



Town of Brookline

Massachusetts

PLANNING BOARD

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To: Brookline Board of Appeals
From: Brookline Planning Board
Date: October 20, 2016
Subject: **Renovate existing space for a 60 seat café (former Square Market)**
Location: **1633 Beacon Street**

Atlas Sheet: 43	Case #: 2016-0068
Block: 216	Zoning: G-1.75(W5)
Lot: 18	Lot Area (s.f.): 2,156

Board of Appeals Hearing: November 17, 2016 at 7:15 pm

SITE AND NEIGHBORHOOD

1633 Beacon Street is a one-story commercial building located at the southwest corner of Washington Square surrounded by mostly similar building typologies. This storefront most recently served as the Square Market and was previously a 7-Eleven. The storefront is located directly across from the Washington Square MBTA station.

APPLICANT'S PROPOSAL

The applicant, Caffe Nero Americas, LLC, is proposing a café/restaurant with 60 seats. Their proposal includes plans for a kitchen, service counter, restrooms and multiple seating areas.

The applicant is not proposing any parking on-site. The applicant believes that the site's location near public transit and the nearby availability of metered parking will be sufficient for patrons of the cafe and is seeking relief from any off-street parking requirements.

FINDINGS

Section 6.02, Paragraph 1 – Table of Off- Street Parking Requirements

** Under **Section 6.02.1.b - Off-Street Parking Regulations** When a change or expansion of a non-residential use in a business district is proposed primarily or entirely within an existing building, the Board of Appeals by special permit may waive up to 10 spaces, or up to 50%, of any increased requirement, whichever is greater.*

	Required	Existing	Allowed by Special Permit	Finding
Parking	6*	0	2	<u>Special Permit</u>

**A total of 12 spaces are required for the site based on the number of café seats. There is a theoretical parking credit of six parking spaces for the previous retail use bringing the number of required spaces to six. As a result, six spaces are required.*

Section 8.02.2 – Alteration or Extension

A use or structure which does not conform to the regulations of this By-law, but which did conform to all applicable regulations when initially established, may be altered, repaired, or enlarged, except that any nonconforming condition may not be increased unless specifically provided for in a section of this By-law.

Section 7.06, Paragraph 3 – Regulated Façade Alterations

All regulated façade alterations shall be subject to design review process of Section 7.03, paragraph 2.

PLANNING BOARD COMMENTS

The Planning Board supports the conversion of the retail space into a café as it will improve this storefront at a prominent intersection in Washington Square. The Board believes there would be adequate on-street parking for this café and many patrons will take advantage of the walkability of the neighborhood and proximity to public transportation.

Therefore, the Planning Board recommends approval of the floor plans labelled “Caffe Nero” by Upland Architects, dated 8/18/16, subject to the following conditions:

- 1. Prior to the issuance of a building permit, the applicant shall submit a final floor plan indicating the total number of seats proposed subject to the review and approval of the Assistant Director of Regulatory Planning.**
- 2. The restaurant’s management shall implement an employee T-pass program, where management subsidizes at least 50 percent of the cost of monthly subway and bus T-passes for all of the restaurant’s employees.**
- 3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final floor plan stamped and signed by a registered architect; and 2) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.**

knm



LEGEND

- EXISTING PARTITION TO REMAIN, PATCH AND REPAIR AS REQUIRED DUE TO CONSTRUCTION.
- NEW HALF HEIGHT PARTITION CONSTRUCTION
- NEW PARTITION CONSTRUCTION

EGRESS SYMBOL LEGEND

- EXIT SIGN, SEE ELECTRICAL DRAWINGS
- EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP, SEE ELECTRICAL DRAWINGS
- SUSPENDED FROM CEILING - EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP, SEE ELECTRICAL DRAWINGS
- FIRE ALARM PULL STATIONS, SEE FIRE ALARM DRAWINGS
- FIRE ALARM HORN AND STROBE, SEE FIRE ALARM DRAWINGS
- FIRE ALARM STROBE, VISUAL ONLY, SEE FIRE ALARM DRAWINGS
- SUSPENDED FROM CEILING - FIRE ALARM HORN AND STROBE, SEE FIRE ALARM DRAWINGS
- EGRESS PATH & DISTANCE

GENERAL NOTES

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, 8TH EDITION (2009 IBC WITH MA AMENDMENTS).
2. BUILDING USE GROUP IS A-2 ASSEMBLY.
3. CONSTRUCTION CLASSIFICATION IS V3.
4. THIS BUILDING DOES NOT HAVE A SPRINKLER SYSTEM.
5. THIS BUILDING IS EQUIPPED WITH A FIRE ALARM SYSTEM.
6. MAX DEAD END CORRIDOR=20'-0" (IBC 1018.4)
7. MIN EGRESS PATH = 3'-6" PER: 1, 1021.2
8. AISLES VARY FROM 2'-6" TO 3'-8" PER BC 1017.4.2

SEATING COUNT

GENERAL SEATING	24
BOOTH/BANQUET SEATING	22
FIREPLACE SEATING	08
HIGH LEVEL SEATING	06
OUTDOOR SEATING	00

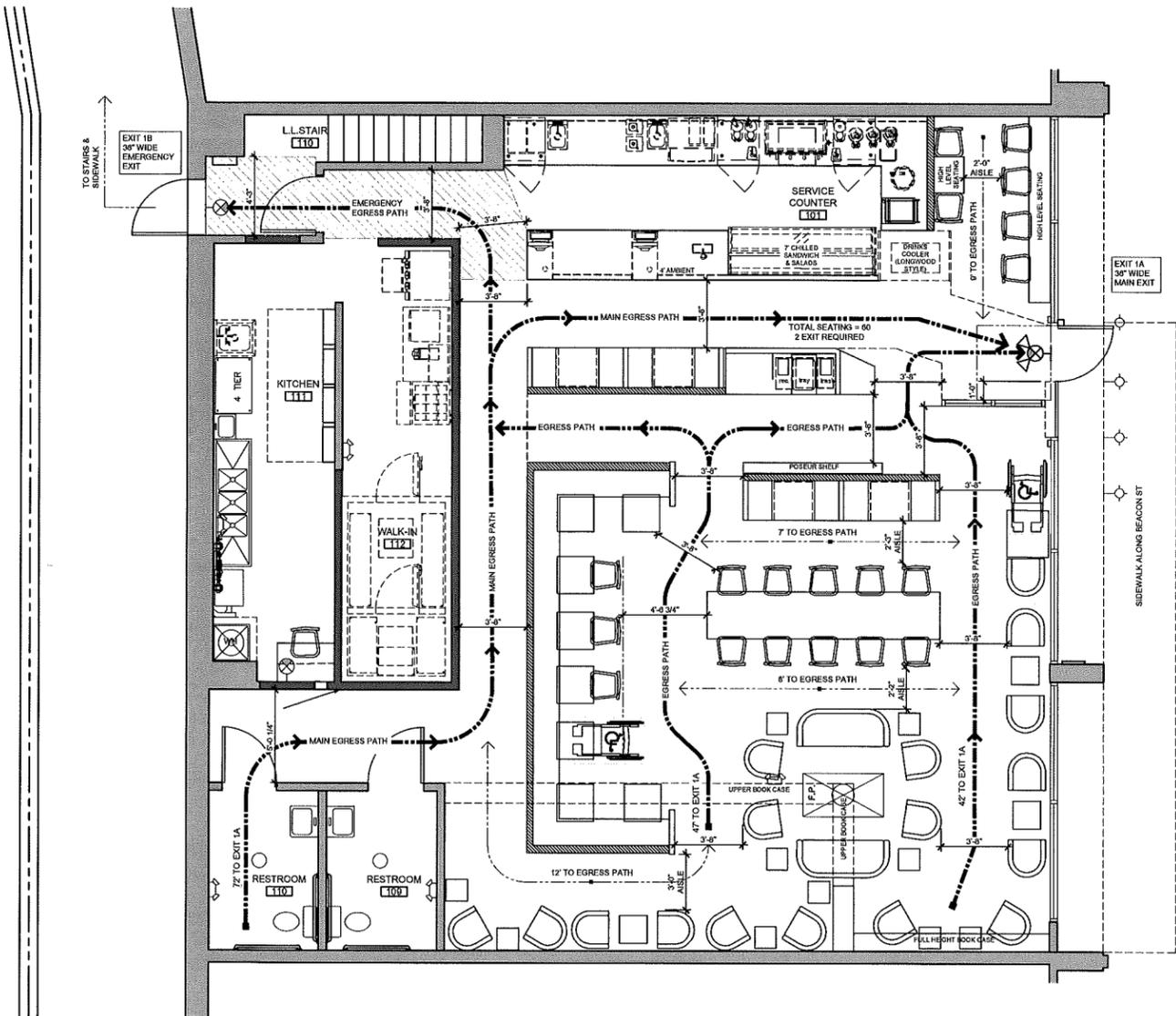
TOTAL SEATING 60

TOTAL TABLES 27
5% MIN ACCESSIBLE 27 x .05 = 1.35

MIN. ACCESSIBLE 2

OCCUPANT LOAD CALCULATION

USE	AREA	S.F./OCCUPANT ALLOWANCE	OCCUPANT LOAD
ASSEMBLY A2 SEATING UNCONCENTRATED	1,288 S.F.	16 S.F. NET	86 CALCULATED, 60 ACTUAL
KITCHEN, SERVING AREAS	561 S.F.	200 S.F. GROSS	3 CALCULATED, 6 ACTUAL
TOILET ROOMS, UTILITY	-	0	NOT INCLUDED IN CALCULATION
TOTAL	1,839 S.F.		89 CALCULATED, 66 ACTUAL
TOTAL LEASABLE AREA	2,159 S.F.		



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REVISIONS:

NUMBER	REMARKS	DATE



ISSUED FOR: PRELIMINARY APPROVAL DATE ISSUED: 01/16/16

PROJECT TITLE:



C A F F E N E R O
1633 BEACON STREET
WASHINGTON SQUARE
BROOKLINE MA 02445

DRAWING TITLE:
FIXTURE/ EGRESS PLAN AND NOTES

PERMIT DWG DATE: XX-XX-XX PROJECT NUMBER: 16-169

DRAWN BY: MEC CHECKED BY: OJS

DRAWING NUMBER:

A001

LEGEND

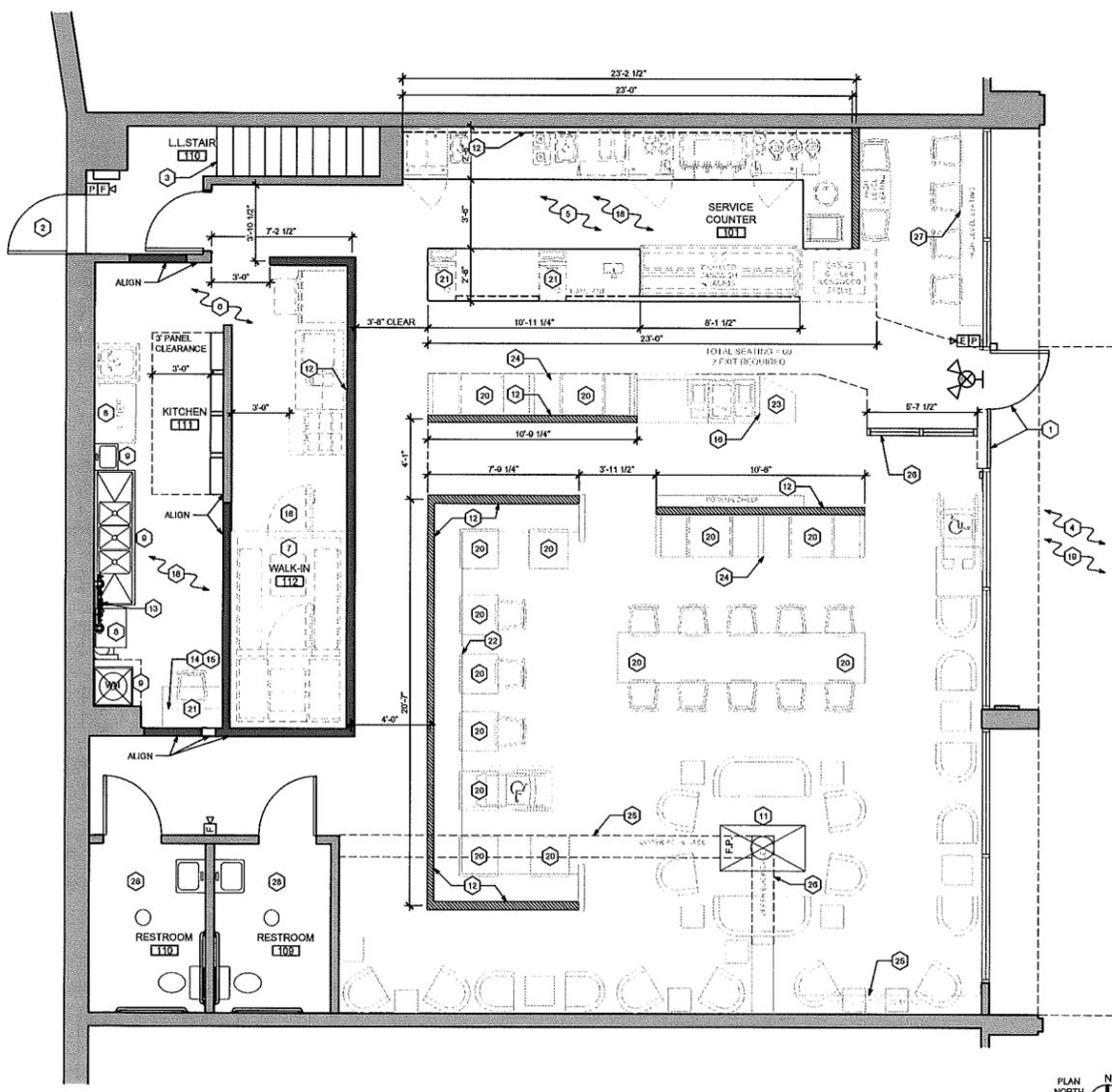
-  EXISTING PARTITION TO REMAIN, PATCH AND REPAIR AS REQUIRED DUE TO CONSTRUCTION.
-  NEW HALF-HEIGHT PARTITION CONSTRUCTION
-  NEW FULL-HEIGHT PARTITION CONSTRUCTION

GENERAL CONSTRUCTION NOTES

1. THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AT THE SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO CONSTRUCTION. COMMENCEMENT OF WORK IMPLIES THE ACCEPTANCE OF ALL CONDITIONS. CONTRACTOR SHALL ALSO COORDINATE THE WORK WITH THE WORK OF ALL OTHER TRADES.
2. THE GENERAL CONTRACTOR SHALL PROVIDE ALL PROTECTIVE MEASURES FOR THE SAFETY OF THE PUBLIC AND WORKERS DURING THE COURSE OF THE WORK.
3. ALL WORK ON THIS PROJECT SHALL BE DONE IN THE BEST WORKMAN-LIKE MANNER.
4. THE GENERAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE EXECUTION OF HIS WORK AND FOR ANY CHANGES AND/OR DEVIATIONS FROM DRAWINGS AND SPECIFICATIONS MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. THE COST OF CORRECTIONS RESULTING FROM CHANGES AND/OR DEVIATIONS SHALL BE BORNE BY THE GENERAL CONTRACTOR.
5. DESIGN ALTERATIONS MADE WITHOUT THE ARCHITECT'S KNOWLEDGE DURING THE COURSE OF CONSTRUCTION ARE DONE AT THE OWNER'S AND/OR CONTRACTOR'S RISK. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE CONSEQUENCES OF SUCH CHANGES.
6. THE GENERAL CONTRACTOR SHALL APPLY FOR AND PAY FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
7. A COMPLETE SET OF CONTRACT DOCUMENTS MUST BE KEPT AT THE JOB SITE AT ALL TIMES AND ANY CHANGES MUST BE NOTED THEREON AND INITIALED.
8. THE CONTRACTOR SHALL INSURE THE PROTECTION OF ALL EQUIPMENT FURNISHED UNDER HIS CONTRACT AND BY OTHERS.
9. THE GENERAL CONTRACTOR SHALL DO ALL WALL AND FLOOR PATCHING TO CONFORM TO MATERIAL, TEXTURE, AND SURFACE ALIGNMENT WITH THE ADJOINING SURFACE.
10. PROVIDE PROTECTION AROUND AREAS WHERE NEW WORK AND/OR DEMOLITION IS TO BE PERFORMED IN ORDER TO PREVENT DUST AND DIRT FROM ENTERING ACTIVE PORTIONS OF THE BUILDING.
11. PATCH, REPAIR, OR REPLACE ALL WORK DAMAGED BY NEW CONSTRUCTION.
12. REMOVE ALL DEBRIS AT THE COMPLETION OF THE PROJECT AND PREPARE / DISPOSE OF.
13. DO NOT SCALE DRAWINGS FOR ANY REASON. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK.
14. WHERE LISTED, PRODUCT DISTRIBUTORS ARE PROVIDED FOR CONVENIENCE ONLY. THE CONTRACTOR IS NOT REQUIRED TO USE THE LISTED DISTRIBUTORS.
15. THE ARCHITECT HAS NO CONTROL OR RESPONSIBILITY FOR THE MEANS, TECHNIQUES, SEQUENCE, OR PROCEDURES OF CONSTRUCTION OR SAFETY PROGRAMS FOR THIS PROJECT. SUCH PROGRAMS AND COMPLIANCE WITH ALL LAWS, RULES, REGULATIONS, CODES OR ORDINANCES SHALL BE THE RESPONSIBILITY OF OTHERS.
16. THE SUB-CONTRACTORS SHALL APPLY FOR AND PAY FOR ALL TRADE PERMITS REQUIRED FOR THIS PROJECT.
17. THE REMOVAL OF FLOOR SLAB FOR INSTALLATION OF SANITARY AND/OR WATER LINES SHALL BE ACCOMPLISHED BY SAW CUTTING.
18. PENETRATIONS OF THE ROOF LARGER THAN 2'-0" X 2'-0" FOR THE INSTALLATION OF THE ROOF MOUNTED EQUIPMENT SHALL REQUIRE A STEEL SUPPORT FRAME TO CARRY THE LOAD TO THE BUILDING'S STEEL STRUCTURE. TENANT IS REQUIRED TO COORDINATE ROOF PENETRATIONS WITH THE LANDLORD'S ROOFING CONTRACTOR.
19. ANY WORK THAT REQUIRES PENETRATION OF THE ROOF SYSTEM SHALL BE PERFORMED BY A ROOFING CONTRACTOR APPROVED BY THE LANDLORD.
20. ELECTRICAL CONDUIT, WATER LINE, DUCT SUPPORTS/MANGERS, ETC. SHALL NOT BE ATTACHED TO UNDERSIDE OF THE ROOF DECK. SHALL BE ATTACHED TO TOP CHORD OF RAFTER JOIST ONLY.
21. G.C. TO NOTIFY OWNER AND ARCHITECT OF ANY CHANGES TO PARTITION LOCATIONS. G.C. IS RESPONSIBLE TO COORDINATE AS BUILT WALL LOCATIONS WITH MILLWORK VENDOR TO INSURE PROPER INSTALLATION OF ALL MILLWORK.
22. G.C. IS RESPONSIBLE FOR PROTECTING ALL CONSTRUCTION AS REQUIRED TO PREVENT DAMAGE TO NEW CONSTRUCTION. IT IS THE G.C. RESPONSIBILITY TO REPLACE ALL DAMAGED ITEMS PRIOR TO OWNER TURNOVER.

KEYED CONSTRUCTION NOTES

1. EXISTING ENTRY DOORS TO REMAIN. ONE SIDE TO BE LATCHED IN CLOSED POSITION. OTHER SIDE ACTIVE. VERIFY ALL EXISTING HARDWARE IS IN PROPER WORKING ORDER. REPAIR OR REPLACE AS NECESSARY.
2. EXISTING REAR DOOR TO REMAIN VERIFY PANIC HARDWARE, CLOSER ETC IS IN WORKING CONDITION. MODIFY/REPAIR/REPLACE AS NECESSARY FOR 2ND EGRESS DOOR USE.
3. EXISTING STAIR TO REMAIN FOR LANDLORD USE ONLY. NO ACCESS FROM CAFE NERO. VERIFY EXISTING BASEMENT DOOR LOCK FOR LANDLORD ONLY BASEMENT ACCESS.
4. PROVIDE & INSTALL NEW BUILDING FACADE SIGNAGE AND EXTERIOR MENU BOARD (SEE EXTERIOR ELEVATIONS AND DETAILS)
5. PROVIDE & INSTALL NEW SERVICE COUNTER, CABINETRY, EQUIPMENT ETC (SEE ELEVATIONS, DETAILS, MEP AND KITCHEN EQUIPMENT DRAWINGS)
6. PROVIDE & INSTALL NEW KITCHEN EQUIPMENT ETC.(SEE ELEVATIONS, DETAILS, MEP AND KITCHEN EQUIPMENT DRAWINGS)
7. PROVIDE & INSTALL NEW WALK-IN COOLER PER LAYOUT. CONDENSERS TO BE LOCATED ABOVE COOLER (SEE KITCHEN EQUIPMENT DRAWINGS AND MEP)
8. PROVIDE & INSTALL ALL WALL BRACKETS STANDARDS AND HARDWARE AS REQUIRED FOR NEW KITCHEN SHELVING (SEE KITCHEN DRAWINGS FOR REQUIREMENTS)
9. EXISTING 3 BAY SINK AND GREASE TRAP, HAND SINK, MOP SINK, & HOT WATER HEATER TO REMAIN VERIFY W.H. CAPACITY FOR NEW EQUIPMENT
10. EXISTING ELECTRICAL PANELS TO REMAIN. MODIFY CIRCUITS AS REQ'D FOR NEW LAYOUT AND EQUIPMENT. VERIFY LOAD CAPACITY FOR ALL NEW EQUIPMENT LIGHTING ETC.
11. PROVIDE & INSTALL DOUBLE SIDED FIREPLACE WITH MANTLE TO EITHER SIDE FP TO BE SUPERIOR VRL4543 VENT FREE GAS FIRE PLACE (SEE DETAIL 30490)
12. PROVIDE AND INSTALL FIRE TREATED WOOD BLOCKING IN WALL CAVITY AS REQ'D FOR INSTALLATION OF NEW BOOTH SEATING, RESTROOM/KITCHEN FIXTURES CABINETRY ACCESSORIES AND OTHER WALL MOUNTED ITEMS
13. INSTALL PROPRIETARY 4 PFD WATER FILTER ASSEMBLY SUPPLIED BY GC THROUGH ELEG PLUMBING (617742-490 (SEE MEP) ALT EXISTING WATER FILTER TO REMAIN (TBD)
14. PROVIDE & INSTALL NEW DWR-12-20, 12RU SERVER CABINET COMMUNICATIONS CABINET IN MANAGERS OFFICE AREA. PROVIDE BLOCKING IN WALL AS REQ'D AND FASTEN W/ APPROVED ANCHORS.
15. PROVIDE & INSTALL 4'-0" LENGTH OF WIREMOLD PLUGMOLD (OR EQUAL) AT OFFICE DESK HEIGHT. (SEE MEP)
16. INSTALL COMMUNITY NOTICEBOARD ABOVE CONDIMENT DISPLAY. METALWORK SUPPLIED BY CAFE NERO.
17. PROVIDE & INSTALL NEW CHALKBOARD MENU BOARDS LOCATIONS TBD
18. INSTALL FLOOR DRAINS PER MEP DRAWINGS CONSULT EQUIPMENT MFR SPECS AND TENANT REQUIREMENTS FOR ANY ADDITIONAL INDIRECT DRAINS
19. PROVIDE & INSTALL NEW FABRIC AWNING AT FACE OF BUILDING: 9'-0" TO BOTTOM OF VALANCE. (SEE MOUNTING DETAIL)
20. PROVIDE & INSTALL CONVENIENCE POWER OUTLET AT EACH BOOTH AND 2 FLOOR OUTLETS AT COMMUNITY TABLE (SEE MEP)
21. PROVIDE & INSTALL 6 CAT-5 PLUGS/LINES FROM POS LOCATIONS TO OFFICE COMMUNICATION CABINET (SEE MEP)
22. BANQUETTE SEATING BY MILLWORK TO INCLUDE WALL FINISHES AS STATED ON FINISH PLAN. WALL NOT BY G.C.
23. OWNER TO SUPPLY CONDIMENT DISPLAY RACK. GC TO INSTALL.
24. INSTALL ALL BOOTH SEATING PER PLAN (SEE OWNER PROVIDED FURNITURE SPECS) GO TO PROVIDE PARTIAL HEIGHT WALL AND FINISHES. (SEE WALL TYPES AND FINISH PLAN)
25. PROVIDE & INSTALL FULL HEIGHT AND PARTIAL HEIGHT BOOK SHELVES (SEE DETAILS)
26. PROVIDE & INSTALL NEW FULL HEIGHT OPAQUE GLASS, BLACKENED STEEL FRAME SCREEN WALL AT ENTRY
27. PROVIDE & INSTALL HIGH BAR WINDOW SEATING COUNTERTOP (SEE DETAILS)
28. EXISTING MEN'S & WOMEN'S HANDICAPPED ACCESSIBLE RESTROOMS TO REMAIN
29. -
30. -
31. -
32. -



FIRST FLOOR CONSTRUCTION PLAN 1/4" = 1'-0" 1



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REVISIONS:

NUMBER:	REMARKS:	DATE:



ISSUED FOR: PRELIMINARY APPROVAL DATE ISSUED: 8/18/19

PROJECT TITLE:



CAFFE NERO
1633 BEACON STREET
WASHINGTON SQUARE
BROOKLINE MA 02445

DRAWING TITLE:
CONSTRUCTION FLOOR PLAN AND NOTES

PERMIT DWG DATE: XX-XX-XX PROJECT NUMBER: 16-169

DRAWN BY: MEC CHECKED BY: GJS

DRAWING NUMBER:

A100