



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Blair Hines
Sergio Modigliani
Mathew Oudens
Mark J. Zarrillo

To: Brookline Board of Appeals

From: Brookline Planning Board

Date: July 28, 2016

Subject: Construct a detached single-family dwelling and legalize the rear yard setback for an existing single-family dwelling

Location: 42 Brington Road & Brington Road Lot 08 (Parcel 190-08-00)

Atlas Sheet:	38	Case #:	2016-0020 & 2016-0021
Block:	190	Zoning:	T-6
Lot:	07 & 08	Lot Area (s.f.):	±6,088 & ±5,414

Board of Appeals Hearing: April 12, 2016, Postponed to August 25, 2016 at 7:00 pm

BACKGROUND

April 28, 2016 Planning Board Meeting - The applicant agreed to continue the case and revise the plans. The Planning Board requested a smaller home in better proportion to the lot, better orientation to the street, no dormers in the attic, and usable open space dimensions for both lots. The Planning Board members acknowledged that this is a buildable lot, and it was created before zoning went into effect.

42 Brington Road and adjacent vacant lot 08 (parcel 190-08-00) are two contiguous lots that are under common ownership. The proposal to construct a new single-family dwelling on the 08 lot would result in the creation of new zoning non-conformities for the existing 42 Brington Road lot. Therefore, the Applicant is seeking prospective zoning relief for 42 Brington Road in order to avoid infectious invalidity. Additionally, the new dwelling for lot 08 requires zoning relief for rear-yard setback.

SITE AND NEIGHBORHOOD

42 Brington Road is situated at the center of a small residential neighborhood located at the intersection of Cypress Street and Boylston Street. The moderate density of this neighborhood is consistent; however, the architectural style of various single and two-family dwellings in this immediate area varies noticeably. The triangular shapes of both subject properties present curved front lot lines with two separate rear lot lines for each property. The existing single-family dwelling at 42 Brington Road was constructed around 1900 and includes shingle siding.

APPLICANT’S PROPOSAL

The Applicants, Roy Campana and Kerry O’Donnell, are proposing to construct a 2 ½ story dwelling on the vacant 08 lot with a gross floor area of 3662 square feet (in April FAR calculation excluded basement and attic living area), below the maximum allowed. The first and second floor living areas are the same as proposed to the Planning Board in April. Two surface parking spaces are proposed, in accordance with requirements for the district, to be located beyond the required front-yard setback. The existing 3.3’ foot setback to the parking area is an existing non-conformity.

The June 29, 2016 plans indicate architectural changes, especially to the roof massing. (The November 2015 plans are provided for comparison.)

The Applicants are also proposing to install a brick paving parking area on the 42 Brington Road lot to satisfy off-street parking requirements. This parking area does not require zoning relief but does require a new curb cut for vehicular access.

The project team will submit an updated site survey after it receives comments from the Planning Board on the design. (In the meantime, setbacks are annotated by the architect on Sheet C1.1 received July 19, 2016 by Planning Department and are not certified by a surveyor.)

A landscaping plan for both lots is included; note that the plan would need to be updated to show the footprint of latest rendition.

42 BRINGTON ROAD

FINDINGS

Section 5.43 – Exceptions to yard and Setback Regulations

Section 5.70 – Rear Yard Requirements

Section 8.02.2 – Alteration or Extension

Dimensional Requirements	Required	Existing	Proposed	Relief Required
Rear-Yard Setback (northeast)	30 feet	7.6 feet	7.6 feet	Special Permit*

* Under *Section 5.43*, the Board of Appeals may waive by special permit yard and/or setback requirements if counterbalancing amenity is provided.

LOT 08 (PARCEL 190-08-00)

FINDINGS

Section 5.43 – Exceptions to yard and Setback Regulations

Section 5.70 – Rear Yard Requirements

Dimensional Requirements	Required	Existing	Proposed	Relief Required
Rear-Yard Setback (southwest)	30 feet	N/A	12'-11" Revised from 11.3 feet	Special Permit*
Rear-Yard Setback (southeast)	30 feet	N/A	8'-10" Revised from 8.3 feet	Special Permit*

** Under Section 5.43, the Board of Appeals may waive by special permit yard and/or setback requirements if counterbalancing amenity is provided.*

PLANNING BOARD COMMENTS

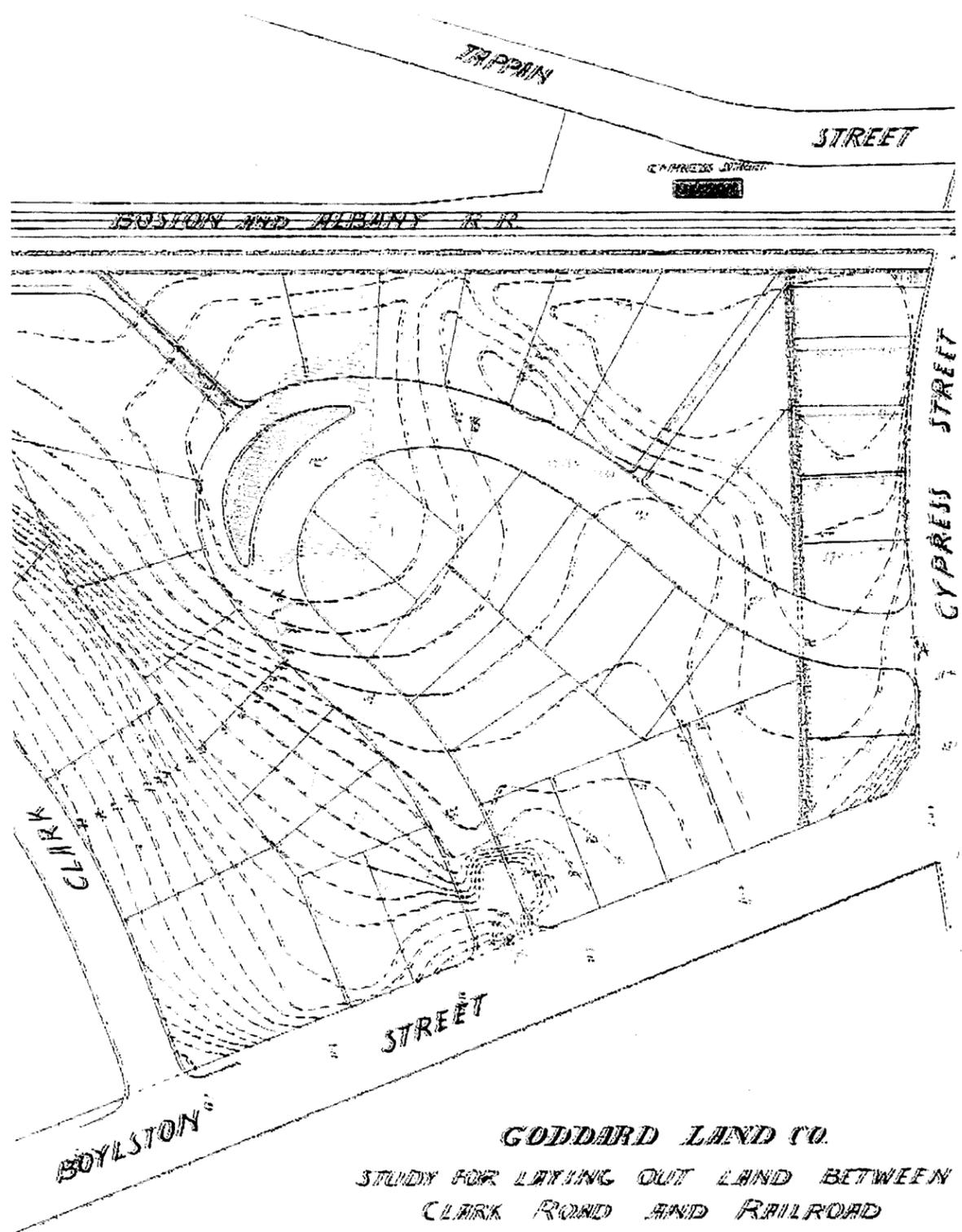
The Planning Board is opposed to the construction of a new single-family dwelling at Brington Road lot 08. Although revised plans were presented to the Planning Board that took into account comments made at the original presentation of this project, the Board feels that the proposed structure is too large for the lot and the relief requested is too extreme. Significant concerns were also raised about the architectural changes made to the home as well as the parking area size. Numerous abutters spoke out at the meeting against the project and articulated the negative impact it would have on the neighborhood. Neighbors felt the lot was unbuildable and do not believe their concerns were sufficiently incorporated into the applicant’s proposal.

Therefore, the Planning Board recommends denial of the site plan by George C. Collins, dated 4/20/16, floor plans and elevations by Hart Associates Inc., dated 6/29/16, and the landscape plan by Blair Hines Design, dated 4/3/16.



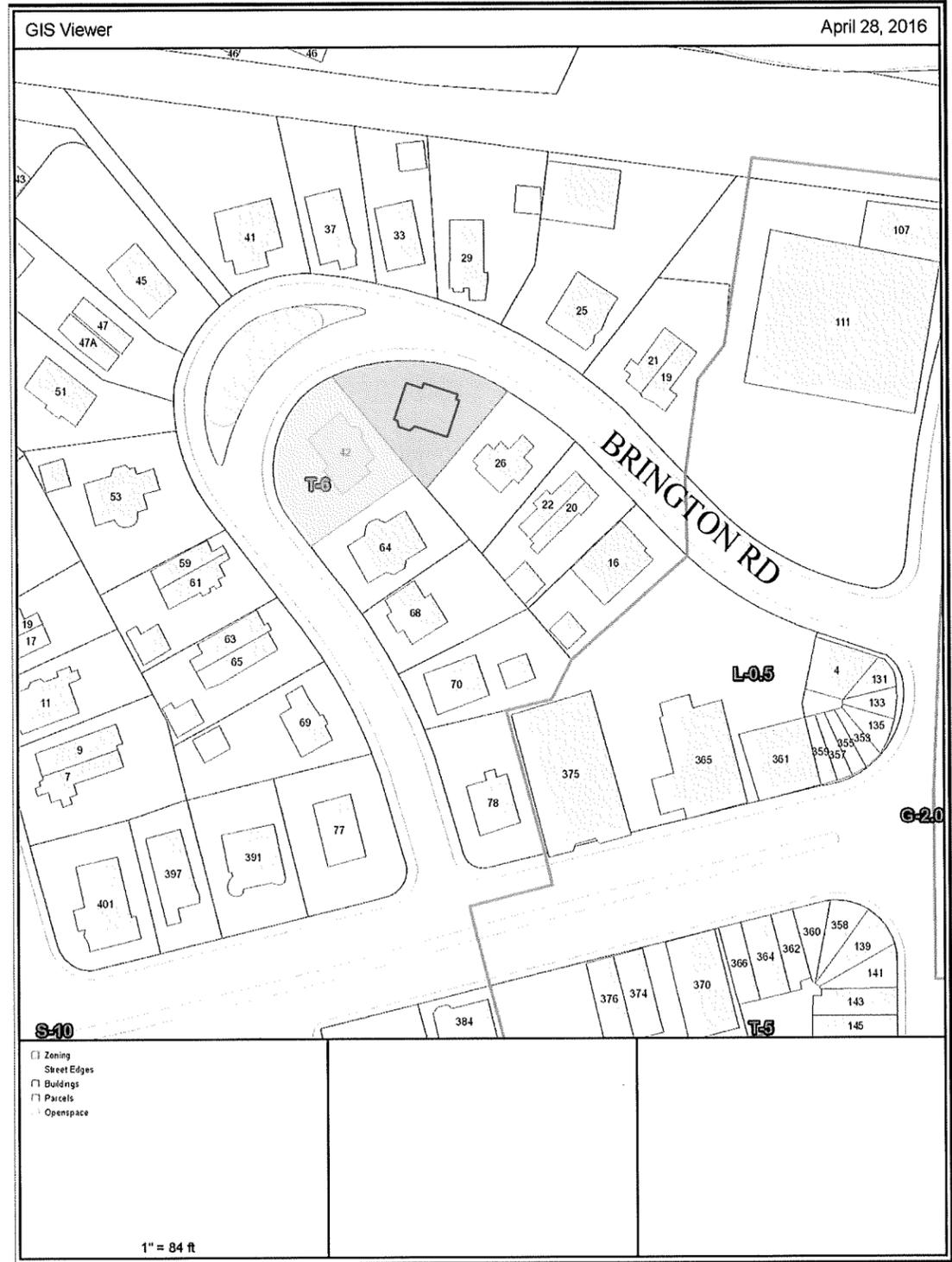
Vacant Parcel 08 & 43 Brington Road



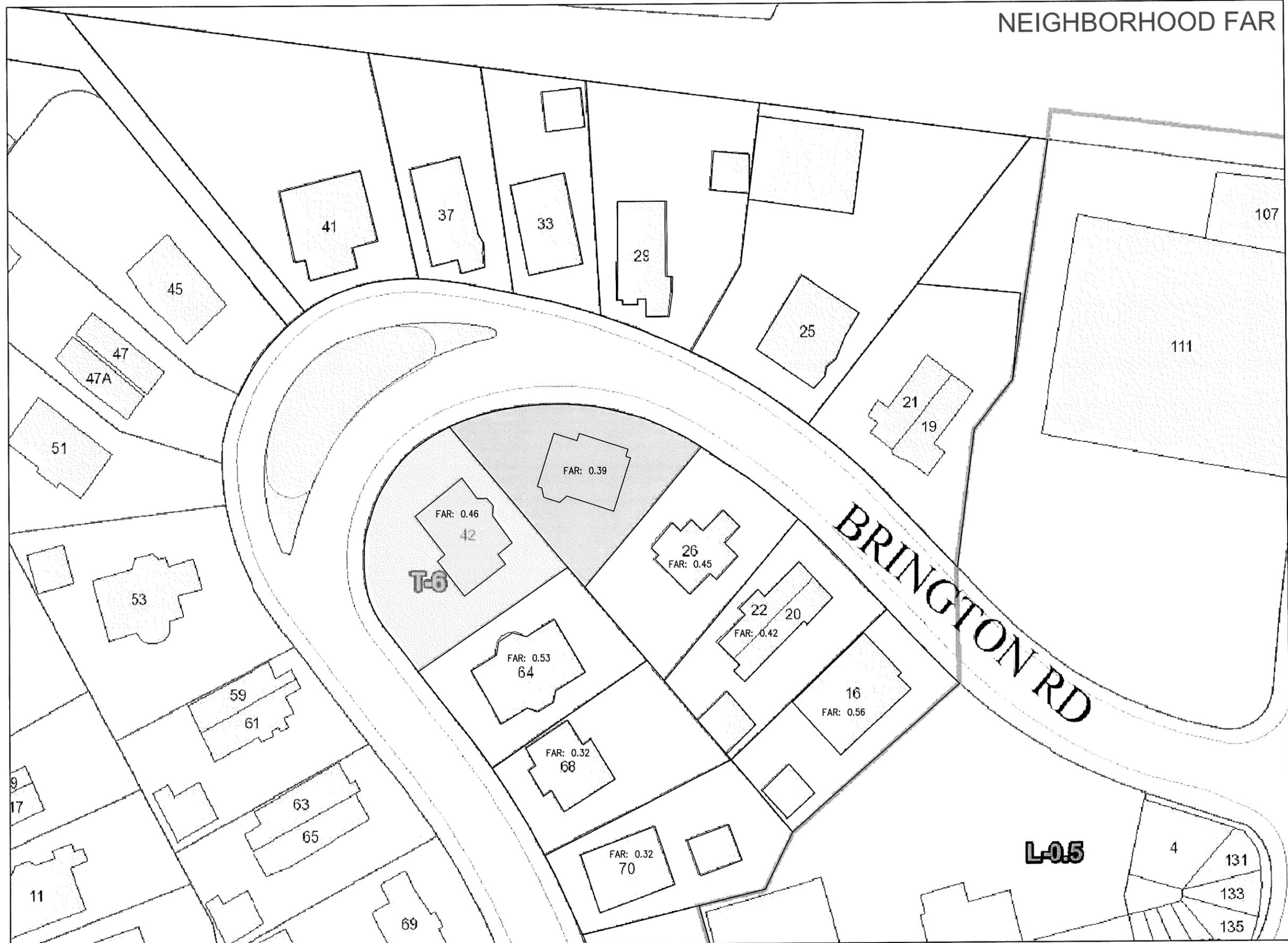


GODDARD LAND CO.
 STUDY FOR LAYING OUT LAND BETWEEN
 CLARK ROAD AND RAILROAD

SCALE OF FEET
 0 20 40 60 80 100 120 140 160 180 200



NEIGHBORHOOD FAR



ARCHITECTS
 Hart Associates, Inc.
 phone 817-498-0000
 fax 817-498-0001
 50 Church Street
 Brookline, Massachusetts
 02445

The Campana Residence
 42 Brington Rd,
 Brookline, MA

BRINGTON ROAD
 FAR DIAGRAM
 SCALE: 1:10

ISSUED	1	2016-05-18
	2	
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S1.2

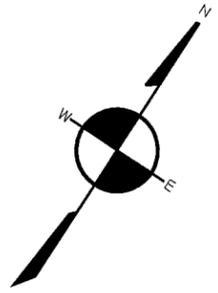
JULY 28, 2016 PLANNING BOARD MEETING

ZONING (LOT 8)
 1-FAMILY DETACHED DWELLING
 DISTRICT: T-6

	REQUIRED	PROPOSED
LOT SIZE:	5,000 SF	5,414.4
F.A.R.:	0.75	0.42
LOT WIDTH:	45'	103.92'
MAX HEIGHT:	35.0'	33.2'
SETBACKS		
FRONT:	15.0'	15.2'
REAR:	30.0'	11.3'/ 8.3' (** NON-CONFORMING)
OPEN SPACE		
GFA:	2273 SF - (PROVIDED BY ARCHITECT)	
	MIN.	PROPOSED
LANDSC:	10% 227.3 SF	62.2% 3369 ±SF
USABLE:	30% 681.9 SF	48.9% 2650 ±SF

Lot 7	Lot 8
6,088.3 SF, FAR: 0.75 MAX GFA = 4,566 SF	5,414.4 SF, FAR: 0.75 MAX GFA = 4,060.8 SF
Existing House GFA: 1st Floor x 2.5 = 3,550 SF	Proposed House GFA: 1st + 2nd Floor = 2,273 SF

Lot 7 + Lot 8
6,088.3 + 5,414.4 = 11,502.7 SF, FAR 0.75 MAX GFA = 8,627 SF
Existing House + Proposed House GFA: 3,550 + 2,273 = 5,823 SF



REFERENCES:
 DEED: BK 10923; PG 443
 PLAN: PL BK 14; PL 617
 BK 637; PG 107
 BK 662; PG 461
 NO. 509 OF 1980

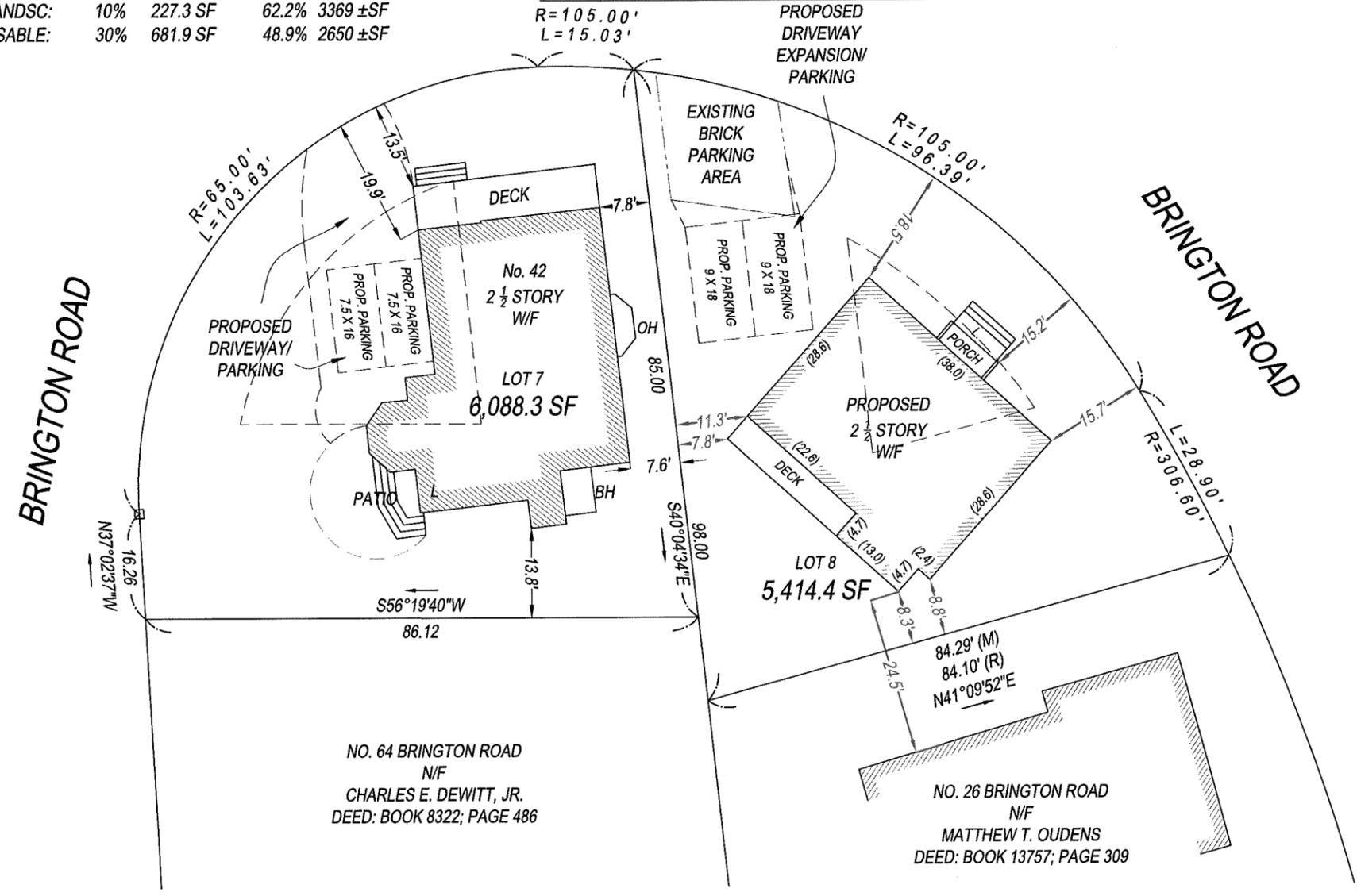
FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
M22	38	MO	NPP/MO	GCC

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JANUARY 20 AND DECEMBER 21, 2015 ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).
 COMMUNITY-PANEL #25021C0034E
 EFFECTIVE DATE: 07/17/2012

PREPARED FOR:
 ROY CAMPANA &
 KERRY O'DONNELL
 42 BRINGTON ROAD
 BROOKLINE, MA 02445

NOTES:
 PARCEL ID: 190-07-00
 190-08-00



NO. 64 BRINGTON ROAD
 N/F
 CHARLES E. DEWITT, JR.
 DEED: BOOK 8322; PAGE 486

NO. 26 BRINGTON ROAD
 N/F
 MATTHEW T. OUDENS
 DEED: BOOK 13757; PAGE 309

CERTIFIED PLOT PLAN
 SHOWING PROPOSED CONDIITONS AT
42 BRINGTON ROAD
BROOKLINE, MA

SCALE: 1 INCH = 20 FEET DATE: APRIL 20, 2016

BOSTON SURVEY, INC.
 UNIT C-4 SHIPWAY PLACE
 CHARLESTOWN, MA 02129
 (617)242-1313

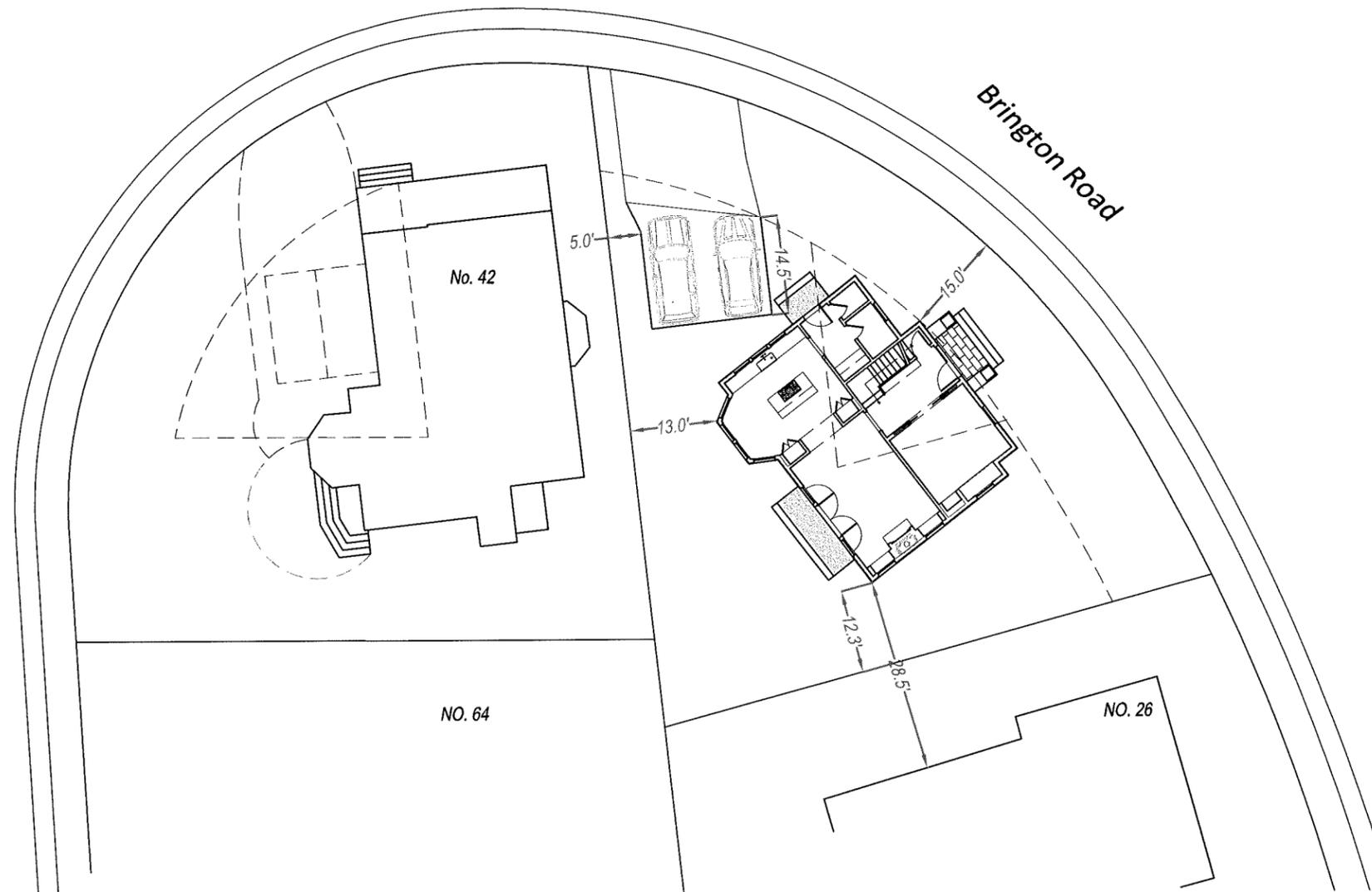
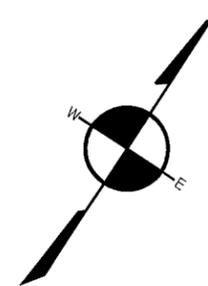
JOB #15-00111 CADD FILE: 15-00111 - CPP - R3.DWG

ZONING (LOT 8)
 1-FAMILY DETACHED DWELLING
 DISTRICT: T-6

	REQUIRED	PROPOSED
LOT SIZE:	5,000 SF	5,414.4
F.A.R.:	0.75	0.39
LOT WIDTH:	45'	103.92'
MAX HEIGHT:	35.0'	32.3'
SETBACKS		
FRONT:	15.0'	15.0'
REAR:	30.0'	13.0'/12.3' (** NON-CONFORMING)
OPEN SPACE		
GFA:	2273 SF - (PROVIDED BY ARCHITECT)	
MIN.	PROPOSED	
LANDSC:	10% 227.3 SF	62.2% 3369 ±SF (APPROXIMATE)
USABLE:	30% 681.9 SF	48.9% 2650 ±SF (APPROXIMATE)

Lot 7	Lot 8
6,088.3 SF, FAR: 0.75 MAX GFA = 4,566 SF	5,414.4 SF, FAR: 0.75 MAX GFA = 4,060.8 SF
FAR = 0.46	FAR = 0.39
Existing House GFA: 1st Floor x 2.5 = 3,550 SF	Proposed House GFA: 1st + 2nd Floor = 2,122 SF

Lot 7 + Lot 8
6,088.3 + 5,414.4 = 11,502.7 SF, FAR 0.75 MAX GFA = 8,627 SF
Existing House + Proposed House GFA: 3,550 + 2,122 = 5,672 SF



NOTE: ALL DIMENSIONS ARE APPROXIMATE
 JULY 28, 2016 PLANNING BOARD MEETING

ARCHITECTS
 Hart Associates, Inc.
 phone 617-489-0000
 fax 617-489-0001
 90 Church Street
 Brookline, Massachusetts
 02445

The Campana Residence
 42 Brington Rd,
 Brookline, MA

SITE PLAN
 SCALE: 1" = 20'-0"

ISSUED	1	2	3	4	5	6

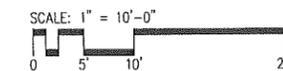
C1.1

LOT 8, 42 BRINGTON ROAD

T-6 DISTRICT	REQUIRED	1 st April 28 th Submission	2 nd Neighborhood Meeting	CURRENT PROPOSAL July 28, 2016
LOT SIZE	5,000 SF	5,414 SF	5,414 SF	5,414 SF
FAR	0.75	0.66	0.42	0.39
GROSS FLOOR AREA			2,273 SF	2,122 SF
LOT WIDTH	45'	103.92'	103.92'	103.92'
MAX HEIGHT	35'	33.2'	33.2'	32.3'
FRONT	15'	15.3'	15.2'	15.0'
REAR	30'	14.3/8.1	11.3'/8.3'	13.0'/12.3'
LANDSCAPE USABLE	227.3 SF 681.9 SF		62.2% 3,369 SF (APPROX.) 48.9% 2,650 SF (APPROX.)	NO CHANGE IN APPROXIMATION

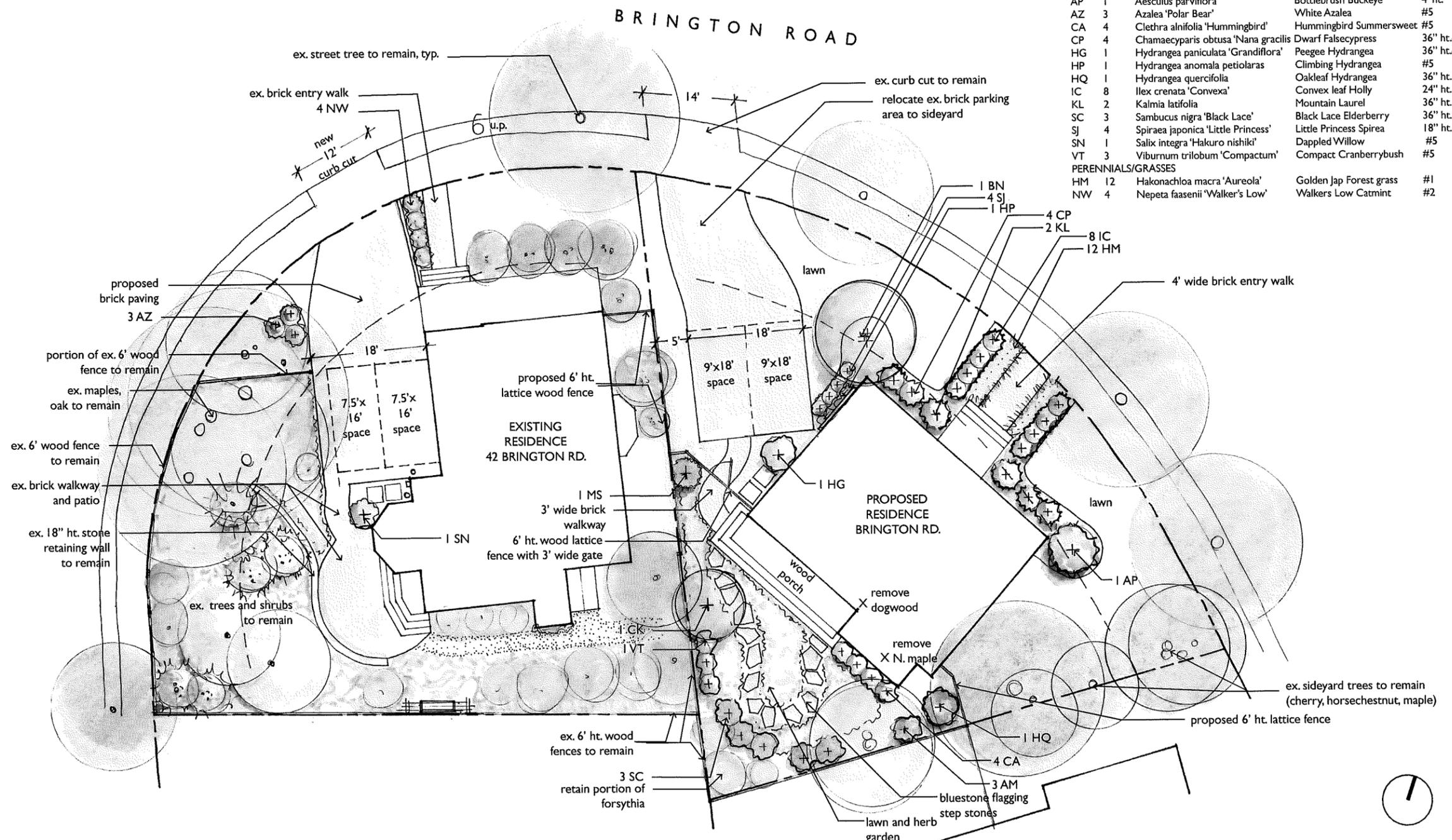
42 Brington Road | Brookline, MA

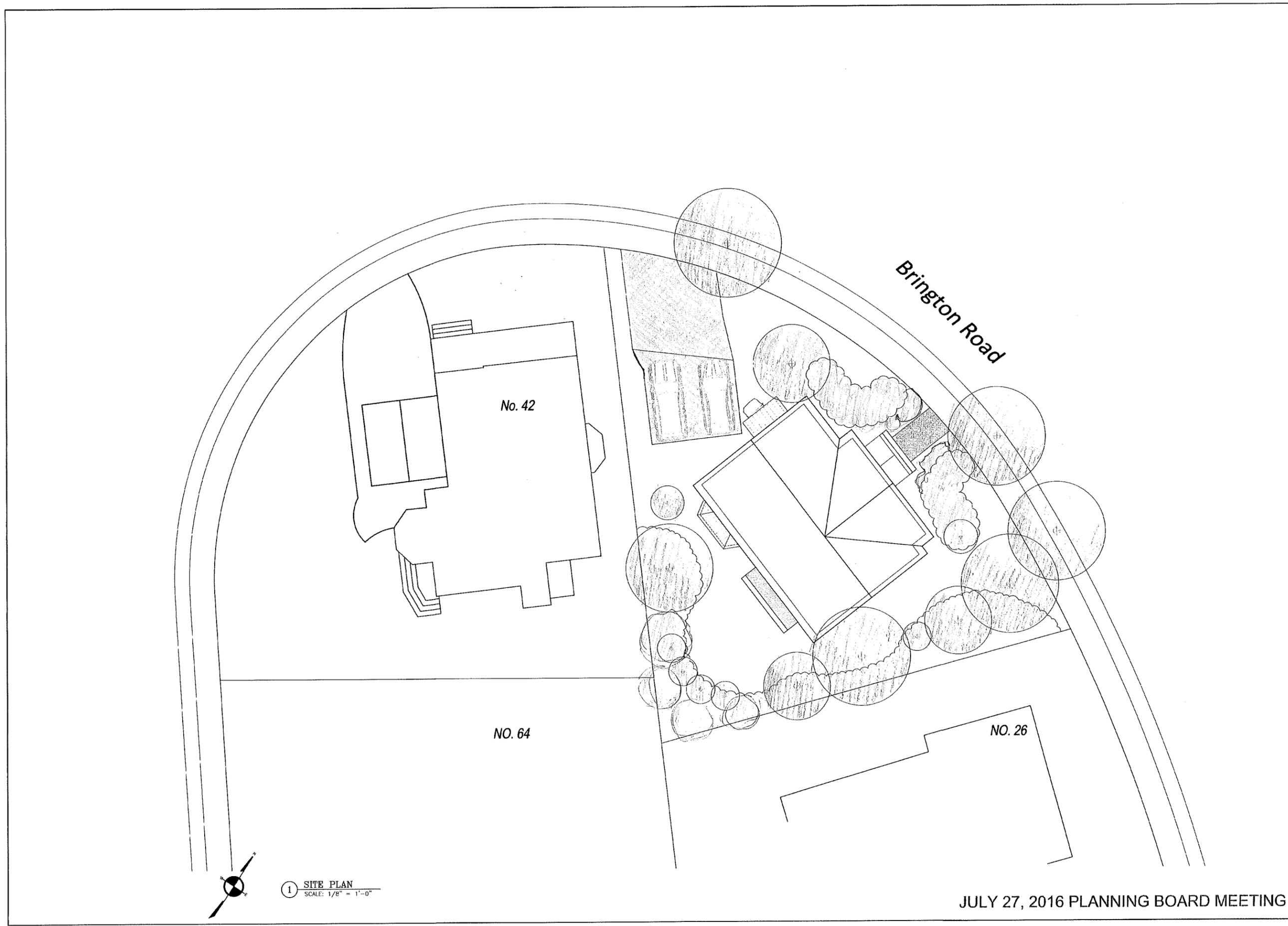
Illustrative Landscape Plan



April 3, 2016

KEY	QTY	LATIN NAME	COMMON NAME	SIZE
TREES				
BN	1	Betula nigra 'Heritage'	Heritage River Birch	3" cal./B&B
CK	1	Cornus kousa 'Venus'	Venus Dogwood	2.5-3" cal./B&B
MS	1	Magnolia stellata	Star Magnolia	5'-6' ht./B&B
SHRUBS/VINES				
AM	3	Aronia melanocarpa	Black Chokeberry	36" ht./#5
AP	1	Aesculus parviflora	Bottlebrush Buckeye	4' ht.
AZ	3	Azalea 'Polar Bear'	White Azalea	#5
CA	4	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	#5
CP	4	Chamaecyparis obtusa 'Nana gracilis'	Dwarf Falsecypress	36" ht./B&B
HG	1	Hydrangea paniculata 'Grandiflora'	Peegee Hydrangea	36" ht./multistem
HP	1	Hydrangea anomala petiolaris	Climbing Hydrangea	#5
HQ	1	Hydrangea quercifolia	Oakleaf Hydrangea	36" ht./#5
IC	8	Ilex crenata 'Convexa'	Convex leaf Holly	24" ht.
KL	2	Kalmia latifolia	Mountain Laurel	36" ht./B&B
SC	3	Sambucus nigra 'Black Lace'	Black Lace Elderberry	36" ht./#5
SJ	4	Spiraea japonica 'Little Princess'	Little Princess Spirea	18" ht./#3
SN	1	Salix integra 'Hakuro nishiki'	Dappled Willow	#5
VT	3	Viburnum trilobum 'Compactum'	Compact Cranberrybush	#5
PERENNIALS/GRASSES				
HM	12	Hakonachloa macra 'Aureola'	Golden Jap Forest grass	#1
NW	4	Nepeta faassenii 'Walker's Low'	Walkers Low Catmint	#2





① SITE PLAN
SCALE: 1/8" = 1'-0"

JULY 27, 2016 PLANNING BOARD MEETING

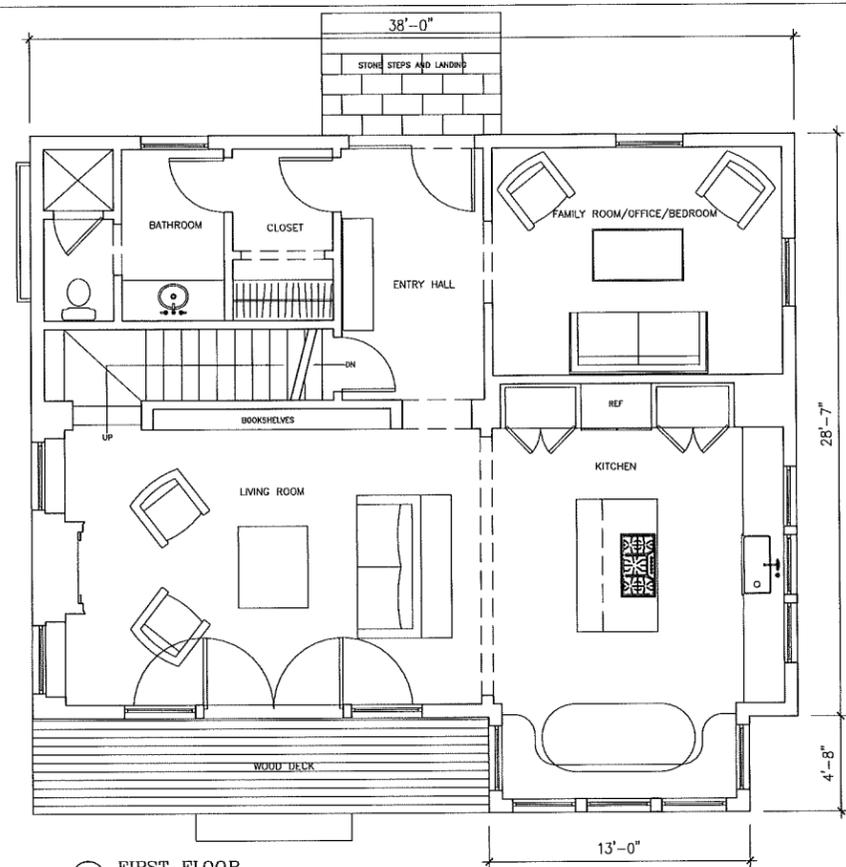
Hart Associates, Inc.
Phone 617-489-0030
Fax 617-489-0091
40 Church Street
Belmont, Massachusetts
02478

The Campana Residence
42 Brington Rd,
Brookline, MA

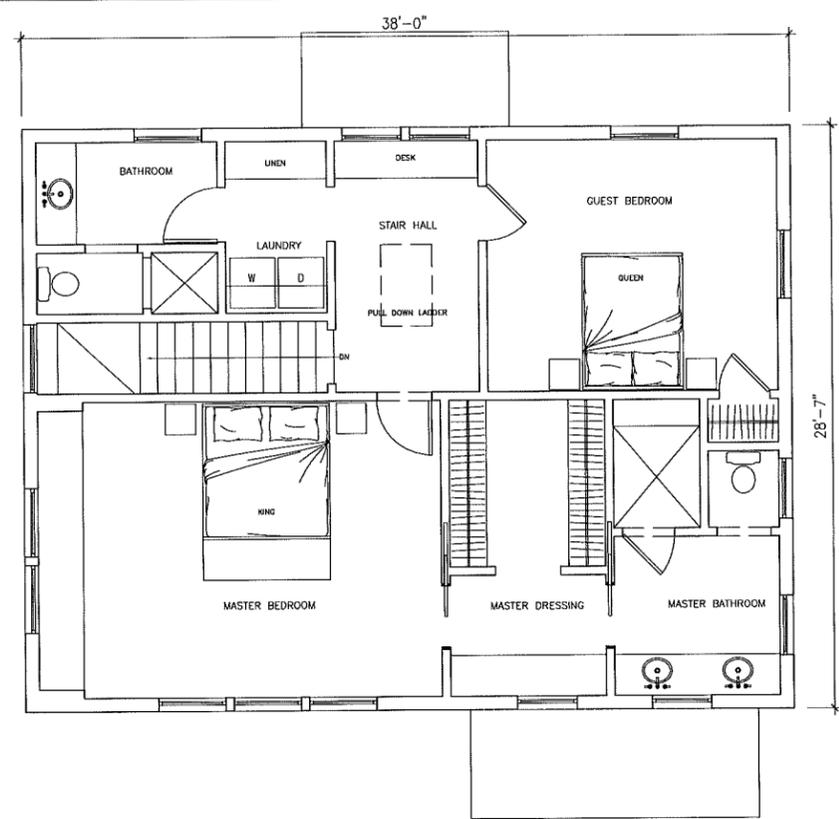
SITE PLAN
SCALE: 1/8"=1'-0"

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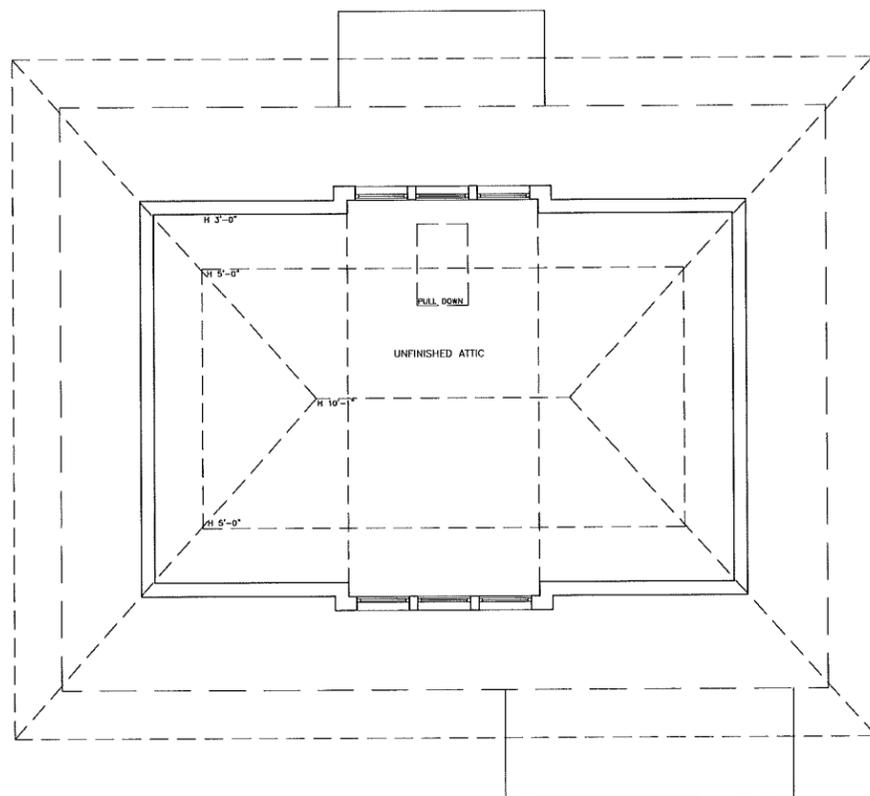
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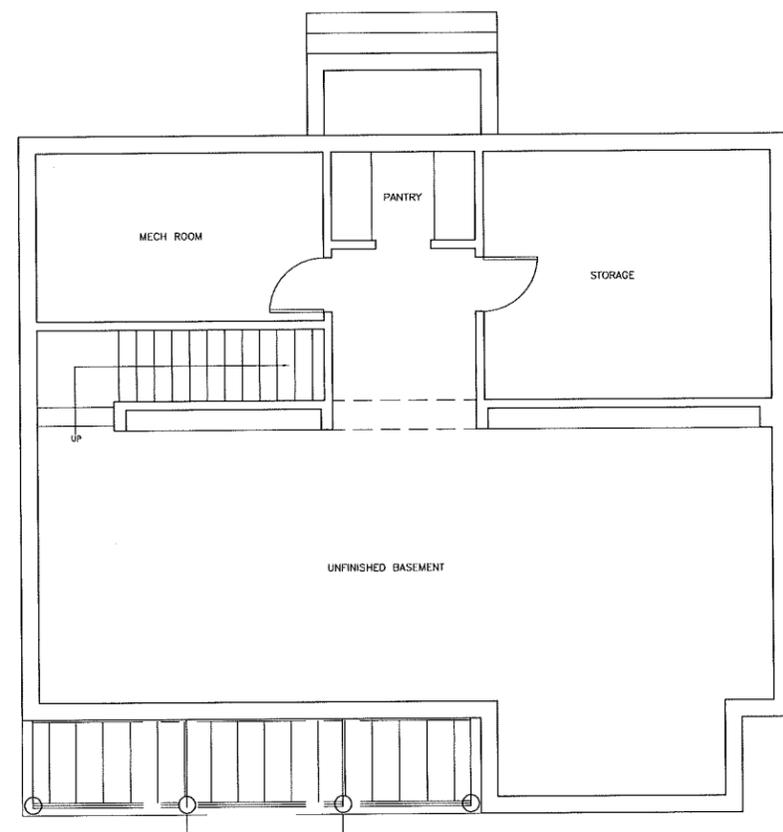
1 FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 ATTIC
SCALE: 1/4" = 1'-0"



1 BASEMENT
SCALE: 1/4" = 1'-0"

ARCHITECTS
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Phone 617-438-0000
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50 Church Street
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02478

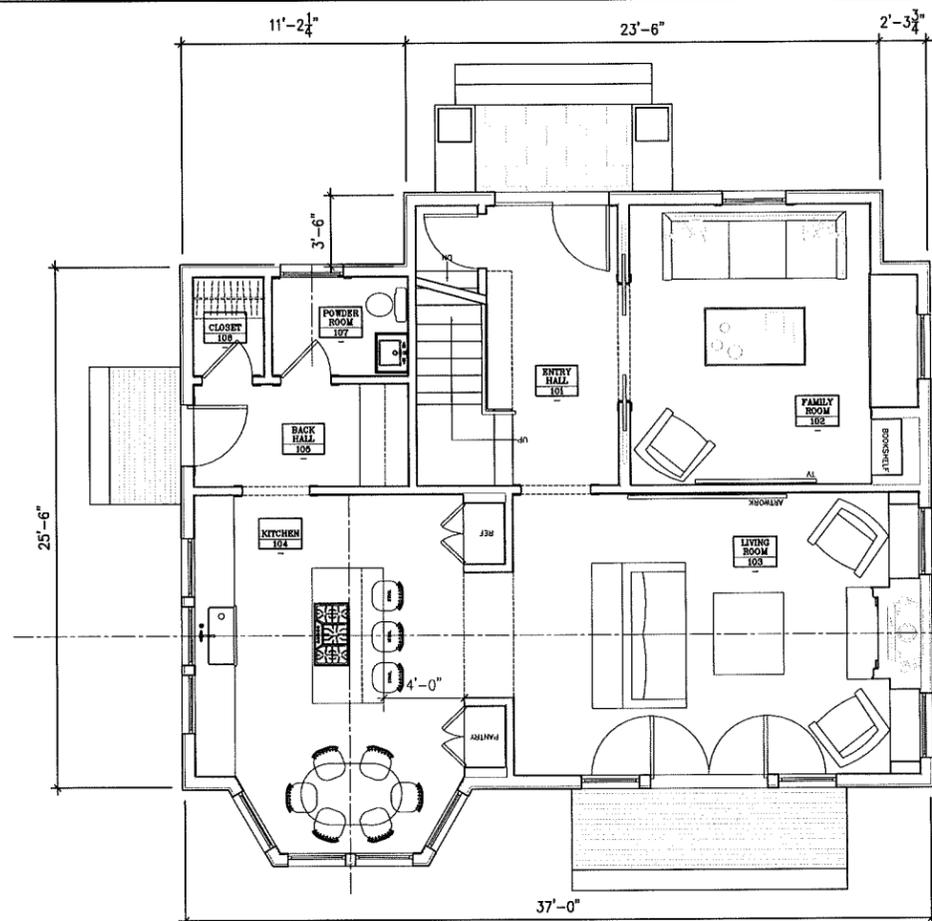
The Campana Residence
42 Brington Rd.
Brookline, MA

FLOOR PLANS
SCALE: 1/4" = 1'-0"

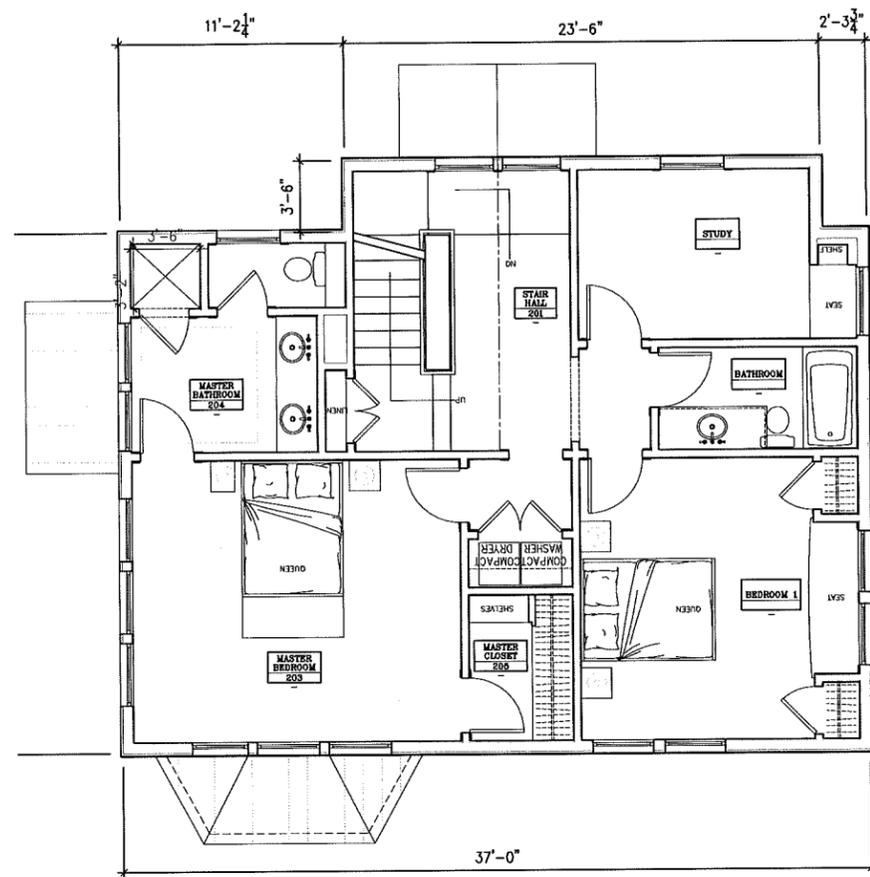
ISSUED	DATE
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A1.1

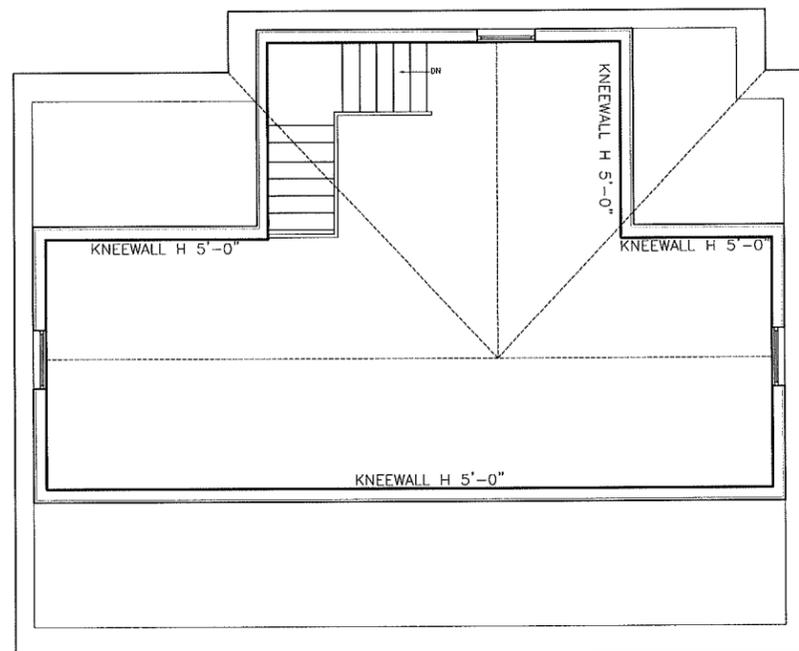
2016 APRIL 14



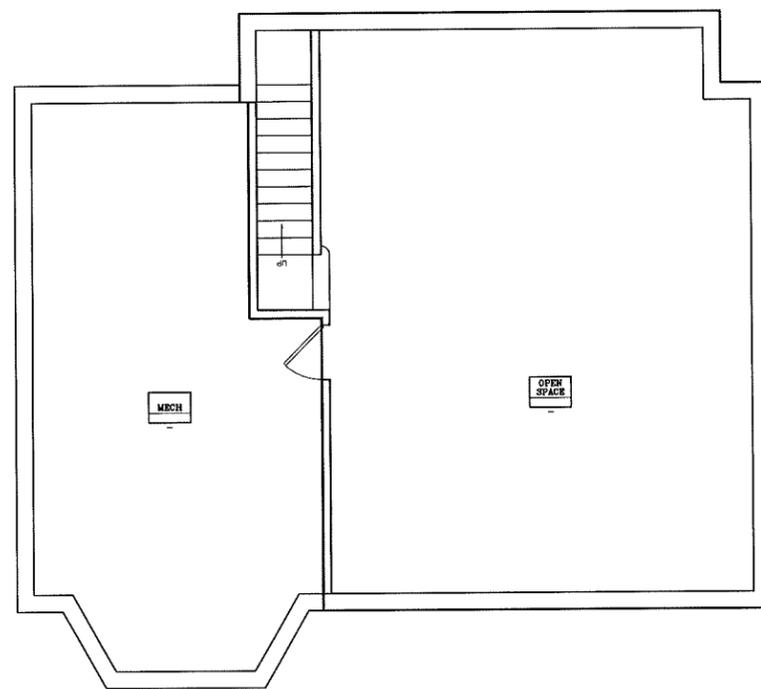
1 FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 ATTIC
SCALE: 1/4" = 1'-0"



1 BASEMENT
SCALE: 1/4" = 1'-0"

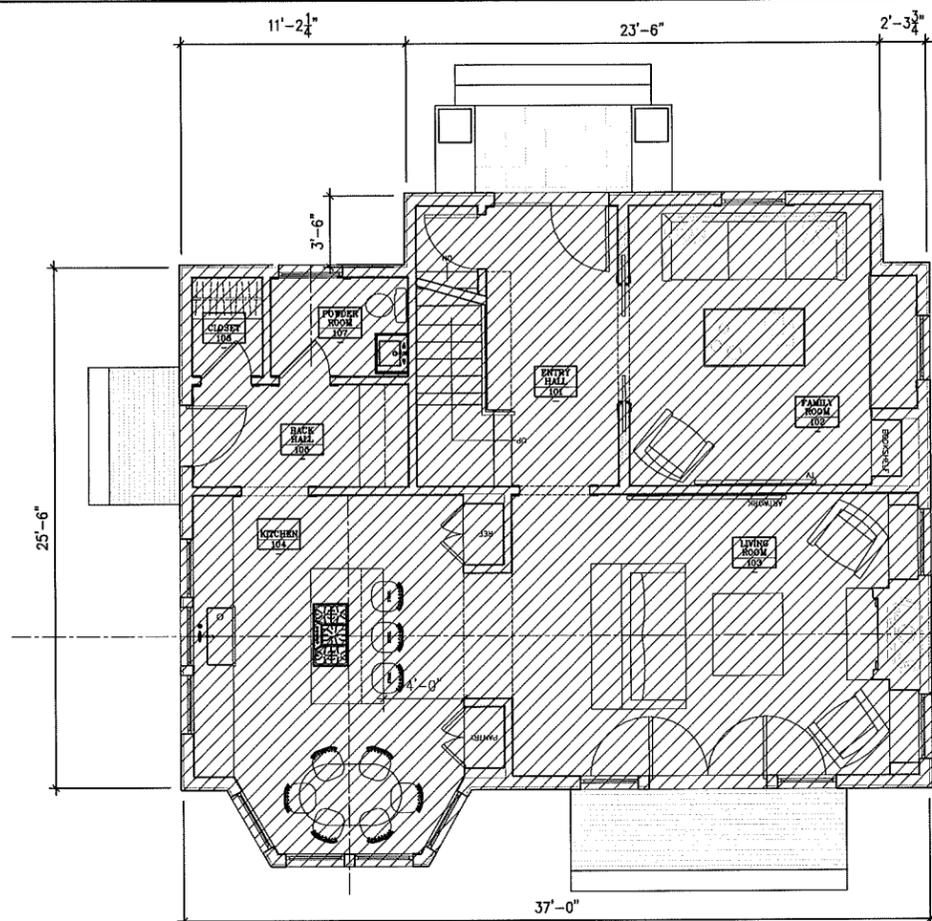
ARCHITECTS
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Fax 617-488-0001
50 Church Street
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02109

The Campana Residence
42 Brington Rd,
Brookline, MA

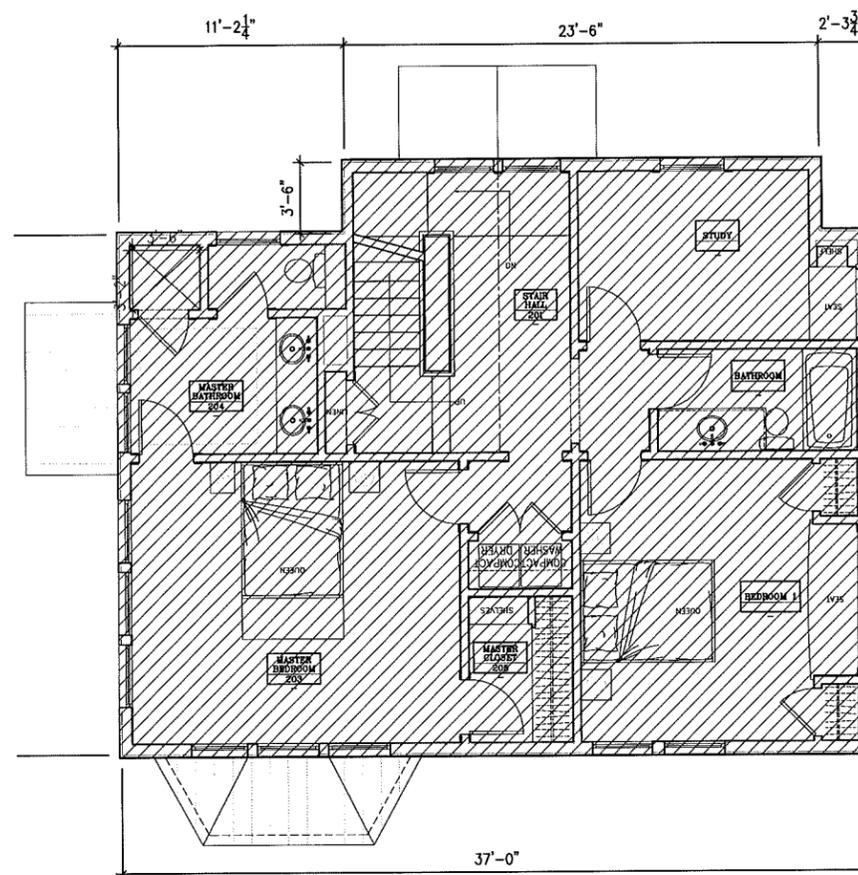
FLOOR PLANS
SCALE: 1/4" = 1'-0"

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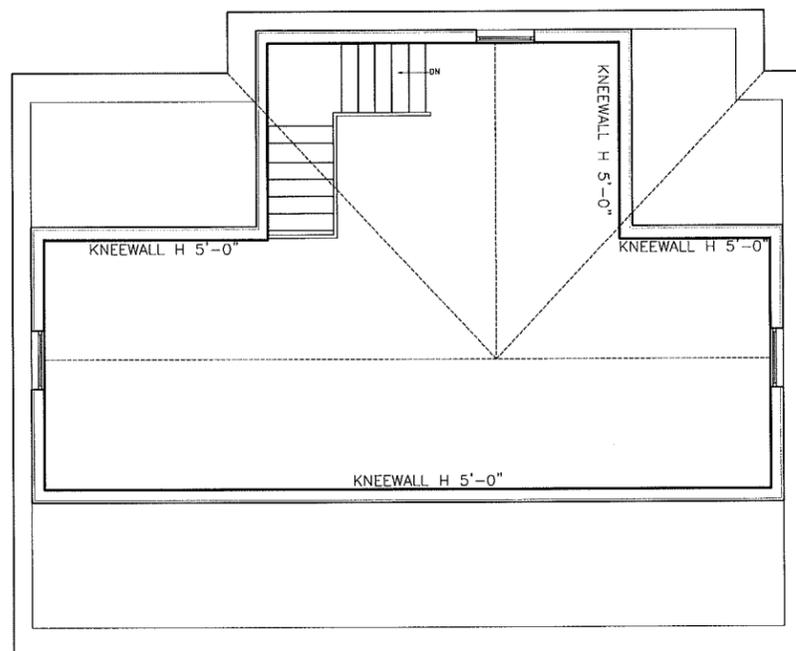
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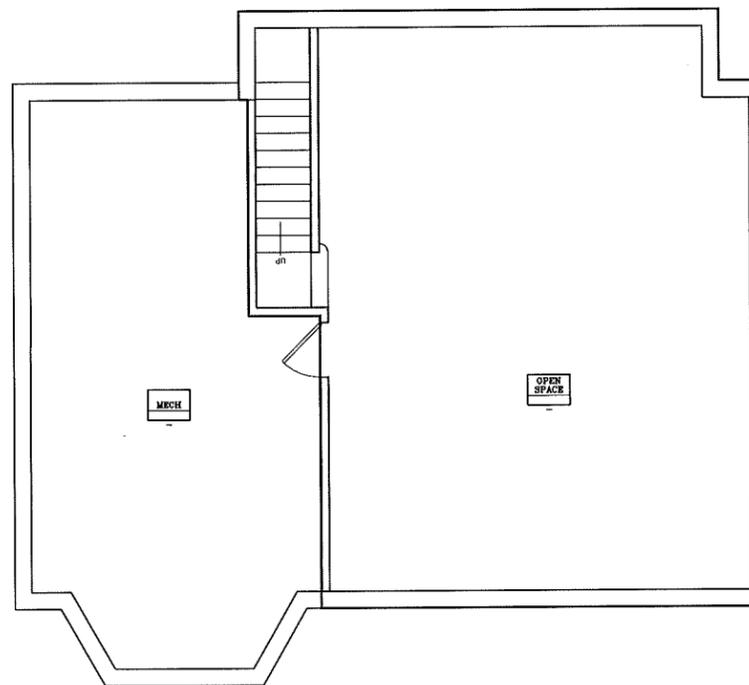
1 FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 UNFINISHED ATTIC
SCALE: 1/4" = 1'-0"



1 UNFINISHED BASEMENT
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE

1ST FLOOR	1080 SF
2ND FLOOR	1042 SF
SUBTOTAL	2122 SF
UNFIN. BASEMENT	N/A
UNFIN. ATTIC	N/A
TOTAL	2122 SF

FAR / GFA

LOT SIZE	5414.4 SF
MAX. FAR ALLOWED	0.75
PROPOSED FAR	0.39
MAX. GFA ALLOWED	4061 SF
5414.4 x 0.75 = 4061 SF	
PROPOSED GFA	2122 SF
(1939 SF UNDER MAX GFA)	

ARCHITECTS
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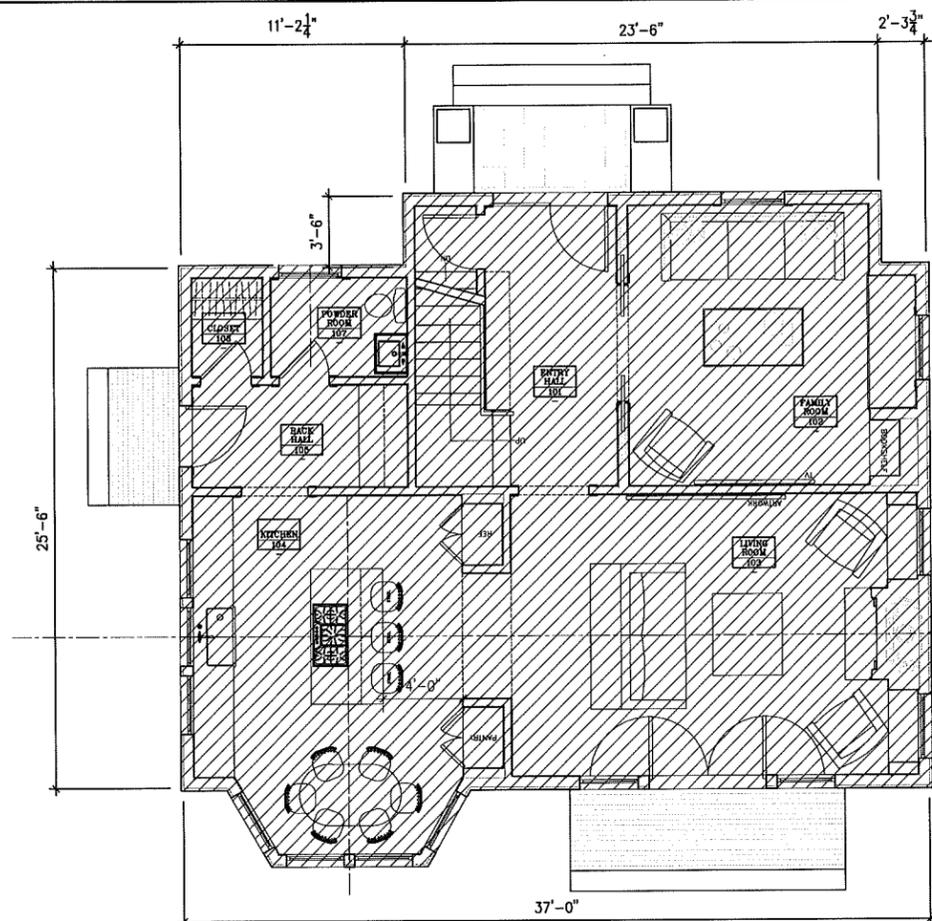
FLOOR PLANS

SCALE: 1/4"=1'-0"

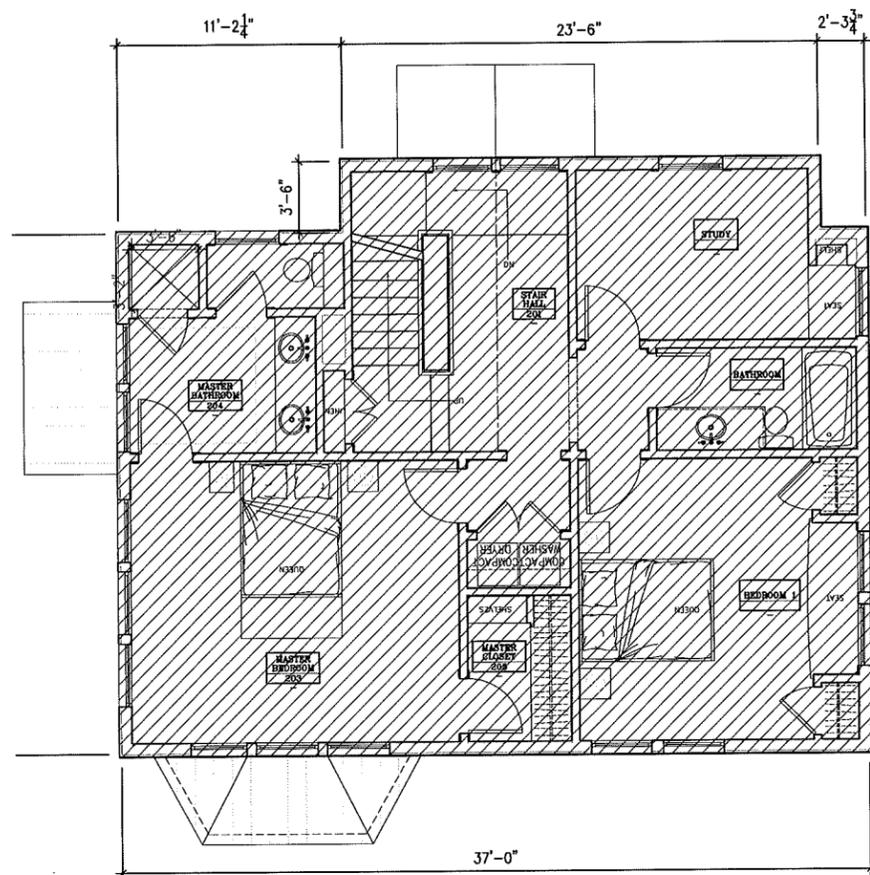
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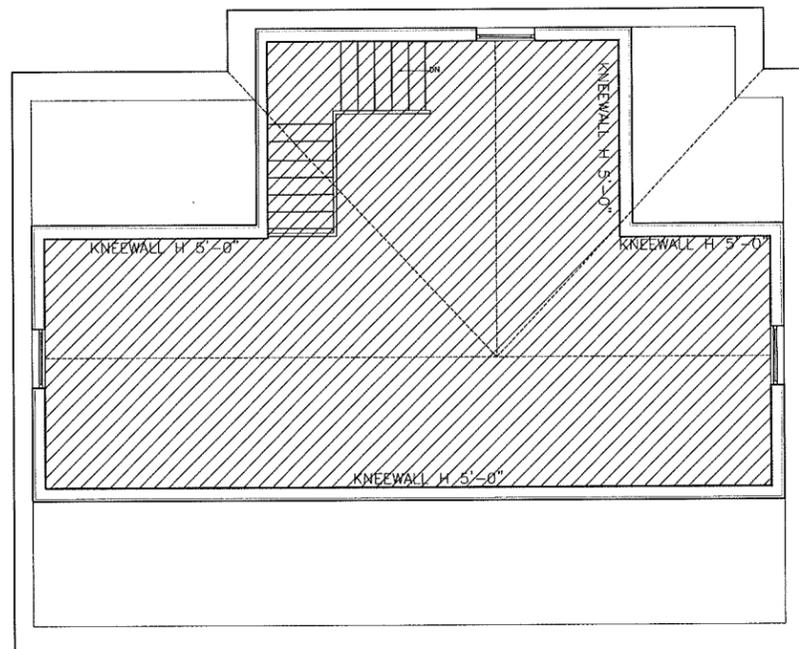
JULY 28, 2016 PLANNING BOARD MEETING



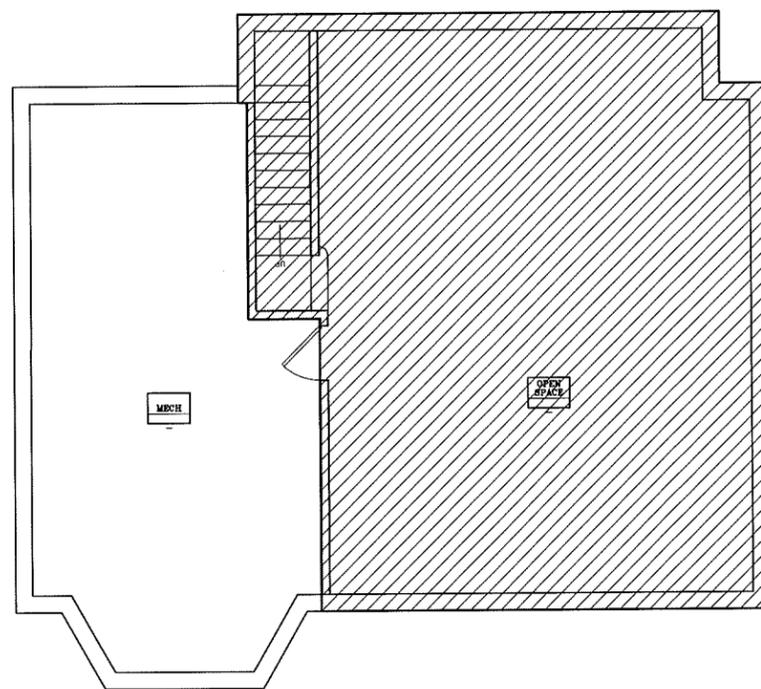
1 FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 ATTIC
SCALE: 1/4" = 1'-0"



1 BASEMENT
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE

1ST FLOOR	1080 SF
2ND FLOOR	1042 SF
SUBTOTAL	2122 SF
BASEMENT	693 SF
ATTIC	607 SF
TOTAL	3422 SF

FAR / GFA

LOT SIZE	5414.4 SF
MAX. FAR ALLOWED	0.75
PROPOSED FAR	0.63
MAX. GFA ALLOWED	4061 SF
5414.4 x 0.75 = 4061 SF	
PROPOSED GFA	3422 SF
(639 SF UNDER MAX GFA)	

ARCHITECTS

Hart Associates, Inc.
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Fax 617-469-0001
50 Church Street
Brookline, Massachusetts
02470

The Campana Residence
42 Brington Rd,
Brookline, MA

FLOOR PLANS
SCALE: 1/4" = 1'-0"

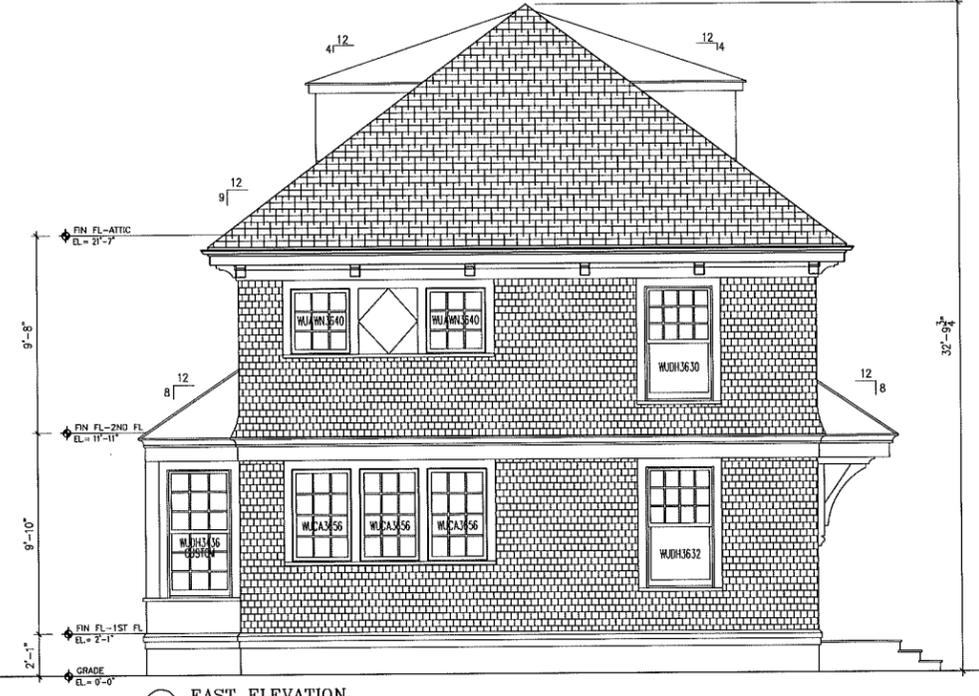
ISSUED	1	2	3	4	5	6

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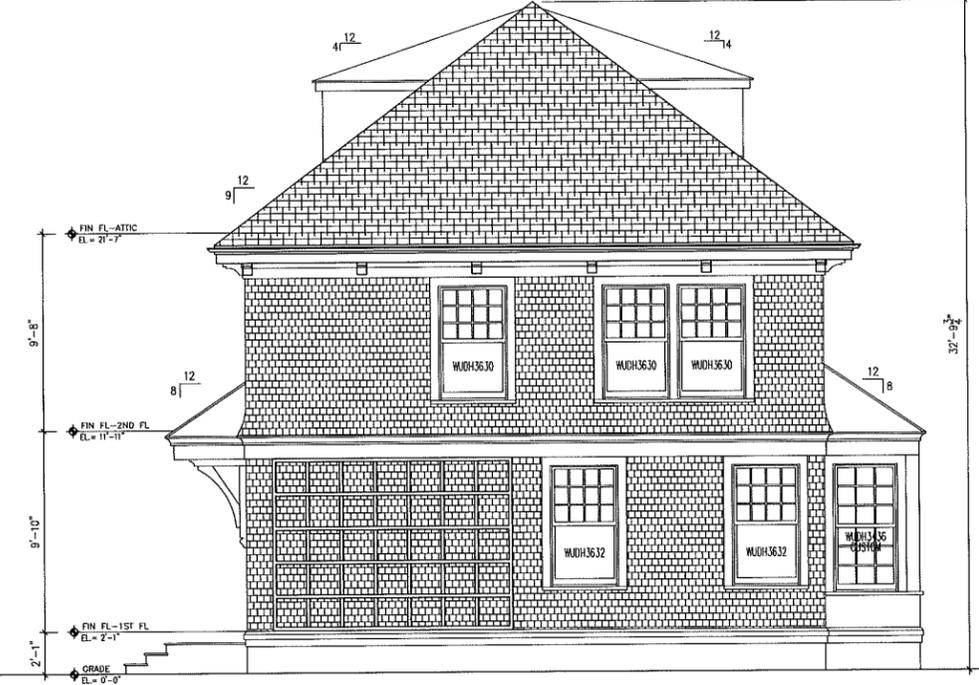
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECTS
Hart Associates, Inc.
Phone 617-489-0000
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50 Church Street
Brookline, Massachusetts
02149

The Campana Residence
42 Brington Rd.,
Brookline, MA

EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

ISSUED	DATE	DESCRIPTION
1	2016-04-14	
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A2.1

2016 APRIL 14



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECTS
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Brookline, Massachusetts
02479

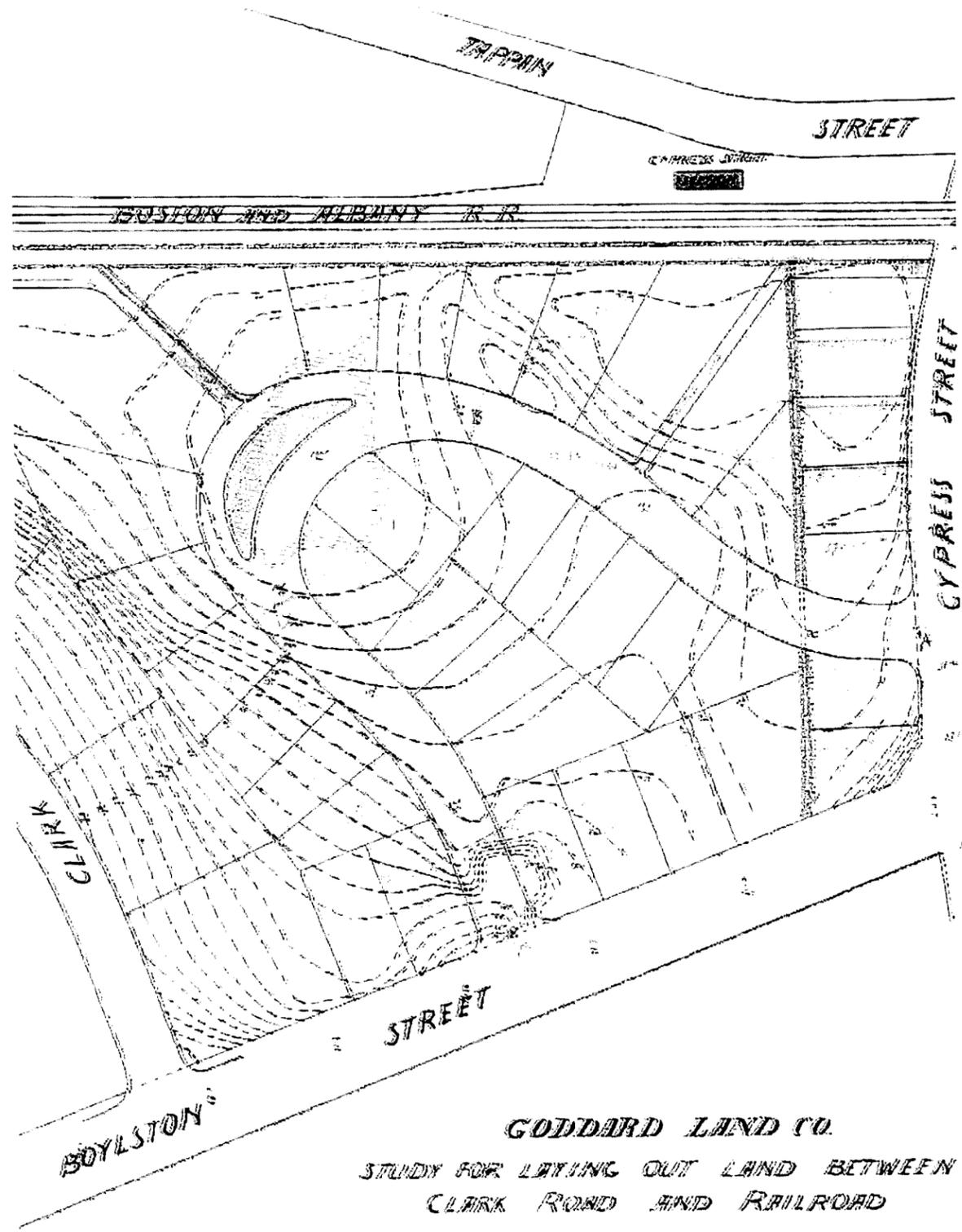
The Campana Residence
42 Brington Rd,
Brookline, MA

EXTERIOR
ELEVATIONS
SCALE: 1/4"=1'-0"

ISSUED	1	2	3	4	5	6

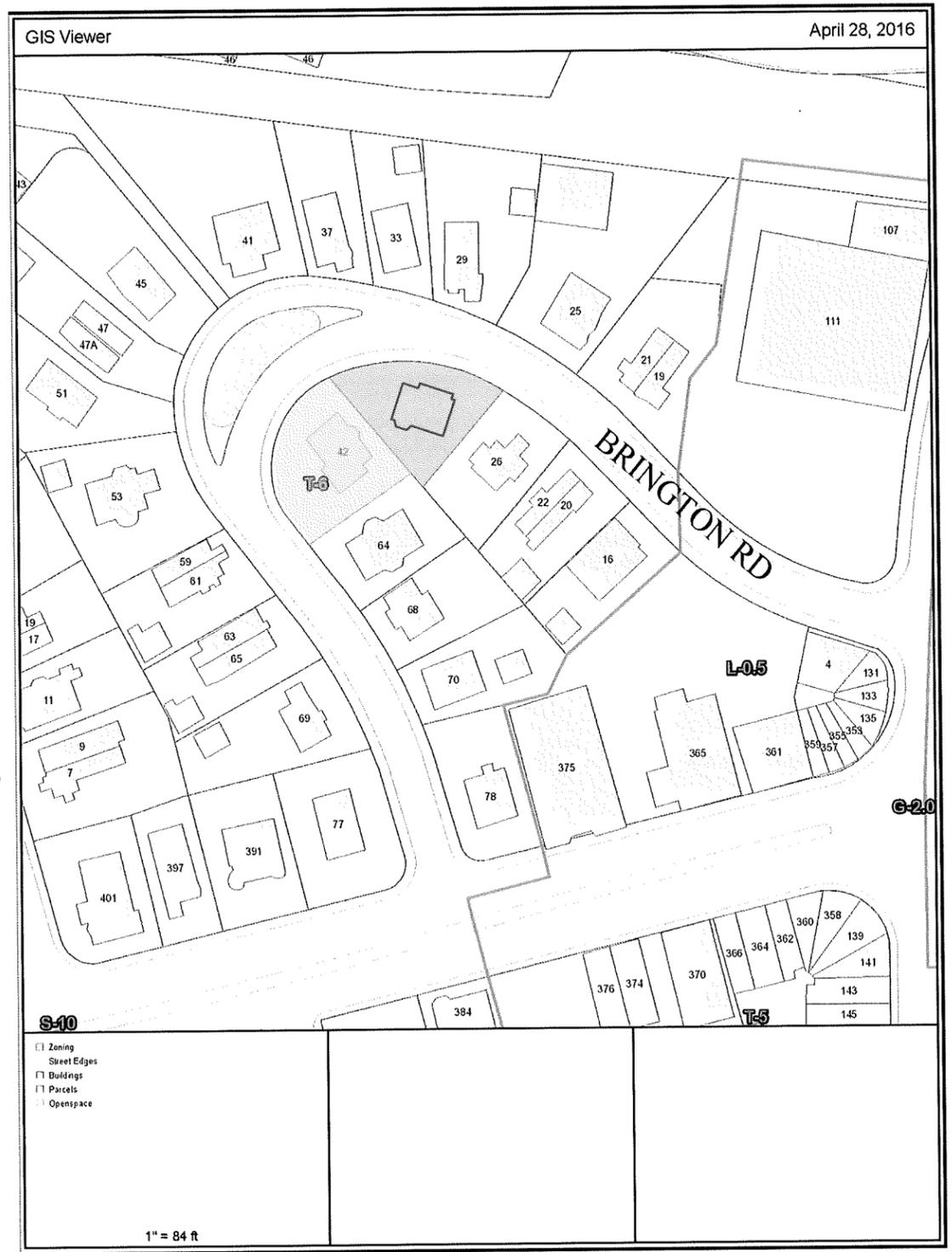
A2.1

JULY 28, 2016 PLANNING BOARD MEETING

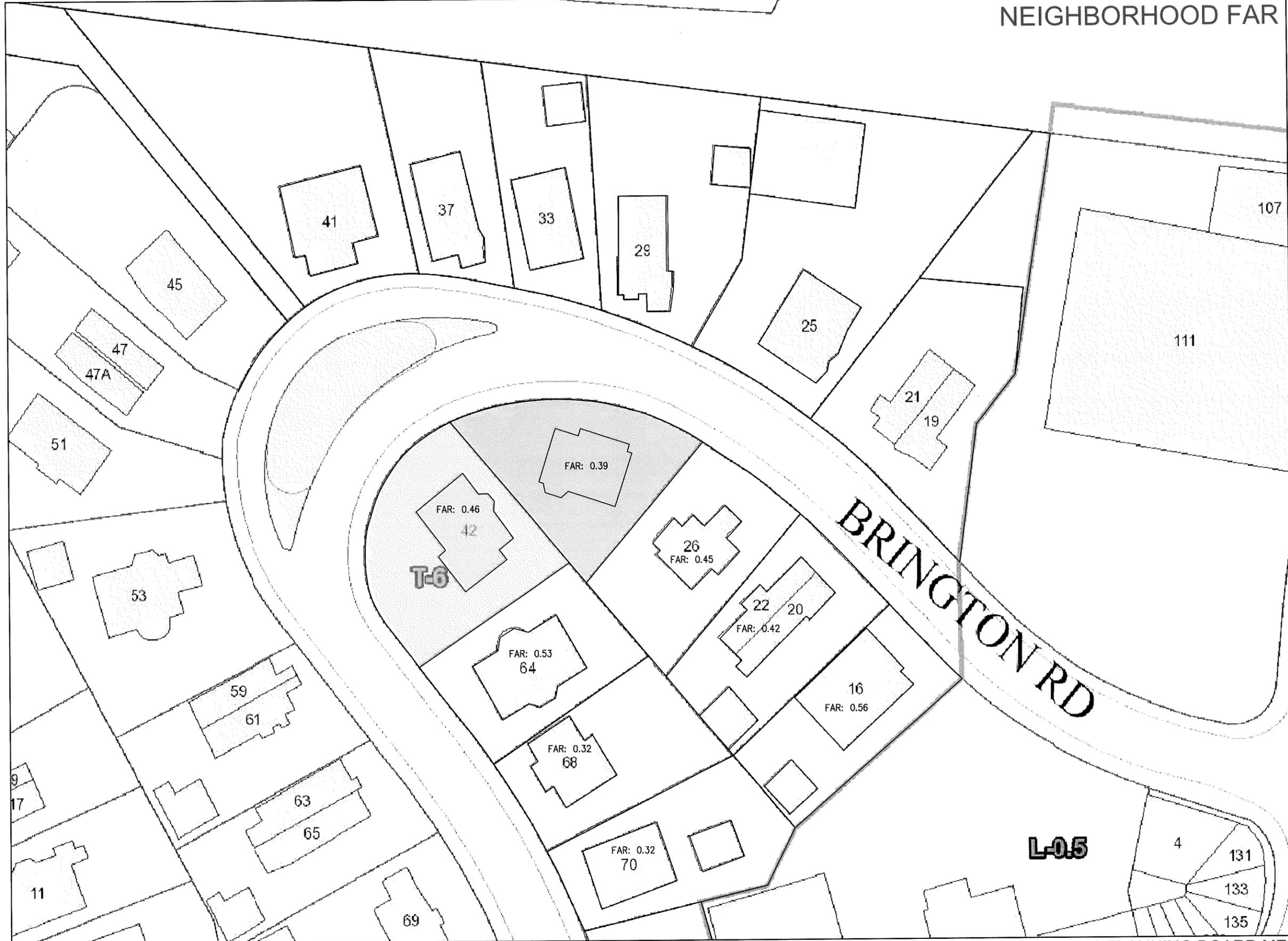


GODDARD LAND CO.
 STUDY FOR LAYING OUT LAND BETWEEN
 CLARK ROAD AND RAILROAD

SCALE OF FEET
 1" = 84 ft



NEIGHBORHOOD FAR



ARCHITECTS
 Hart Associates, Inc.
 phone 617-488-0000
 fax 617-488-0001
 50 Church Street
 Belmont, Massachusetts
 02458

The Campana Residence
 42 Brington Rd,
 Brookline, MA

**BRINGTON ROAD
 FAR DIAGRAM**
 SCALE: 1:10

ISSUED	1	2	3	4	5	6
2016-08-12						

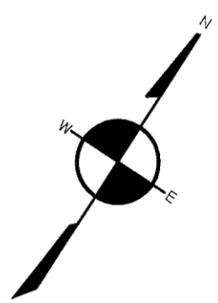
S1.2

ZONING (LOT 8)
 1-FAMILY DETACHED DWELLING
 DISTRICT: T-6

	REQUIRED	PROPOSED
LOT SIZE:	5,000 SF	5,414.4
F.A.R.:	0.75	0.42
LOT WIDTH:	45'	103.92'
MAX HEIGHT:	35.0'	33.2'
SETBACKS		
FRONT:	15.0'	15.2'
REAR:	30.0'	11.3'/8.3' (** NON-CONFORMING)
OPEN SPACE		
GFA:	2273 SF - (PROVIDED BY ARCHITECT)	
	MIN.	PROPOSED
LANDSC:	10% 227.3 SF	62.2% 3369 ±SF
USABLE:	30% 681.9 SF	48.9% 2650 ±SF

Lot 7	Lot 8
6,088.3 SF, FAR: 0.75 MAX GFA = 4,566 SF	5,414.4 SF, FAR: 0.75 MAX GFA = 4,060.8 SF
Existing House GFA: 1st Floor x 2.5 = 3,550 SF	Proposed House GFA: 1st + 2nd Floor = 2,273 SF

Lot 7 + Lot 8
6,088.3 + 5,414.4 = 11,502.7 SF, FAR 0.75 MAX GFA = 8,627 SF
Existing House + Proposed House GFA: 3,550 + 2,273 = 5,823 SF



REFERENCES:
 DEED: BK 10923; PG 443
 PLAN: PL BK 14; PL 617
 BK 637; PG 107
 BK 662; PG 461
 NO. 509 OF 1980

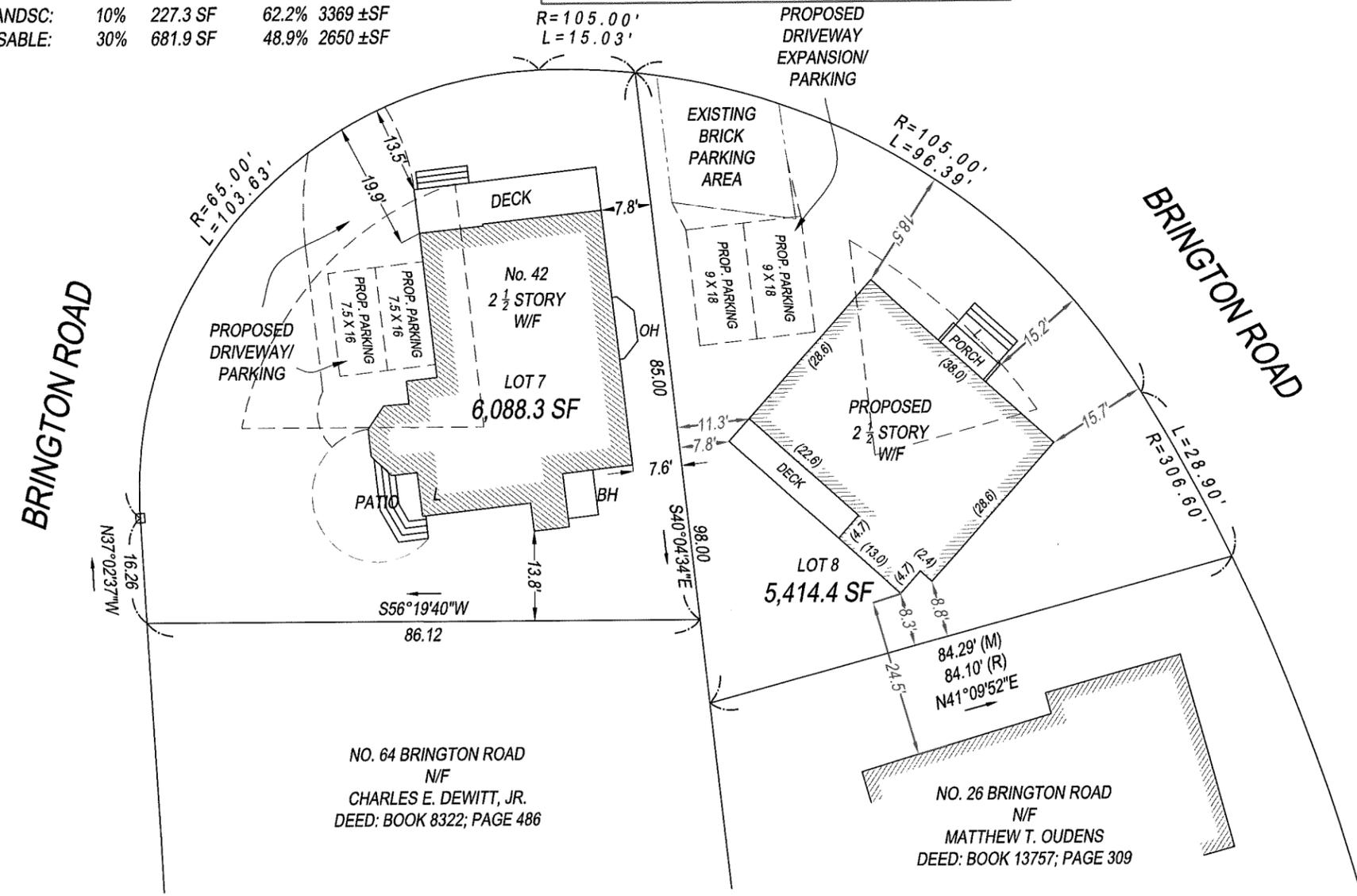
FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
M22	38	MO	NPP/IMO	GCC

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JANUARY 20 AND DECEMBER 21, 2015 ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).
 COMMUNITY-PANEL #25021C0034E
 EFFECTIVE DATE: 07/17/2012

PREPARED FOR:
 ROY CAMPANA &
 KERRY O'DONNELL
 42 BRINGTON ROAD
 BROOKLINE, MA 02445

NOTES:
 PARCEL ID: 190-07-00
 190-08-00



CERTIFIED PLOT PLAN
 SHOWING PROPOSED CONDITONS AT
42 BRINGTON ROAD
BROOKLINE, MA

SCALE: 1 INCH = 20 FEET DATE: APRIL 20, 2016

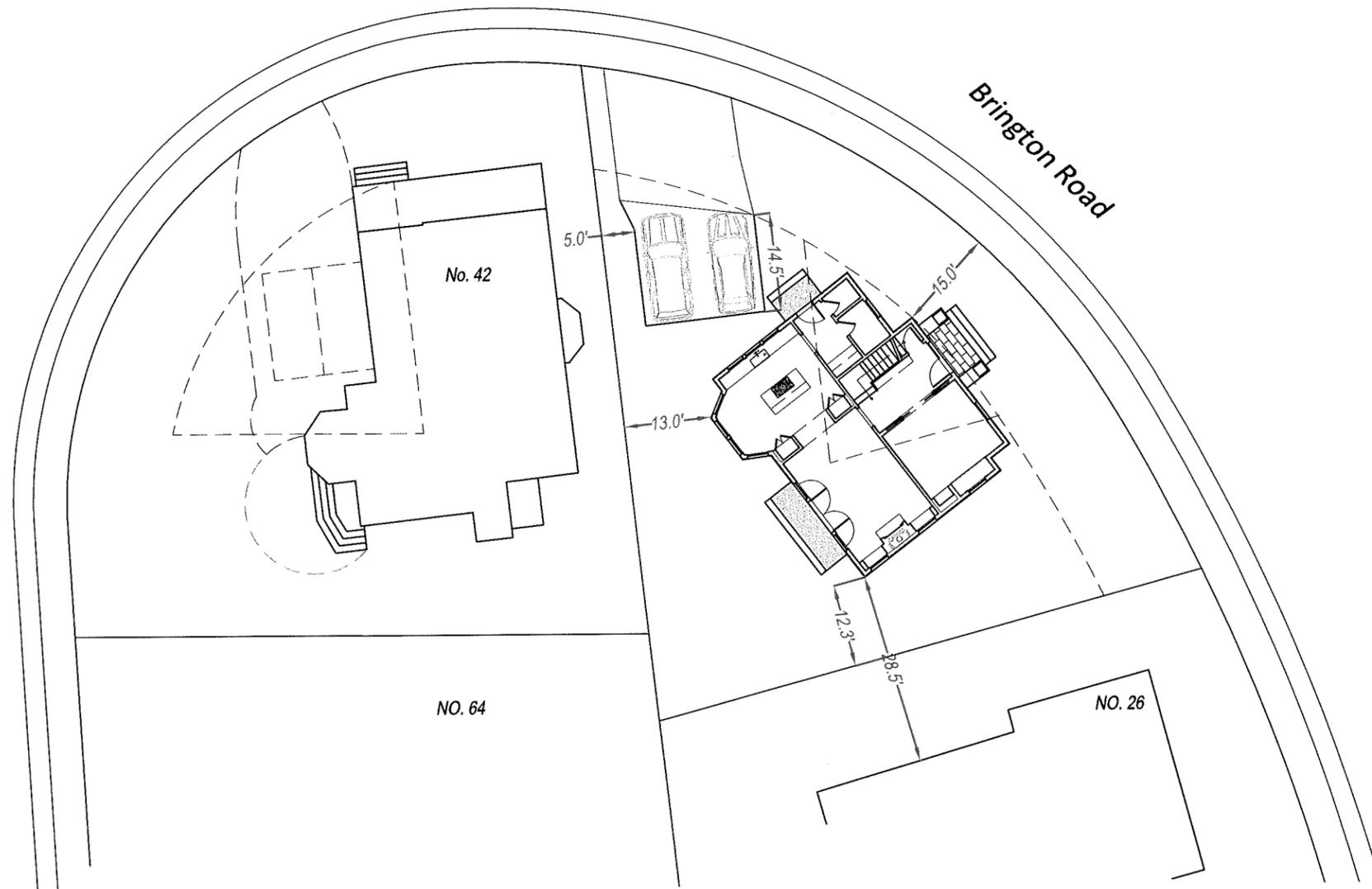
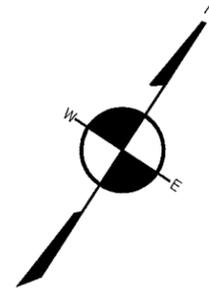


JOB #15-00111 CADD FILE: 15-00111 - CPP - R3.DWG

ZONING (LOT 8)
1-FAMILY DETACHED DWELLING
DISTRICT: T-6

	REQUIRED	PROPOSED
LOT SIZE:	5,000 SF	5,414.4
F.A.R.:	0.75	0.39
LOT WIDTH:	45'	103.92'
MAX HEIGHT:	35.0'	32.3'
SETBACKS		
FRONT:	15.0'	15.0'
REAR:	30.0'	13.0'/12.3' (** NON-CONFORMING)
OPEN SPACE		
GFA:	2273 SF - (PROVIDED BY ARCHITECT)	
MIN.	PROPOSED	
LANDSC:	10% 227.3 SF	62.2% 3369 ±SF (APPROXIMATE)
USABLE:	30% 681.9 SF	48.9% 2650 ±SF (APPROXIMATE)

Lot 7	Lot 8
6,088.3 SF, FAR: 0.75 MAX GFA = 4,566 SF	5,414.4 SF, FAR: 0.75 MAX GFA = 4,060.8 SF
FAR = 0.46	FAR = 0.39
Existing House GFA: 1st Floor x 2.5 = 3,550 SF	Proposed House GFA: 1st + 2nd Floor = 2,122 SF
Lot 7 + Lot 8	
6,088.3 + 5,414.4 = 11,502.7 SF, FAR 0.75 MAX GFA = 8,627 SF	
Existing House + Proposed House GFA: 3,550 + 2,122 = 5,672 SF	



NOTE: ALL DIMENSIONS ARE APPROXIMATE
 JULY 28, 2016 PLANNING BOARD MEETING

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 02149

The Campana Residence
 42 Brington Rd,
 Brookline, MA

SITE PLAN
 SCALE: 1"=20'-0"

ISSUED	1	2	3	4	5	6

C1.1

LOT 8, 42 BRINGTON ROAD

T-6 DISTRICT	REQUIRED	1 st April 28 th Submission	2 nd Neighborhood Meeting	CURRENT PROPOSAL July 28, 2016
LOT SIZE	5,000 SF	5,414 SF	5,414 SF	5,414 SF
FAR	0.75	0.66	0.42	0.39
GROSS FLOOR AREA			2,273 SF	2,122 SF
LOT WIDTH	45'	103.92'	103.92'	103.92'
MAX HEIGHT	35'	33.2'	33.2'	32.3'
FRONT	15'	15.3'	15.2'	15.0'
REAR	30'	14.3/8.1	11.3'/8.3'	13.0'/12.3'
LANDSCAPE USABLE	227.3 SF 681.9 SF		62.2% 3,369 SF (APPROX.) 48.9% 2,650 SF (APPROX.)	NO CHANGE IN APPROXIMATION

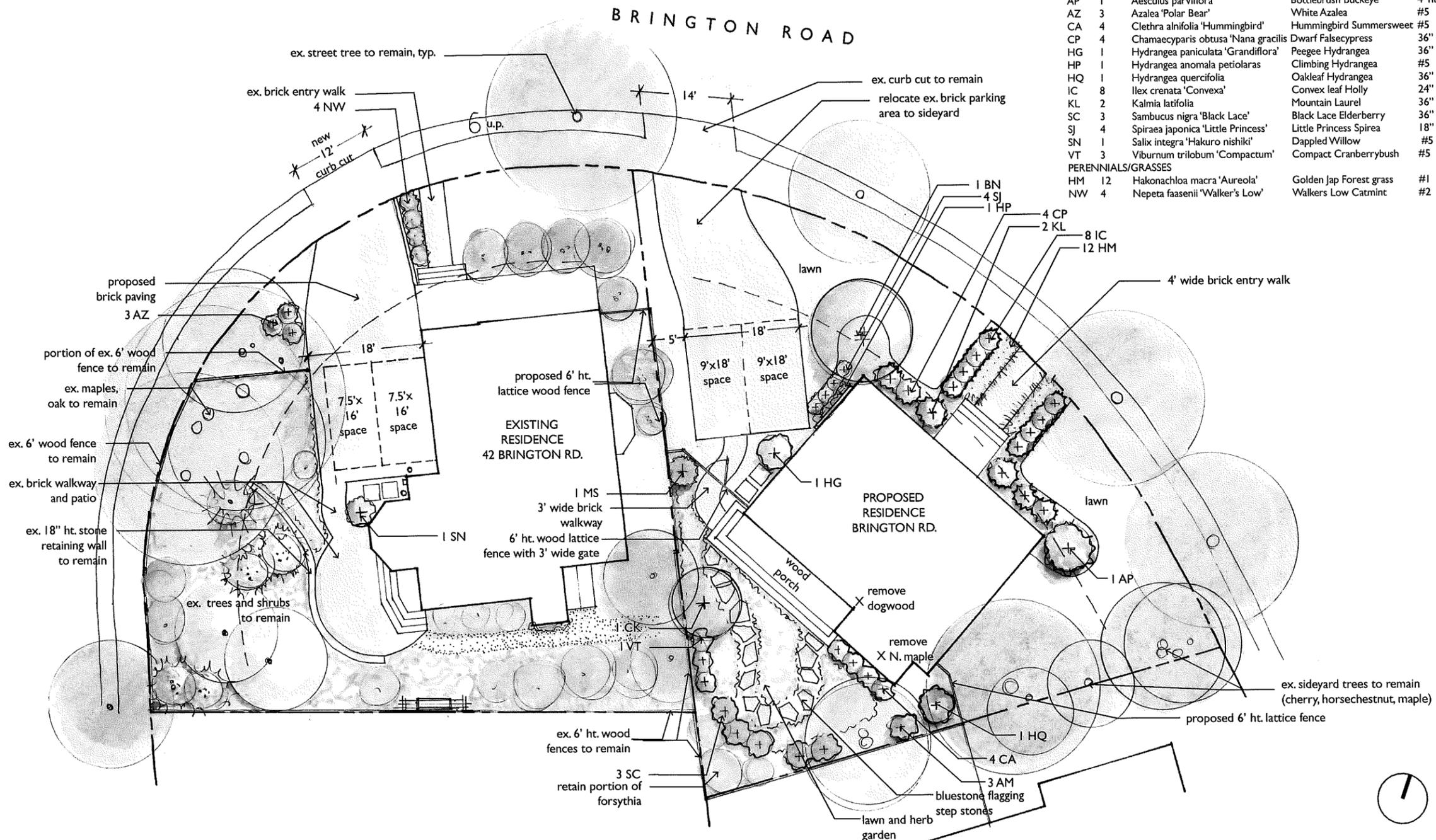
42 Brington Road | Brookline, MA

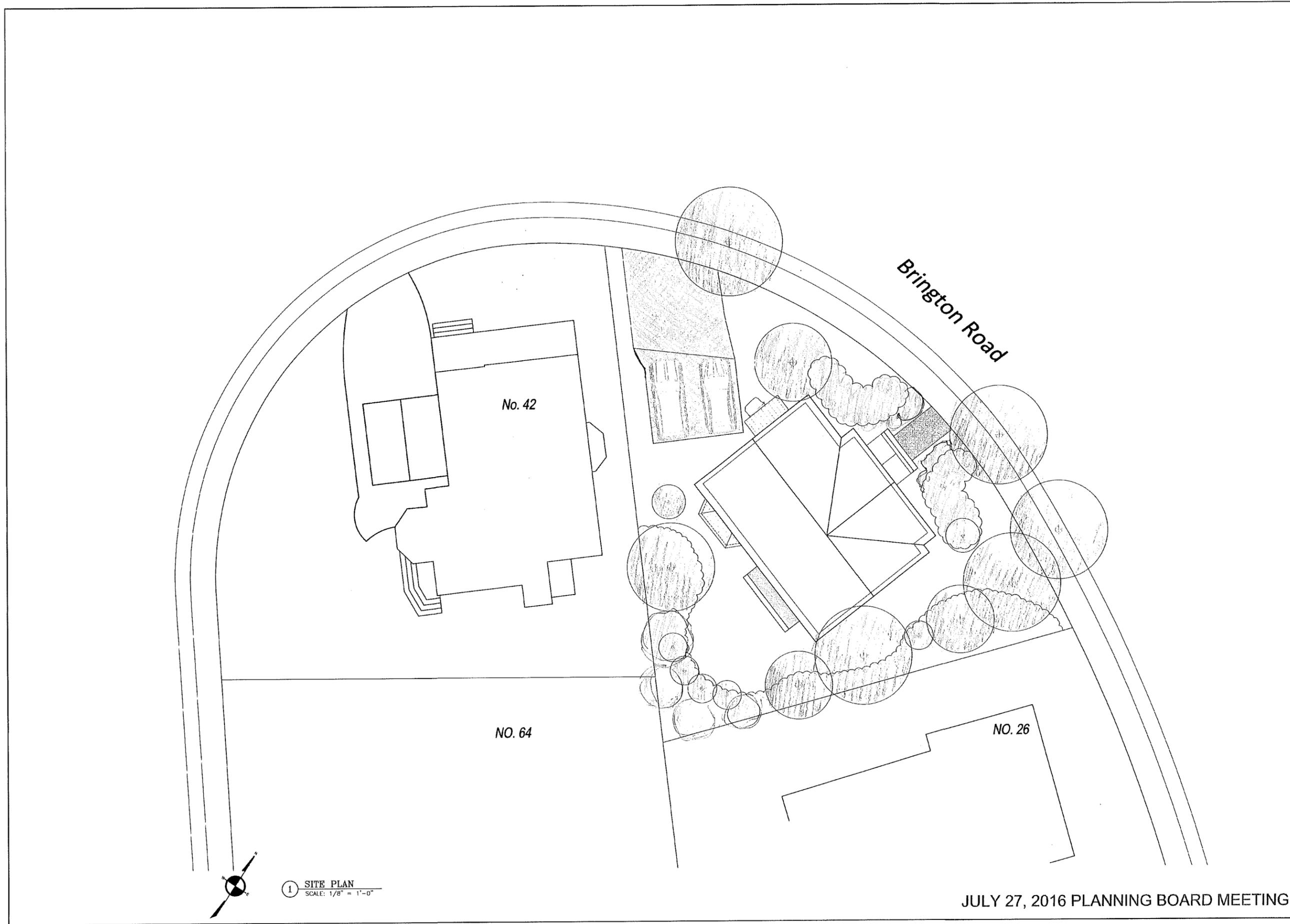
Illustrative Landscape Plan

SCALE: 1" = 10'-0"
0 5 10 25

April 3, 2016

KEY	QTY	LATIN NAME	COMMON NAME	SIZE
TREES				
BN	1	Betula nigra 'Heritage'	Heritage River Birch	3" cal./B&B
CK	1	Cornus kousa 'Venus'	Venus Dogwood	2.5-3" cal./B&B
MS	1	Magnolia stellata	Star Magnolia	5'-6' ht./B&B
SHRUBS/VINES				
AM	3	Aronia melanocarpa	Black Chokeberry	36" ht./#5
AP	1	Aesculus parviflora	Bottlebrush Buckeye	4' ht.
AZ	3	Azalea 'Polar Bear'	White Azalea	#5
CA	4	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	#5
CP	4	Chamaecyparis obtusa 'Nana gracilis'	Dwarf Falsecypress	36" ht./B&B
HG	1	Hydrangea paniculata 'Grandiflora'	Peegee Hydrangea	36" ht./multistem
HP	1	Hydrangea anomala petiolaris	Climbing Hydrangea	#5
HQ	1	Hydrangea quercifolia	Oakleaf Hydrangea	36" ht./#5
IC	8	Ilex crenata 'Convexa'	Convex leaf Holly	24" ht.
KL	2	Kalmia latifolia	Mountain Laurel	36" ht./B&B
SC	3	Sambucus nigra 'Black Lace'	Black Lace Elderberry	36" ht./#5
SJ	4	Spiraea japonica 'Little Princess'	Little Princess Spirea	18" ht./#3
SN	1	Salix integra 'Hakuro nishiki'	Dappled Willow	#5
VT	3	Viburnum trilobum 'Compactum'	Compact Cranberrybush	#5
PERENNIALS/GRASSES				
HM	12	Hakonachloa macra 'Aureola'	Golden Jap Forest grass	#1
NW	4	Nepeta faassenii 'Walker's Low'	Walkers Low Catmint	#2





① SITE PLAN
SCALE: 1/8" = 1'-0"

JULY 27, 2016 PLANNING BOARD MEETING

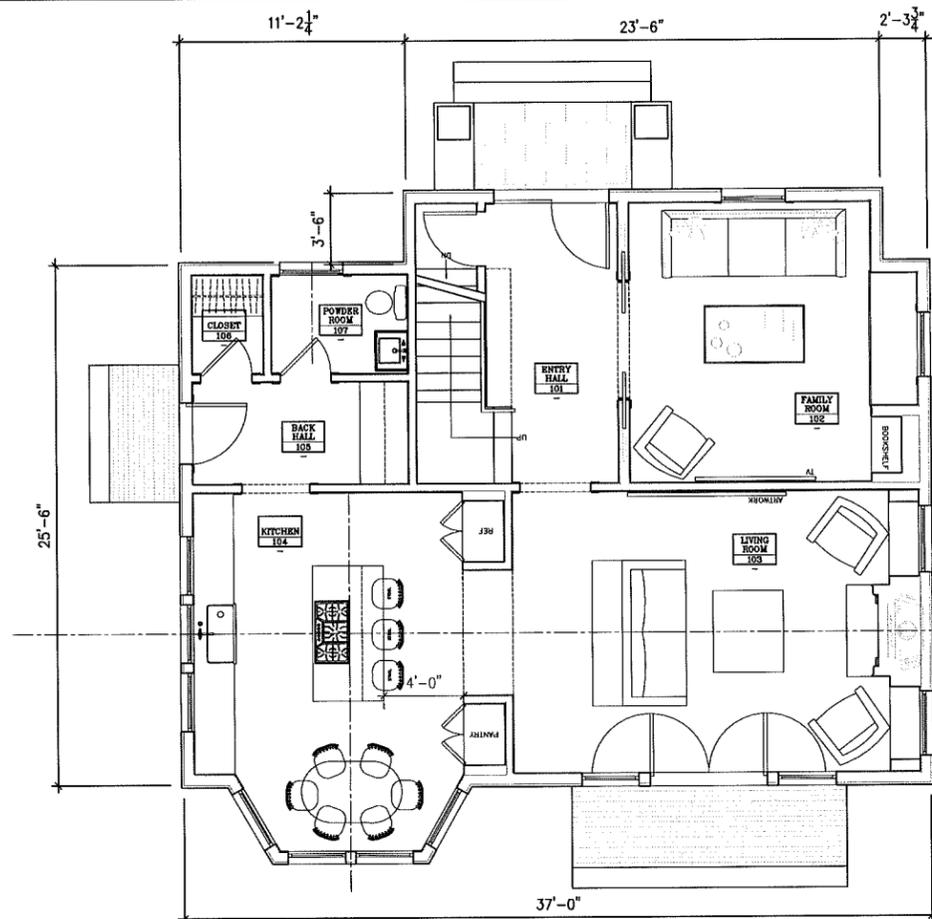
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Salem, Massachusetts
02478

The Campana Residence
42 Brington Rd,
Brookline, MA

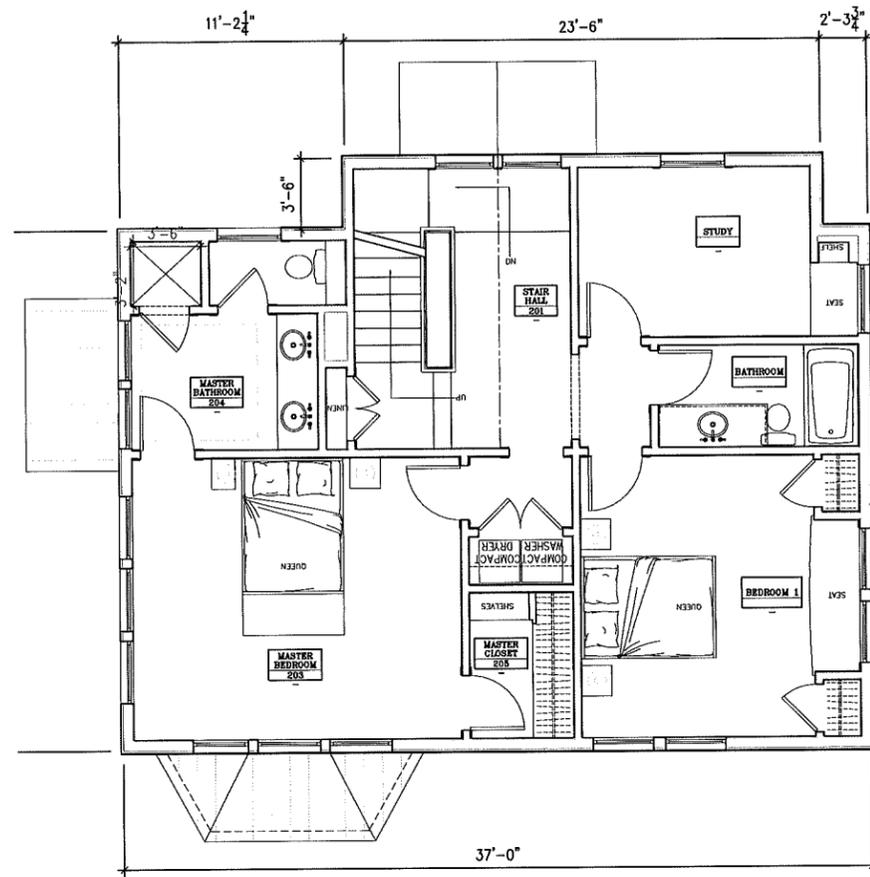
SITE PLAN
SCALE: 1/8" = 1'-0"

ISSUED	
1	
2	
3	
4	
5	
6	

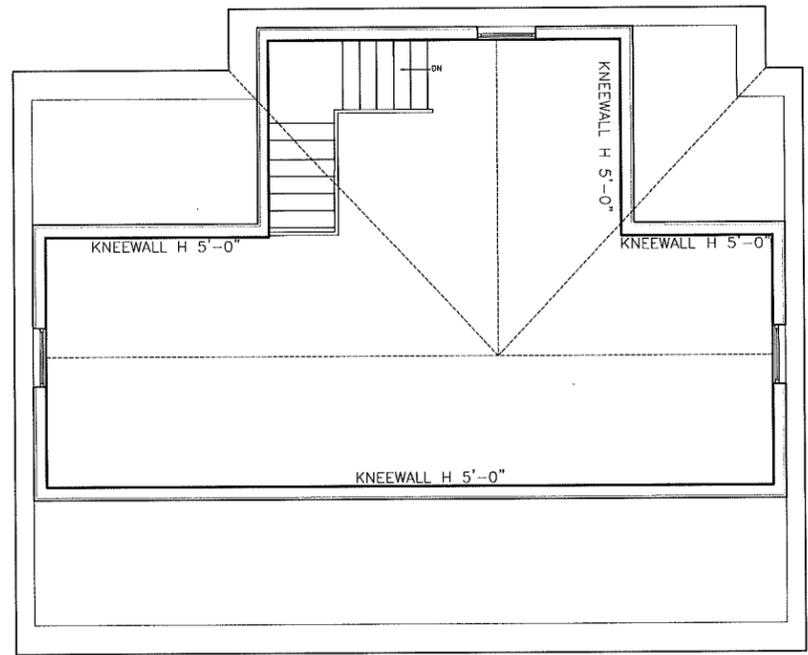
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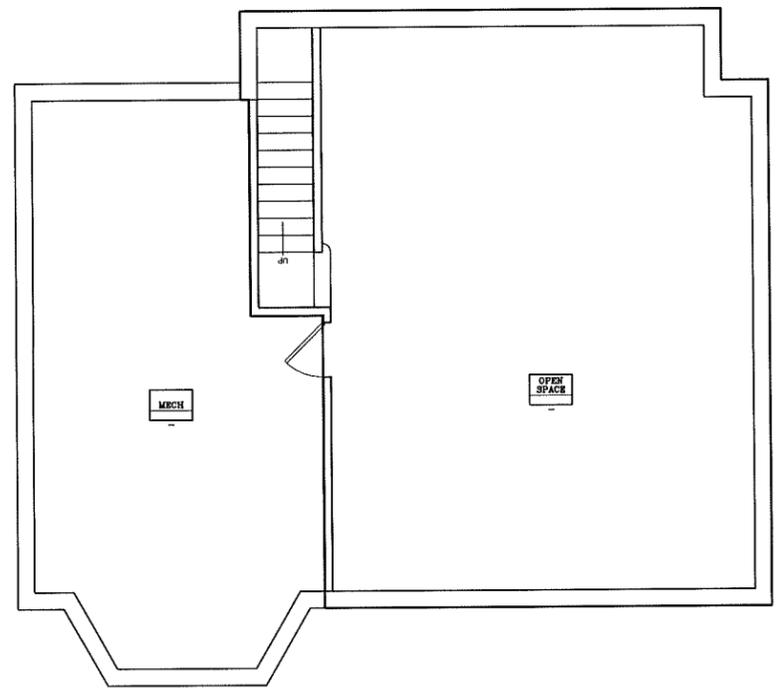
1 FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 ATTIC
SCALE: 1/4" = 1'-0"



1 BASEMENT
SCALE: 1/4" = 1'-0"

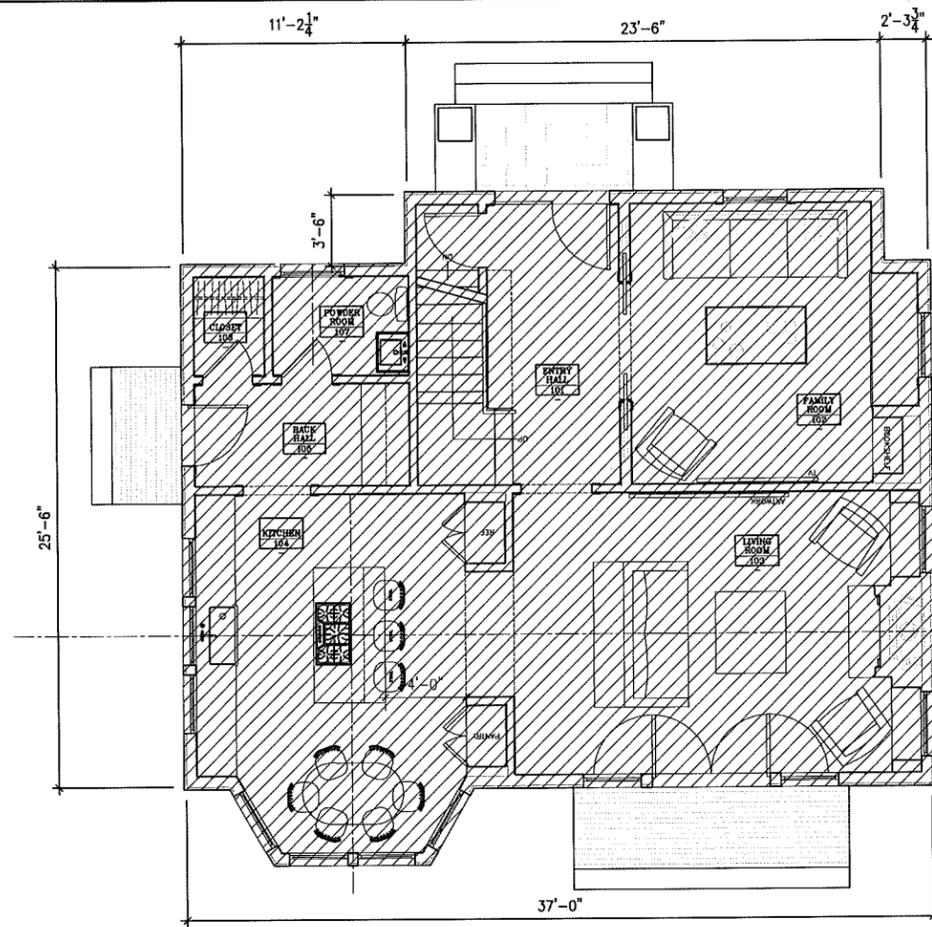
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The Campana Residence
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Brookline, MA

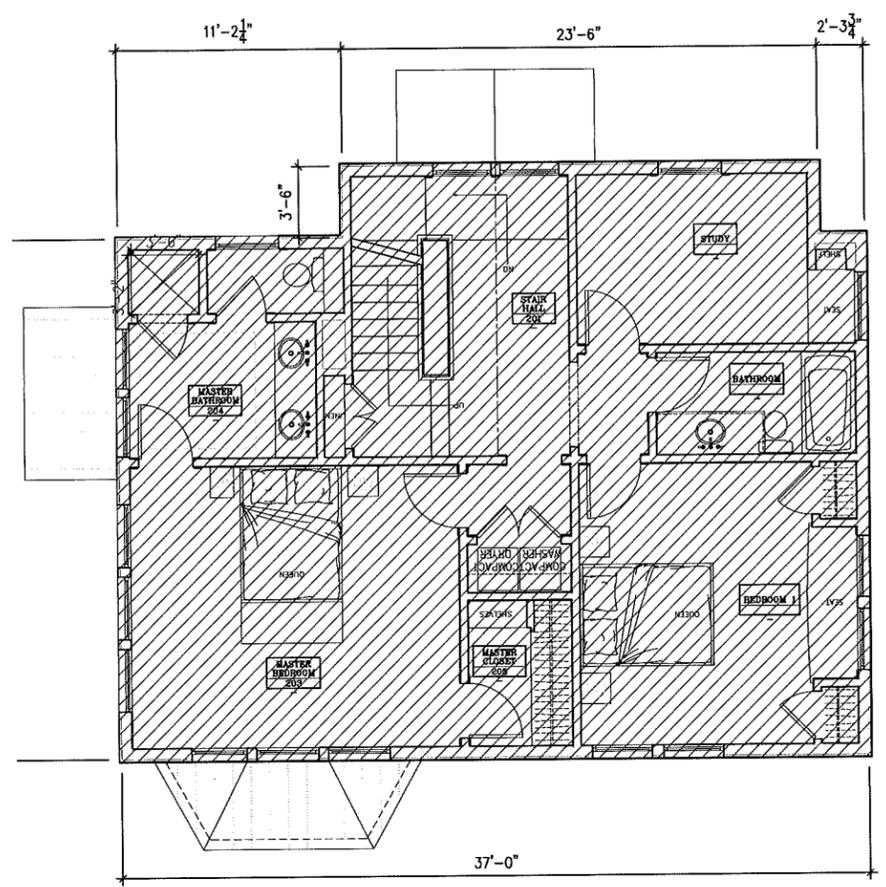
FLOOR PLANS
SCALE: 1/4" = 1'-0"

ISSUED	1	2	3	4	5	6

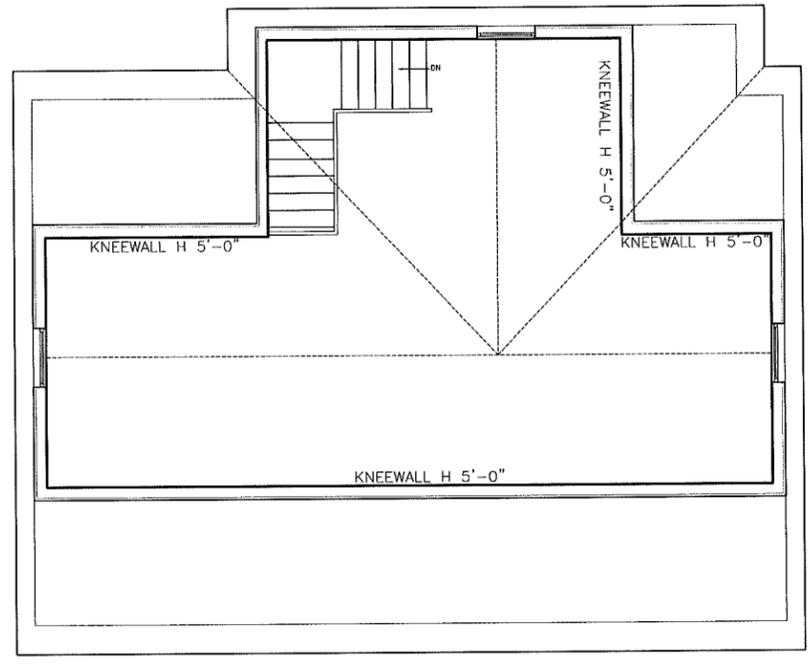
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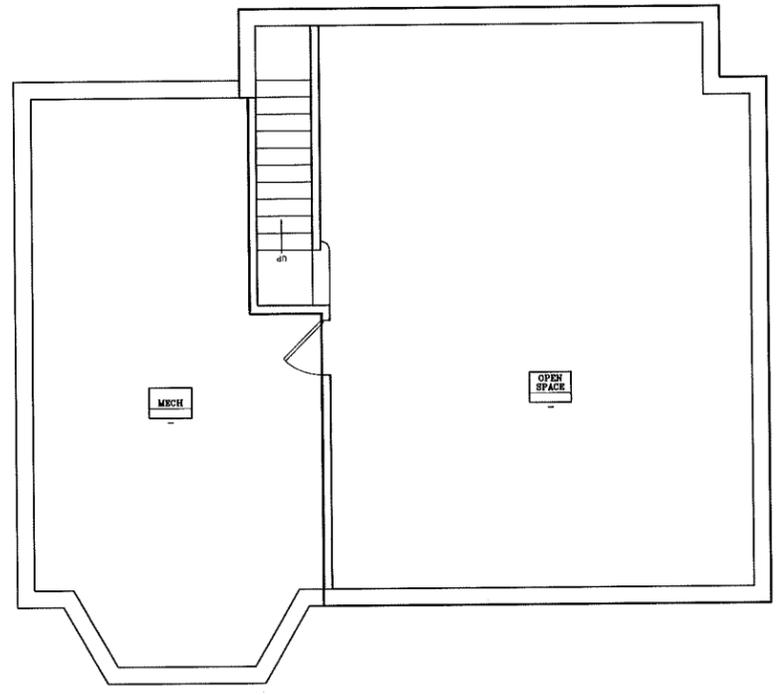
1 FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 UNFINISHED ATTIC
SCALE: 1/4" = 1'-0"



1 UNFINISHED BASEMENT
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE

1ST FLOOR	1080 SF
2ND FLOOR	1042 SF
SUBTOTAL	2122 SF
UNFIN. BASEMENT	N/A
UNFIN. ATTIC	N/A
TOTAL	2122 SF

FAR / GFA

LOT SIZE	5414.4 SF
MAX. FAR ALLOWED	0.75
PROPOSED FAR	0.39
MAX. GFA ALLOWED	4061 SF
5414.4 x 0.75 = 4061 SF	
PROPOSED GFA	2122 SF
(1939 SF UNDER MAX GFA)	

THE CAMPANA RESIDENCE
42 Brington Rd,
Brookline, MA

FLOOR PLANS
SCALE: 1/4" = 1'-0"

ISSUED	1	2	3	4	5	6

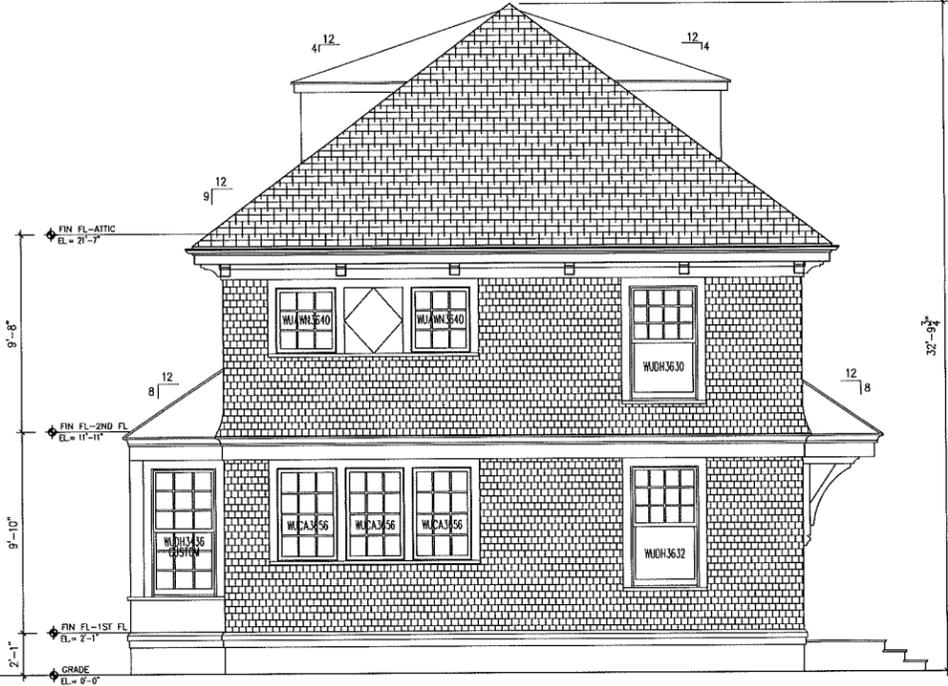
A1.1A

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02470





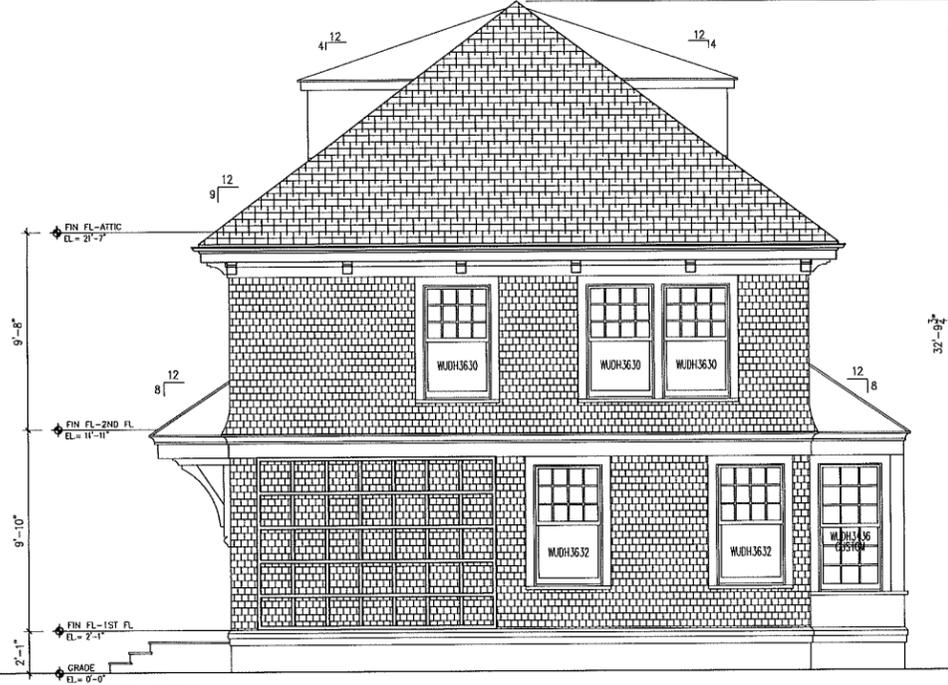
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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Brookline, MA

EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

ISSUED	DATE	BY	NO.
1	2016-04-14		1
2			2
3			3
4			4
5			5
6			6

A2.1

2016 APRIL 14



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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The Campana Residence
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Brookline, MA

EXTERIOR
ELEVATIONS
SCALE: 1/4" = 1'-0"

ISSUED	1	2	3	4	5	6

A2.1