKE / CARBON MONOXIDE DETECTOR
- H HEAT DETECTOR
- ▲ TELEPHONE JACK
- ▲ CABLE AND ETHERNET JACK
- JB JAMB SWITCH
- EX EXISTING FIXTURE LOCATION TO REMAIN
- (R) DECORATIVE FIXTURE TYPE - SEE DECORATIVE LIGHT FIXTURE SCHEDULE



1 FIRST FLOOR LIGHTING/ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR LIGHTING/ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR LIGHTING/ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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CONSTRUCTION SET 1/23/14

LIGHTING/ELEC PLANS



INTERIOR DOOR SCHEDULE										
KEY	ROOM	WIDTH	HEIGHT	THK	TYPE	MATERIAL	FINISH	THRES-HOLD	HDW SET	NOTES
101	BASEMENT	2'-4"	4'-8"	1 3/8"	A	WOOD	PAINT	WOOD	-	EXISTING DOOR
102	POWDER ROOM	2'-8"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	200	REVERSE SWING OF EXISTING DOOR
103	MUDROOM	2'-8"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	300	
104	MUDROOM	2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	-	100	
201	LIBRARY/GUEST ROOM	(2) 3'-0"	4'-8"	1 3/8"	C	WOOD/GLASS	PAINT	WOOD	400	FRENCH DOOR PAIR
202	LIBRARY/GUEST ROOM	2'-8"	4'-8"	1 3/8"	A	WOOD	PAINT	WOOD	-	EXISTING DOOR
203	LIBRARY/GUEST ROOM	2'-8"	4'-8"	1 3/8"	A	WOOD	PAINT	WOOD	-	EXISTING DOOR
204	BATHROOM 1	2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	200	
205	BEDROOM 2	2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	200	
206	BEDROOM 2	2'-8"	4'-8"	1 3/8"	A	WOOD	PAINT	WOOD	-	EXISTING DOOR
207	HALL	(2) 2'-4"	4'-8"	1 3/8"	D	WOOD	PAINT	WOOD	400	BIFOLD PAIR
208	HASTER BEDROOM	2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	200	
209	DRESSING ROOM	2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	100	
210	HASTER BATH	2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	200	
211	HASTER BATH	2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	300	
301	BEDROOM 3	2'-4"	4'-8"	1 3/8"	A	WOOD	PAINT	WOOD	-	EXISTING DOOR
302	BEDROOM 3	2'-1"	4'-8"	1 3/8"	A	WOOD	PAINT	WOOD	-	EXISTING DOOR
303	BATHROOM 2	2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	200	
304	BEDROOM 4	2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	200	
305	BEDROOM 4	(2) 2'-4"	4'-8"	1 3/8"	B	WOOD	PAINT	WOOD	400	PAIR

DOOR HARDWARE SETS:

100 PASSAGE SET, KNOB, TO BE SELECTED BY OWNER HINGES, TO BE SELECTED BY OWNER

200 PRIVACY SET, KNOB, TO BE SELECTED BY OWNER HINGES, TO BE SELECTED BY OWNER LOCK, PRIVACY/DEADLOCK - VERIFY LOCK FUNCTION WITH OWNER

300 POCKET DOORS, STANLEY HARDWARE POCKET DOOR FRAME AND HARDWARE SET FLUSH RING PULLS, 1 EACH SIDE - BALDWIN 029324 (1/2" 80), 6ATN CHROME

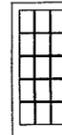
400 DUMMY SET, KNOB, TO BE SELECTED BY OWNER HINGES, TO BE SELECTED BY OWNER BALL CATCH



TYPE A REUSE EXISTING 4-PANEL DOORS



TYPE B BROSCO 4601 HDZ 4-PANEL DOOR



TYPE C BROSCO FR-155 FRENCH DOOR



TYPE D BROSCO BIFOLD DOORS

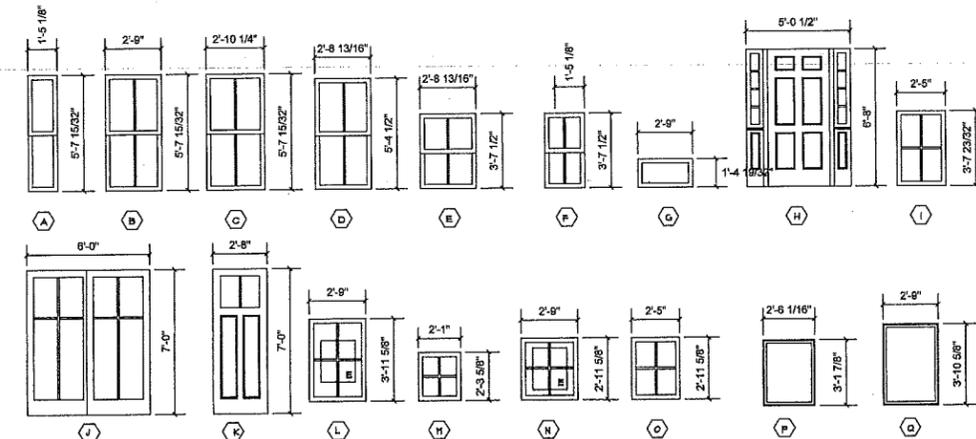
PLUMBING FIXTURE AND APPLIANCE SCHEDULE					
ROOM NAME	FIXTURE	MANUFACTURER	PRODUCT NUMBER	COLOR	DESCRIPTION
KITCHEN	FRIDGE/FREEZER			CUSTOM PANEL	34" COUNTER-DEPTH
KITCHEN	COOKTOP			STAINLESS STEEL	34"
KITCHEN	RANGE HOOD			STAINLESS STEEL	34"
KITCHEN	DOUBLE OVENS			STAINLESS STEEL	30"
KITCHEN	DISHWASHER			CUSTOM PANEL	
KITCHEN	WINE FRIDGE			CUSTOM PANEL	18" UNDER-COUNTER
KITCHEN	SINK	ELKAY OR EQUAL		STAINLESS STEEL	UNDERMOUNT
KITCHEN	FAUCET	KOHLER OR EQUAL		CHROME	
POWDER ROOM	TOILET	TOTO		WHITE	
POWDER ROOM	SINK	KOHLER OR EQUAL		WHITE	WALL-MOUNTED
POWDER ROOM	LAV FAUCET	GROHE OR EQUAL		CHROME	
HASTER BATH	TOILET	TOTO		WHITE	
HASTER BATH	SINK (2)	KOHLER OR EQUAL		WHITE	UNDERMOUNT
HASTER BATH	LAV FAUCET (2)	GROHE OR EQUAL		CHROME	
HASTER BATH	SHOWER HEAD	GROHE OR EQUAL		CHROME	
HASTER BATH	SHOWER MIXING VALVE	GROHE OR EQUAL		CHROME	
LAUNDRY	WASHER/DRYER			WHITE	
BATHROOM 1	TOILET	-		WHITE	EXISTING TO REMAIN
BATHROOM 1	SINK	KOHLER OR EQUAL		WHITE	UNDERMOUNT
BATHROOM 1	LAV FAUCET	GROHE OR EQUAL		CHROME	
BATHROOM 1	TUB	-		-	EXISTING TO REMAIN
BATHROOM 1	SHOWER/TUB VALVE & DIVERTER	-		-	EXISTING TO REMAIN
BATHROOM 1	SHOWER HEAD	-		-	EXISTING TO REMAIN
BATHROOM 2	TOILET	TOTO		WHITE	
BATHROOM 2	SINK	KOHLER OR EQUAL		WHITE	UNDERMOUNT
BATHROOM 2	LAV FAUCET	GROHE OR EQUAL		CHROME	
BATHROOM 2	SHOWER HEAD	GROHE OR EQUAL		CHROME	
BATHROOM 2	SHOWER MIXING VALVE	GROHE OR EQUAL		CHROME	

NOTE: FINAL FIXTURE SELECTION TO BE BY OWNER.

WINDOW & EXTERIOR DOOR SCHEDULE										
KEY	BRAND - NUMBER	TYPE	ROUGH OPENING		CASING	DIV	QUANTITY	NOTES		
			WIDTH	HEIGHT						
A	INTEGRITY REPLACEMENT -ITD1H	DOUBLE HUNG	7'-8" V.I.P.	5'-1 1/2" V.I.P.	FIELD APPLIED	20H/20H	4			
B	INTEGRITY REPLACEMENT -ITD1H	DOUBLE HUNG	2'-8 1/2" V.I.P.	5'-1 1/2" V.I.P.	FIELD APPLIED	20H/20H	3			
C	INTEGRITY REPLACEMENT -ITD1H	DOUBLE HUNG	2'-10 1/4" V.I.P.	5'-1 1/2" V.I.P.	FIELD APPLIED	20H/20H	2			
D	INTEGRITY REPLACEMENT -ITD1H	DOUBLE HUNG	2'-8 1/2" V.I.P.	5'-1 1/2" V.I.P.	FIELD APPLIED	20H/20H	1			
E	INTEGRITY REPLACEMENT -ITD1H	DOUBLE HUNG	2'-8 1/2" V.I.P.	3'-1 1/2" V.I.P.	FIELD APPLIED	20H/20H	2			
F	INTEGRITY REPLACEMENT -ITD1H	FIXED DOUBLE HUNG	7'-11 1/4" V.I.P.	3'-1 1/2" V.I.P.	FIELD APPLIED	20H/20H	1			
G	INTEGRITY REPLACEMENT -ITD1H	AWNING	2'-9" V.I.P.	7'-9" V.I.P.	FIELD APPLIED	1H	5			
H	SIMPSON	ENTRY DOOR W/ SIDELITES	3'-0" SASH	4'-8" SASH	FIELD APPLIED	-	1			ENTRY DOOR W/ SIDELITES
I	INTEGRITY ICA 2143	CASEMENT	2'-5"	3'-1 3/4"	FACTORY APPLIED	20H	4			
J	INTEGRITY IBD 4010 XO	SLIDING FRENCH DOOR	4'-0"	7'-2 1/2"	FACTORY APPLIED	20H	1			
K	SIMPSON 1402	ENTRY DOOR	2'-8" SASH	7'-0" SASH	FIELD APPLIED	20H	1			
L	INTEGRITY ICA 2141	CASEMENT	2'-8"	3'-11 3/4"	FACTORY APPLIED	20H	4			EGRESS WINDOW 20"X24" CLEAR OPENING REQUIRED
M	INTEGRITY IAIN 2821	AWNING	2'-1"	2'-3 3/4"	FACTORY APPLIED	20H	4			
N	INTEGRITY ICA 9331	CASEMENT	2'-8"	2'-11 3/4"	FACTORY APPLIED	20H	2			EGRESS WINDOW 20"X24" CLEAR OPENING REQUIRED
O	INTEGRITY ICA 2131	CASEMENT	2'-8"	2'-11 3/4"	FACTORY APPLIED	20H	1			
P	VELUX FS-M04	FIXED SKYLIGHT	2'-4"	3'-1 3/4"	-	-	4			
Q	VELUX F6R	FIXED SKYLIGHT	2'-4" V.I.P.	V.I.P.	-	-	1			REPLACEMENT SKYLIGHT, VERIFY DIMENSIONS IN FIELD

WINDOW GENERAL NOTES:

- HARVIN INTEGRITY WOOD ULTRIX AND HARVIN INTEGRITY INSERT WOOD ULTRIX
- EXTERIOR COLOR: WHITE
- INTERIOR COLOR: PINE (PREFINISHED)
- HARDWARE: BATH NICKEL
- GRILLS: SOLID
- SIMULATED DIVIDED LITES WITH SPACER BAR
- GLASS: LEAD-TIPPED WHERE REQUIRED BY CODE
- SCREENS: FULL ON CASEMENT / AWNING, HALF SCREENS ON DOUBLE HUNG



DECORATIVE LIGHT FIXTURE SCHEDULE						
KEY	TYPE	MANUFACTURER	MODEL	FINISH	NOTES	
1	PENDANT LIGHT	TO BE SELECTED BY OWNER	T.B.D.	T.B.D.		
2	PENDANT LIGHT	TO BE SELECTED BY OWNER	T.B.D.	T.B.D.		
3	WALL MOUNTED SCONCE	TO BE SELECTED BY OWNER	T.B.D.	T.B.D.		
4	WALL MOUNTED SCONCE	BELPER	THE WEDGE - 425	WHITE		
5	WALL MOUNTED SCONCE	TO BE SELECTED BY OWNER	T.B.D.	T.B.D.	WET LOCATION	
6	SURFACE MOUNTED LIGHT	TO BE SELECTED BY OWNER	T.B.D.	T.B.D.		
7	SURFACE MOUNTED LIGHT	TO BE SELECTED BY OWNER	T.B.D.	T.B.D.		
8	WALL MOUNTED SCONCE	TO BE SELECTED BY OWNER	T.B.D.	T.B.D.	WET LOCATION	
9	WALL MOUNTED SCONCE	TO BE SELECTED BY OWNER	T.B.D.	T.B.D.	WET LOCATION	
10	SURFACE MOUNTED LIGHT	TO BE SELECTED BY OWNER	T.B.D.	T.B.D.		

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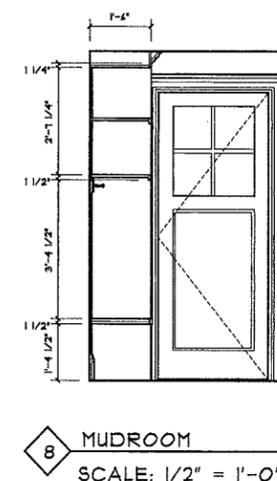
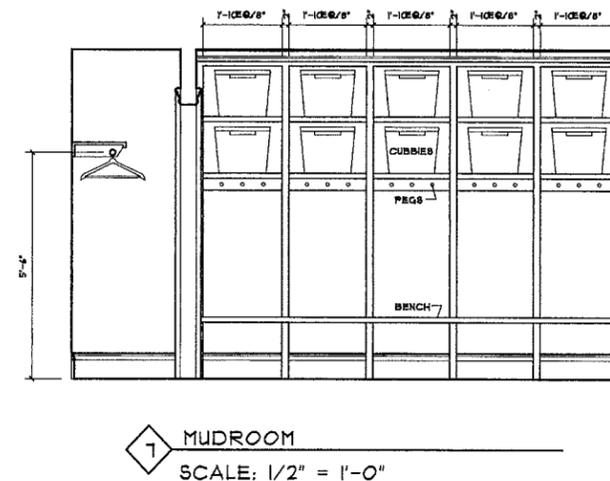
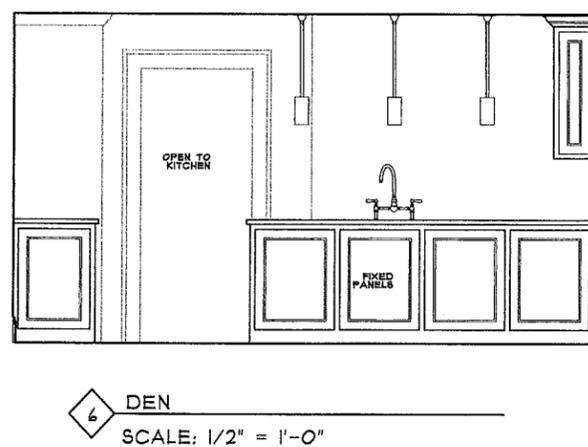
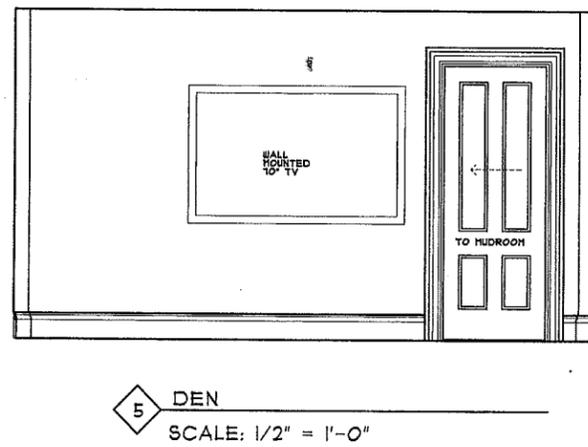
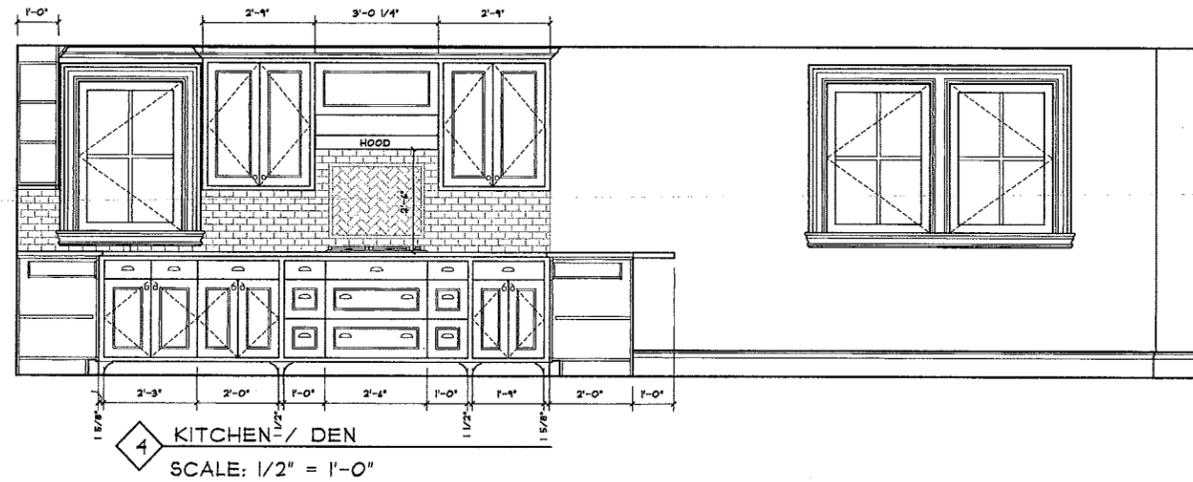
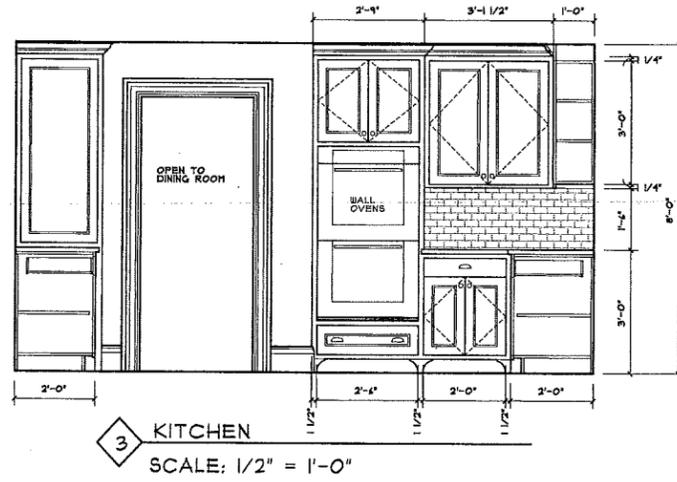
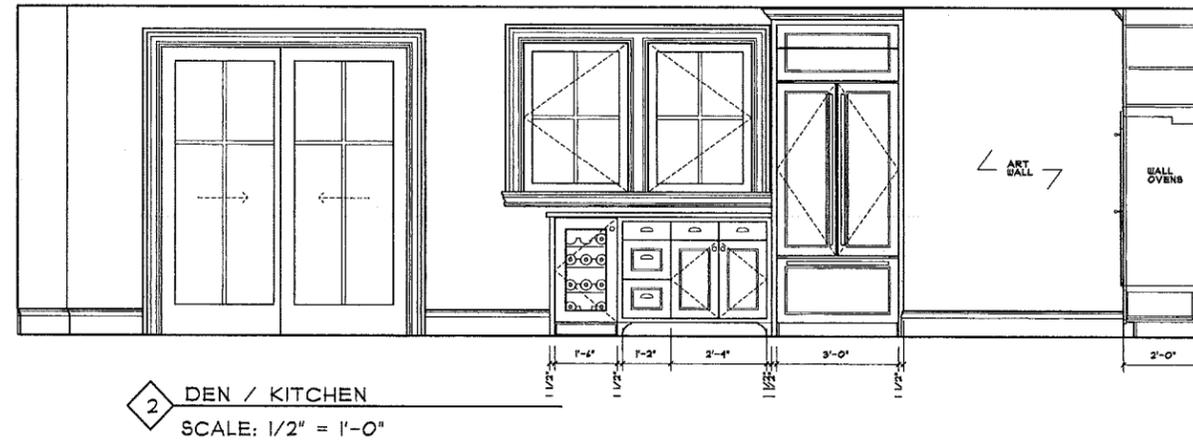
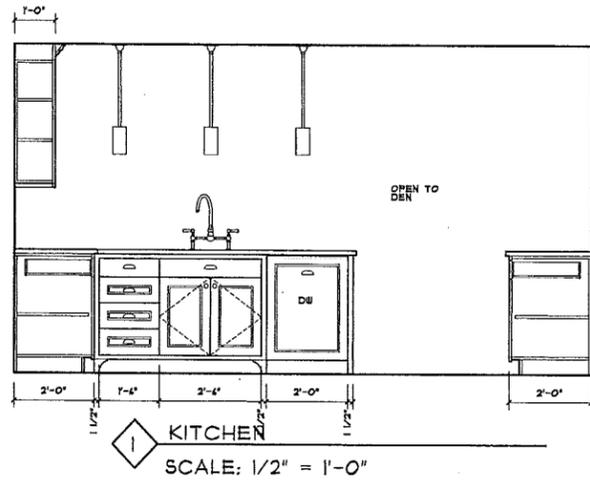
55 BALLARD STREET
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41872-4040
MARY@MCKEEDSIGN.COM

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Brookline, MA 02445

CONSTRUCTION SET 01.31.14

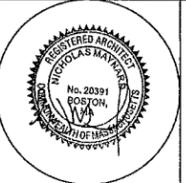
SCHEDULES

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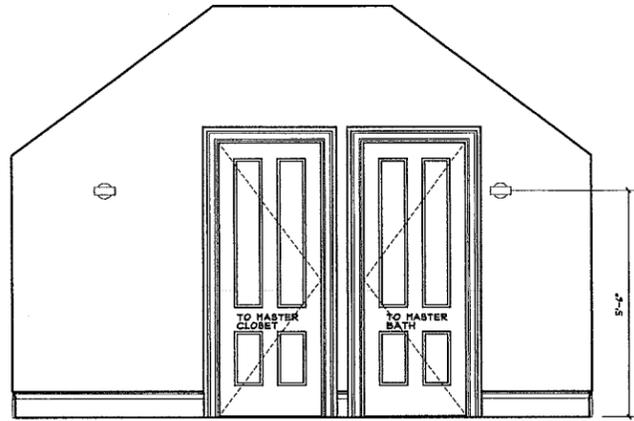


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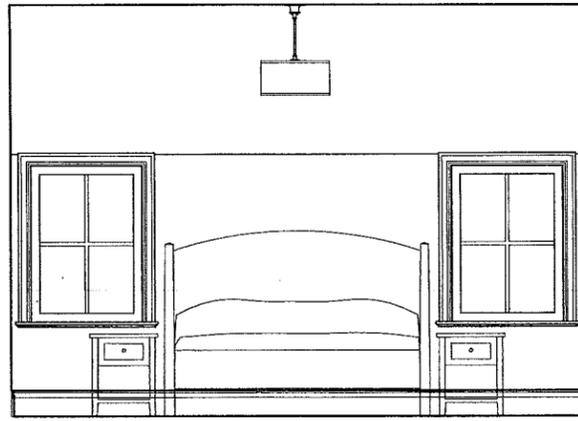
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INTERIOR ELEVATIONS

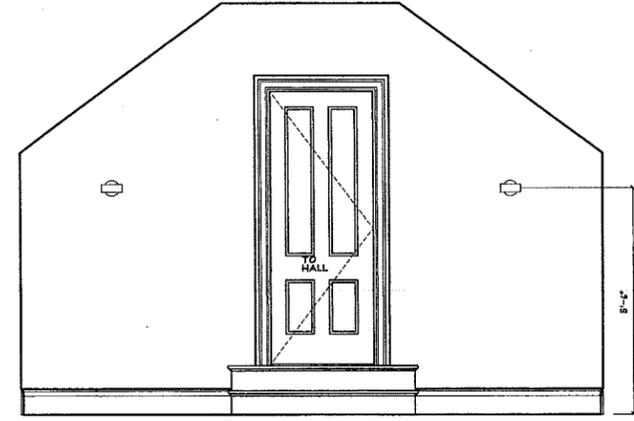
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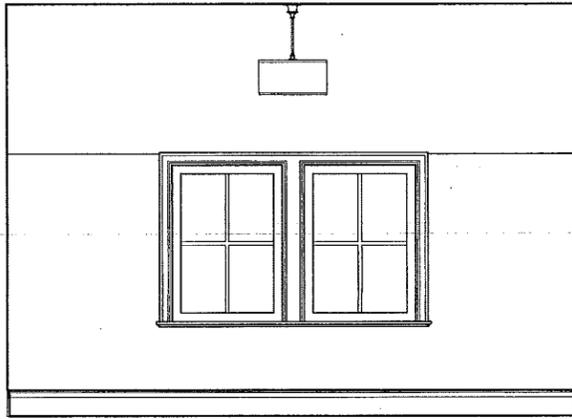
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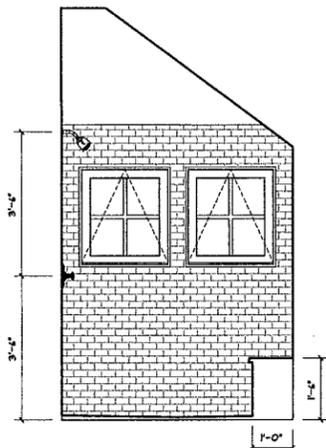
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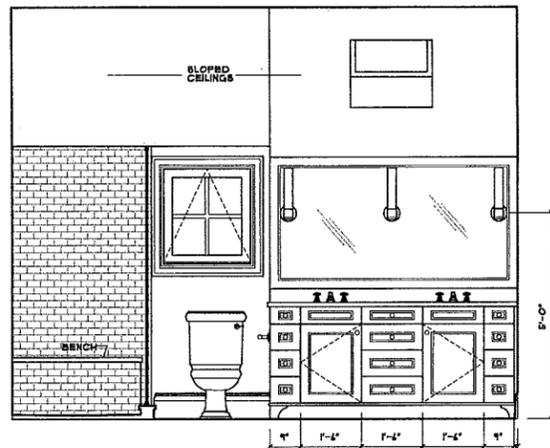
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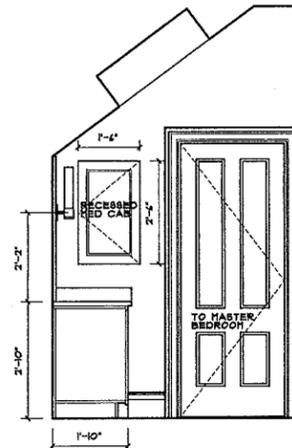
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SCALE: 1/2" = 1'-0"



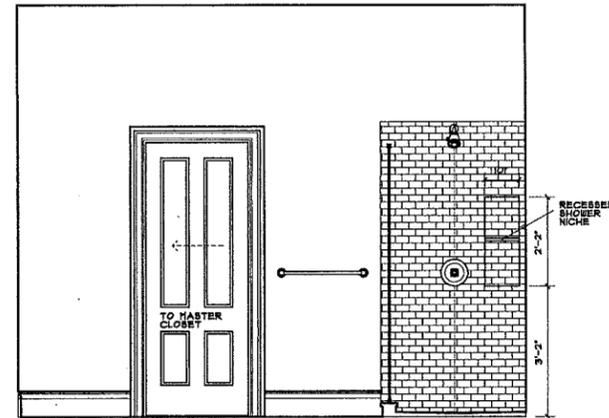
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SCALE: 1/2" = 1'-0"



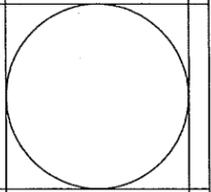
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SCALE: 1/2" = 1'-0"



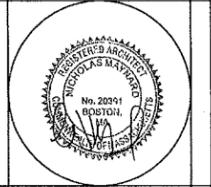
7 MASTER BATH
SCALE: 1/2" = 1'-0"



8 MASTER BATH
SCALE: 1/2" = 1'-0"



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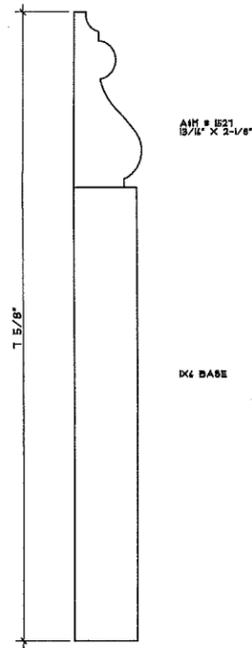


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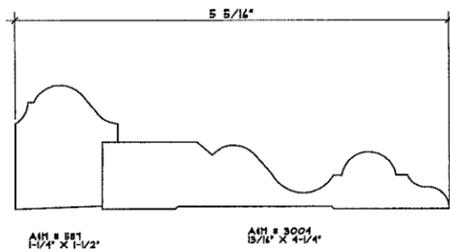
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INTERIOR ELEVATIONS

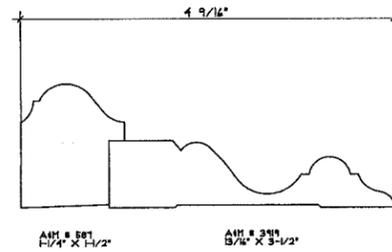
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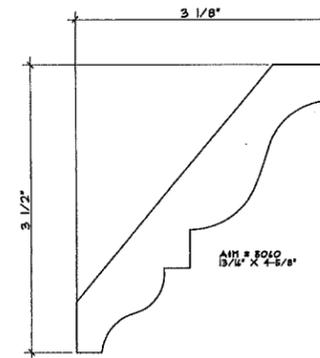
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SCALE: FULL SCALE



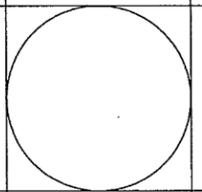
2 NEW 1ST FL. CASING
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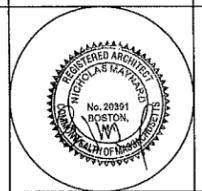
3 NEW 2ND & 3RD FL. CASING
SCALE: FULL SCALE



4 NEW CROWN MOULDING
SCALE: FULL SCALE

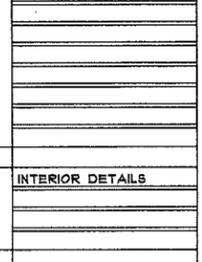


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INTERIOR DETAILS

A11