



# *Town of Brookline*

## *Massachusetts*

### **PLANNING BOARD**

Town Hall, 2<sup>nd</sup> Floor  
333 Washington Street  
Brookline, MA 02445-6899  
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman  
Steven A. Heikin, Clerk  
Robert Cook  
Blair Hines  
Sergio Modigliani  
Matthew Oudens  
Mark J. Zarrillo

To: Brookline Board of Appeals  
From: Brookline Planning Board  
Date: October 20, 2016  
Subject: **Convert space to a 76 seat restaurant**  
Location: **200 Washington Street (Worthy Kitchen)**

Atlas Sheet: 37B

Block: 183

Lot: 18

Case #: 2016-0060

Zoning: G-2.0

Lot Area (s.f.): 2,041

Board of Appeals Hearing: November 3, 2016 at 7:00 pm

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### **SITE AND NEIGHBORHOOD**

200 Washington Street is a retail space located in the Brookline Village neighborhood between White Place and Davis Court. Previously, it served as Japan Village Mart. It is part of a one-story building of similar retail spaces and is surrounded by similar building typologies as well as many three- and four-story mixed-use buildings. The site is located across the street from the Brookline Village T stop.

### **APPLICANT'S PROPOSAL**

The applicant, Kurt Lessard of The Worthy Group, is proposing a 76 seat restaurant. The proposal includes a plan for a new basement fit out that will create office, restroom, cooler, storage, dishwashing and mechanical space. The proposal for the ground floor includes a bar, dining room, and kitchen. There will be changes to the façade, as well, including a new door, brick veneer, double hung windows and an awning.

The applicant believes that the site's location near public transit and the nearby availability of metered parking will be sufficient for patrons of the restaurant and is seeking relief from any off-street parking requirements.

The proposed façade changes are subject to Planning Board review under §7.03, paragraph 2.

**FINDINGS**

**Section 6.02, Paragraph 1 – Table of Off- Street Parking Requirements**

*\* Under **Section 6.02.1.b - Off-Street Parking Regulations** When a change or expansion of a non-residential use in a business district is proposed primarily or entirely within an existing building, the Board of Appeals by special permit may waive up to 10 spaces, or up to 50%, of any increased requirement, whichever is greater.*

	Required	Existing	Allowed by Special Permit	Finding
<b>Parking</b>	15*	0	5	<u>Special Permit</u>

\*The G-2.0 district requires one parking space per every five seats in a restaurant. The proposed restaurant has 76 seats which require 15 parking spaces. The previous use of the space was retail. Retail requires one parking space per 350 square feet of space which required six parking spaces for the 2,041 square foot space. As a result, the space has a theoretical parking credit of six spaces bringing the required number of spaces to 9. The applicant is seeking a waiver for nine parking spaces.

**PLANNING BOARD COMMENTS**

The Planning Board supports the new restaurant space at this location as it will replace a currently vacant storefront within Brookline Village and add vitality to the business district. The Board believes that there would be adequate on-street parking for this location and takes into consideration the opportunities to access this location by public transportation including the bus and the MBTA.

Therefore, the Planning Board recommends approval of the site plan and floor plans labelled “200 Washington Street Brookline” by TLH Consulting, dated 7/1/16, subject to the following conditions:

- 1. Prior to the issuance of a building permit, the applicant shall submit a final floor plan indicating the total number of seats proposed subject to the review and approval of the Assistant Director of Regulatory Planning.**
- 2. The restaurant’s management shall implement an employee T-pass program, where management subsidizes at least 50 percent of the cost of monthly subway and bus T-passes for all of the restaurant’s employees.**
- 3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; and 2) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.**



DWG. No.  
A-0.0

REVISSUE:  
Permit Set 07/01/16



COVER SHEET  
DWG. TITLE:

PROJ. No. 1511132

CLIENT: David McCaul

BY: TLH CONSULTING, 505 MIDDLESEX TPK #14, BILLERICA, MA 01821  
BY: 19781 362-1884

DATE: 07/01/16

PROJECT: 200 Washington Street Brookline

LOCATION: 200 Washington Street Brookline, MA

SCALE: AS NOTED

GENERAL NOTES:

A. ARCHITECTURAL:

1. THE USE AND OCCUPANCY CLASSIFICATION IS (ASSEMBLY GROUP A)
2. DINING AREA OCCUPANT LOAD = 74. KITCHEN AREA AND ALL OTHER EMPLOYEE AREAS THE OCCUPANT LOAD = 10
3. ILLUMINATED EMERGENCY LIGHTS MUST BE INSTALLED AT ALL EXTERIOR EXITS IF NOT IN PLACE.
4. ROOM FINISHES SHALL BE IN ACCORDANCE WITH TABLE 605.9 OF THE INTERNATIONAL BUILDING CODE (IBC) 2009 EDITION.

B. FIRE PROTECTION:

1. THE FIRE PROTECTION SYSTEM SHALL BE DESIGNED BY THE FIRE PROTECTION CONTRACTOR. ALL SUBMITTALS TO THE CITY OF BROOKLINE AND MEETINGS WITH THE CITY OF BROOKLINE OFFICIALS (BOTH BUILDING DEPARTMENT AND FIRE DEPARTMENT) SHALL BE THE SOLE RESPONSIBILITY OF THE FIRE PROTECTION CONTRACTOR.
2. THE WALL SYSTEMS PRESENTED ON THE DRAWINGS ARE BASED ON THE EXISTING FIRE PROTECTION SYSTEM BEING FULLY FUNCTIONAL. FIRE PROTECTION CONTRACTOR TO VERIFY CURRENT LAYOUT OF EXISTING FIRE PROTECTION SYSTEM AND MAKE ALL NECESSARY MODIFICATIONS AS REQUIRED BY CODE AND PER TOWN OFFICIAL REQUIREMENTS.
3. FIRE PROTECTION SYSTEMS, FIRE ALARMS, FIRE EXTINGUISHERS, HEAT DETECTORS, SMOKE DETECTORS, AND OTHER APPLICABLE LIFE SAFETY SYSTEMS SHALL BE PER ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE CURRENT MASSACHUSETTS STATE BUILDING CODE, NFPA, AND LOCAL FIRE CODE REQUIREMENTS. ALL SYSTEMS RELATED TO FIRE PROTECTION ARE THE RESPONSIBILITY OF THE FIRE PROTECTION CONTRACTOR.

C. MECHANICAL:

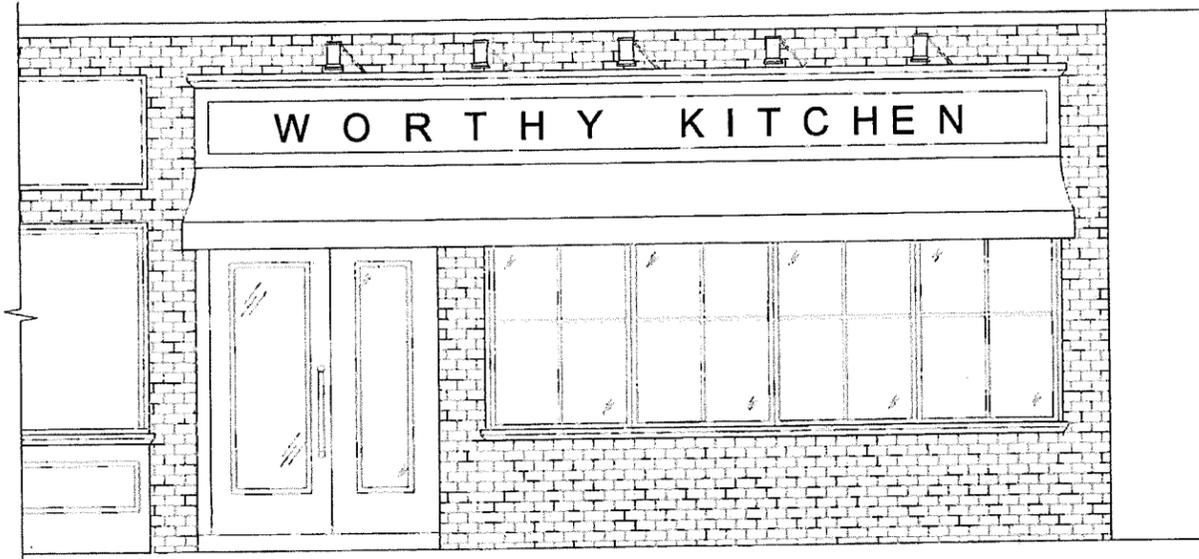
1. ALL MECHANICAL DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR. ALL SUBMITTALS TO THE CITY OF BROOKLINE AND MEETINGS WITH THE CITY OF BROOKLINE OFFICIALS SHALL BE THE SOLE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
2. NO NEW MECHANICAL UNITS SHALL BE INSTALLED ON THE ROOF WITHOUT THE CONTACTING THE ENGINEER. ANY NEW PENETRATIONS, OPENINGS, CURBS, UNITS, ETC. THAT ARE REQUIRED PER THE MECHANICAL DESIGN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. ANY NEW ROOF WORK PERFORMED WITHOUT INFORMING THE ENGINEER SHALL BE DONE AT THE RISK OF THE MECHANICAL CONTRACTOR.

D. ELECTRICAL:

1. ALL ELECTRICAL DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL SUBMITTALS TO THE CITY OF BROOKLINE AND MEETINGS WITH THE CITY OF BROOKLINE OFFICIALS SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
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3. THE ELECTRICAL ROOM MAY REQUIRE MODIFICATION DEPENDING ON BUILDING POWER REQUIREMENTS AND APPLICABLE CODE REQUIREMENTS. CONTACT THE ENGINEER IF THE ROOM REQUIRES ADJUSTMENTS.
4. LIGHTING DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. LIGHTING MUST BE PER THE APPLICABLE CODE REQUIREMENTS. COORDINATE CEILING LIGHTING LAYOUT WITH REFLECTED CEILING CONTRACTOR AND FIRE PROTECTION CONTRACTOR.
5. NEW RECEPTACLES, DATA OUTLETS, AND TELEPHONE OUTLETS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS.

E. PLUMBING:

1. ALL PLUMBING DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. ALL SUBMITTALS TO THE CITY OF BROOKLINE AND MEETINGS WITH THE CITY OF BROOKLINE OFFICIALS SHALL ADHERE TO ALL RULES AND REGULATIONS AS APPLICABLE INCLUDING BUT NOT LIMITED TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE, 780 CMR, THE INTERNATIONAL PLUMBING CODE (IPC), AND OSHA.
2. PLUMBING CONTRACTOR TO COORDINATE SLAB DEMOLITION WITH THE GENERAL CONTRACTOR. COORDINATION WITH THE LOCAL OFFICIALS RELATIVE TO DOMESTIC WATER, WASTE WATER, AND OTHER APPLICABLE PLUMBING RELATED WORK IN THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.
3. WET WALLS FOR RESTROOMS ARE LOCATED ON EXTERIOR WALLS OF THE EXISTING BUILDING. IF OTHER LOCATIONS ARE MORE COST EFFECTIVE FOR THE OWNER PLEASE CONTACT THE ENGINEER IN ORDER TO MODIFY THE ROOM LAYOUT.



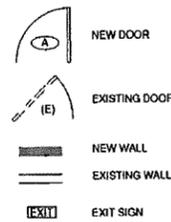
SQUARE FOOTAGE

FIRST FLOOR = 2041 SF  
BASEMENT FLOOR = 2309 SF  
TOTAL SF = 4350

SECTION 1004 OCCUPANCY LOAD	
FUNCTION OF SPACE	TABLE 1004.1.1 FLOOR AREA IN SQ. FT. PER OCCUPANT
UNCONCENTRATED (tables and chairs)	= 15 net
1169 SF / 15 net = 76 PEOPLE	
+ WAIT/STAFF = 10 PEOPLE	
<b>TOTAL CAPACITY = 86 PEOPLE</b>	
43 FEMALES & 43 MALES	

IN ACCORDANCE WITH 246 CMR 10.00 MASSACHUSETTS PLUMBING CODE THERE SHALL BE:  
1 TOILET PER 50 FEMALES 2 TOILETS ALLOWABLE > 43 TOTAL FEMALES (MEETS CODE)  
1 TOILET PER 50 MALES 2 TOILETS ALLOWABLE > 43 TOTAL MALES (MEETS CODE)

SYMBOLS



DRAWING LIST

- A-0.0 COVER SHEET
- A-1.0 BASEMENT PLAN
- A-1.1 FIRST FLOOR PLAN
- A-2.0 BASEMENT REFLECTED CEILING PLAN
- A-2.1 FIRST FLOOR REFLECTED CEILING PLAN
- F-3.0 BASEMENT FINISH PLAN
- A-3.1 FIRST FLOOR FINISH PLAN
- A-4.0 BASEMENT EQUIPMENT PLAN
- A-4.1 FIRST FLOOR EQUIPMENT PLAN
- S-0.0 SLAB / FOOTING PLAN
- S-1.0 FIRST FLOOR FRAMING PLAN
- S-1.1 ROOF FRAMING PLAN
- E-1 ELECTRICAL PLANS
- FA-1 FIRE ALARM PLANS
- M-A MECHANICAL PLANS
- P-1 PLUMBING PLANS
- FP-1 BASEMENT FIRE PROTECTION PLAN
- FP-2 FIRST FLOOR FIRE PROTECTION PLAN

DOOR SCHEDULE

- (A) 2'-0" x 8'-0" BACK OF HOUSE DOOR
- (B) 3'-0" x 8'-0" 4 PANEL DOOR
- (C) 4'-0" x 7'-0" DOUBLE DOOR
- (D) 3'-0" x 8'-0" BACK OF HOUSE DOOR
- (E) 3'-0" x 8'-0" 2H FIRE RATED DOOR

REVISIONS:  
Permit Set 07/01/16



BASEMENT FLOOR PLAN

DWG. TITLE:

PROJ. No. 151132

CLIENT: David McCaul  
TLN CONSULTING, 505 MIDDLESEX TPK #14, BILLERICA, MA 01821  
BY: (978) 362-1804

DATE: 06/30/16

PROJECT: 200 Washington Street Brookline  
LOCATION: 200 Washington Street Brookline, MA  
SCALE: AS NOTED

GENERAL NOTES:

A. ARCHITECTURAL:

1. THE USE AND OCCUPANCY CLASSIFICATION IS (ASSEMBLY GROUP A)
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SECTION 1004 OCCUPANCY LOAD	
FUNCTION OF SPACE	TABLE 1004.1.1 FLOOR AREA IN SQ FT. PER OCCUPANT UNCONCENTRATED (seating and dining) = 15 net
1163 SF / 15 net = 78 PEOPLE + WAIT STAFF = 10 PEOPLE	
TOTAL CAPACITY = 88 PEOPLE 43 FEMALES & 45 MALES	

SQUARE FOOTAGE	
FIRST FLOOR = 2041 SF	
BASEMENT FLOOR = 2309 SF	
TOTAL SF = 4350	

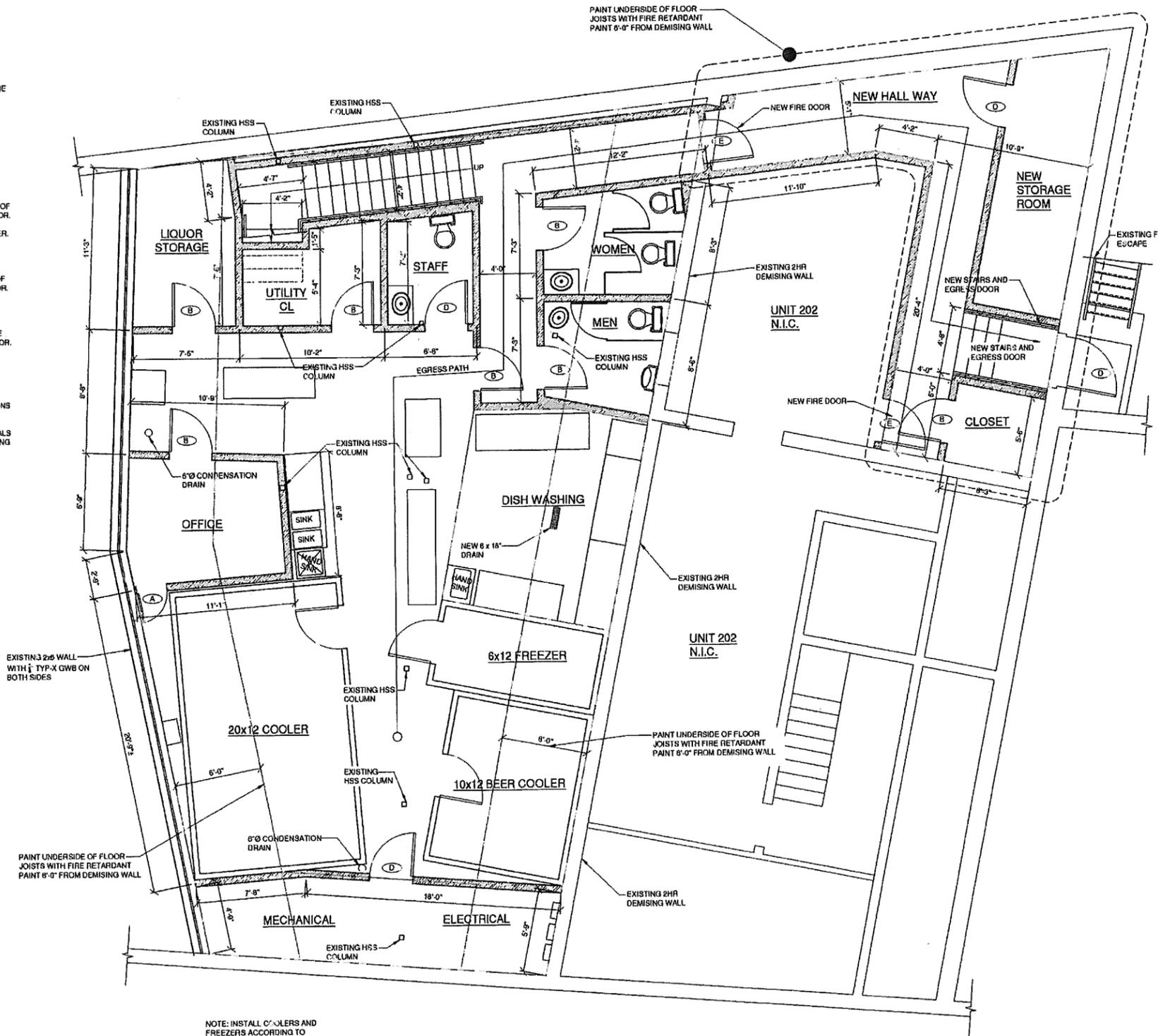
IN ACCORDANCE WITH 248CMR 10.00 MASSACHUSETTS PLUMBING CODE, THERE SHALL BE:  
 1 TOILET PER 30 FEMALES      2 TOILETS = 60 ALLOWABLE > 43 TOTAL FEMALES (MEETS CODE)  
 1 TOILET PER 60 MALES        2 TOILETS = 120 ALLOWABLE > 45 TOTAL MALES (MEETS CODE)

SYMBOLS

- (A) NEW DOOR
- (E) EXISTING DOOR
- NEW WALL
- EXISTING WALL
- EXIT EXIT SIGN

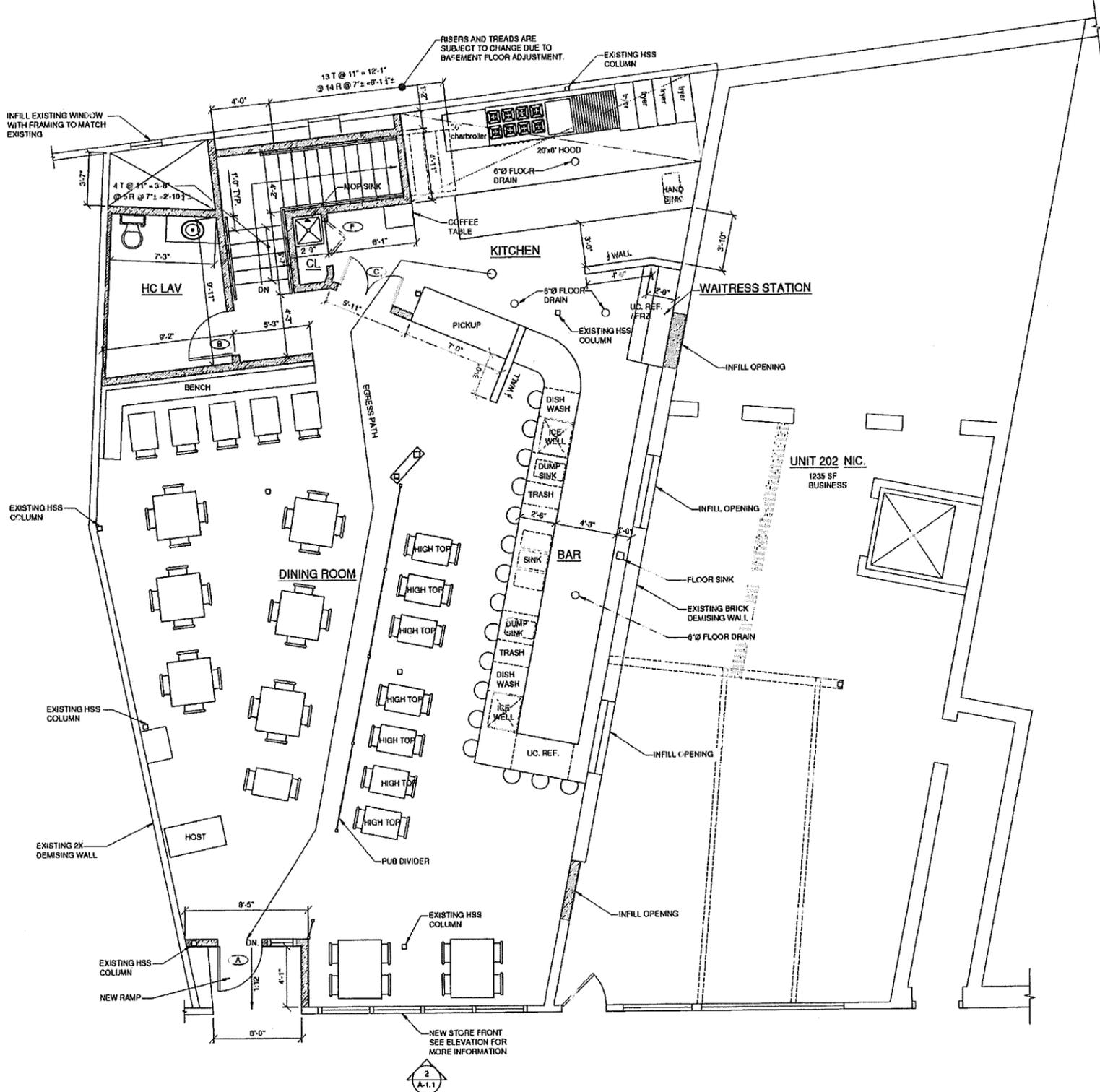
DOOR SCHEDULE

- (A) 2'-0" x 6'-0" BACK OF HOUSE DOOR
- (B) 3'-0" x 6'-0" 4 PANEL DOOR
- (C) 4'-0" x 7'-0" DOUBLE DOOR
- (D) 3'-0" x 6'-0" BACK OF HOUSE DOOR
- (E) 3'-0" x 4'-0" 2H FIRE RATED DOOR

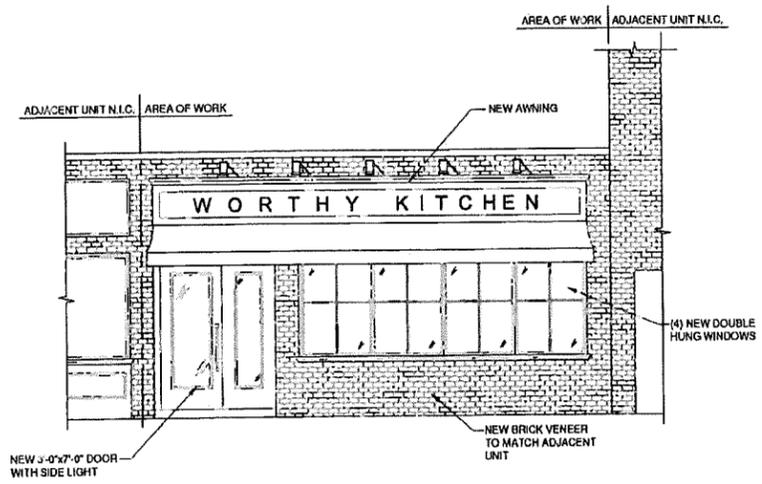


NOTE: INSTALL COOLERS AND FREEZERS ACCORDING TO MANUFACTURERS INSTRUCTIONS

1 BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 NEW STORE FRONT  
SCALE: 1/4" = 1'-0"

DWG. No.  
A-1.1

REVISIONS:  
Permit Set 07/01/16



FIRST FLOOR PLAN

DWG. TITLE:

PROJ. No. 1511132

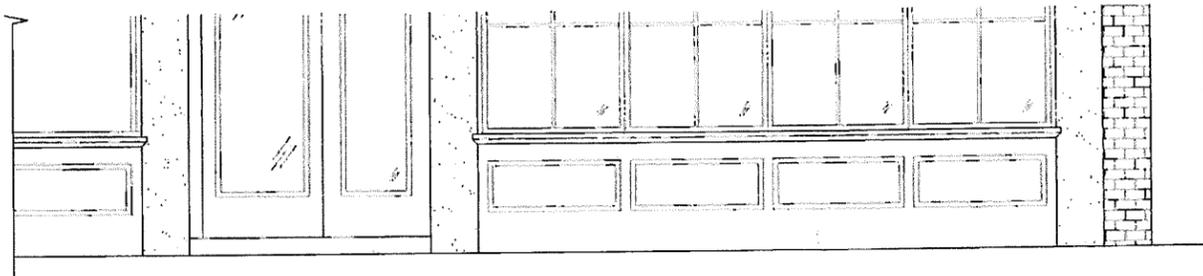
CLIENT: David McCaul  
 TLH CONSULTING, 505 MIDDLESEX TPK #14, BILLERICA, MA 01821  
 BY: (978) 362-1884

DATE: 05/19/16

PROJECT: 200 Washington Street Brookline

LOCATION: 200 Washington Street  
Brookline, MA

SCALE: AS NOTED



DWG. No.  
A-2.0

REVISIONS:



DWG. TITLE: FRONT ELEVATION

PROJ. No. 151132

CLIENT: David McCaul

TLH CONSULTING, 505 MIDDLESEX TPK #14, BILLERICA, MA 01821  
BY: (978) 362-1804

DATE: 04/15/16

PROJECT: 200 Washington Street Brookline

LOCATION: 200 Washington Street  
Brookline, MA

SCALE: AS NOTED

