



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Sergio Modigliani
Mark J. Zarrillo

To: Brookline Planning Board
From: Brookline Planning Department staff
Date: November 3, 2016
Subject: Construct retaining walls in side and rear yards
Location: **47 Craftsland Road (continued)**

Atlas Sheet:	121	Case #:	ZBA #2015-0037
Block:	423	Zoning:	S-7
Lots:	12 and 13	Lot Area (s.f.):	±15,331 sf

Board of Appeals Hearing: November 17, 2016 at 7:30 pm

BACKGROUND

In 2013-2014, the applicant constructed a garage in 2013 and backfilled portions of the side and rear yards of the property. A retaining wall was installed but did not hold up; therefore, soil is impacting the wetlands buffer area and the right side abutter's property (the site plan indicates the limits of the fill and disturbed area). Because the re-grading occurred within the 150-foot wetlands buffer zone, in violation of Town's wetlands protection bylaw, the Conservation Division required the applicant to remedy the impact to the buffer zone. The options are to remove the backfill or to construct a retaining wall.

The applicant chose to construct the retaining wall and submitted plans dated May 11, 2015 with a wall of a maximum height of 20 feet. The Conservation Commission approved these plans and issued an Order of Conditions on June 16, 2015. On June 28, 2015, the Building Department issued the applicant a denial letter for exceeding the maximum height of 7 feet for walls/fences within the side and rear yard setback.

The Planning Board recommended a tiered wall design. Tom Brady, Conservation Administrator, determined that the revised plans for the tiered wall may not require a full review before the Conservation Commission. At their September 20, 2016 meeting, Mr. Brady updated the Commission

that new plans had been received. The Commission felt comfortable with administrative review of the changes. The applicant is now proceeding with the zoning process.

SITE AND NEIGHBORHOOD

47 Craftsland Road is a single-family two-story wood-frame dwelling located near the Newton town line on the southwesterly side of Hammond Pond Parkway between Newton and Heath Streets. The property is near Lost Pond Reservation, and neighboring properties are primary single-family homes of similar design. Portions of the property are within a 150 foot wetlands buffer zone.

APPLICANT’S PROPOSAL

The applicant, Matthew Calkins, proposes a 127 foot wall that runs along the z-shaped lot line. The vertical portions of the lot line are a side lot line; the horizontal portion of the z-shape is a rear lot in accordance with the definition for Rear Yard in Section 2.25.

FINDINGS

Section 5.43 – Exceptions to Yard and Setback Regulations

Section 5.62 – Fences and Terraces in the Side Yard

Section 5.74 – Fences and Terraces in the Rear Yard

Dimensional Requirements	Required/ Allowed	Proposed	Relief
Fences and Terraces in Side Yard	7 feet high	About 16 feet high at its max height (tiered retaining wall with fence)	Variance/Special Permit*
Fences and Terraces in Rear Yard	7 feet high	About 16 feet high at its max height (tiered retaining wall with fence)	Variance/Special Permit*

*Under **Section 5.43**, the Board of Appeals may waive by special permit yard and setback requirements if counterbalancing amenities are provided.

*Under **Sections 5.62 and 5.74**, fences or walls over 7 feet high above the natural grade may be allowed by special permit if Board of Appeals determines it is warranted to mitigate noise or other detrimental impact or provide greater safety.

PLANNING BOARD COMMENTS

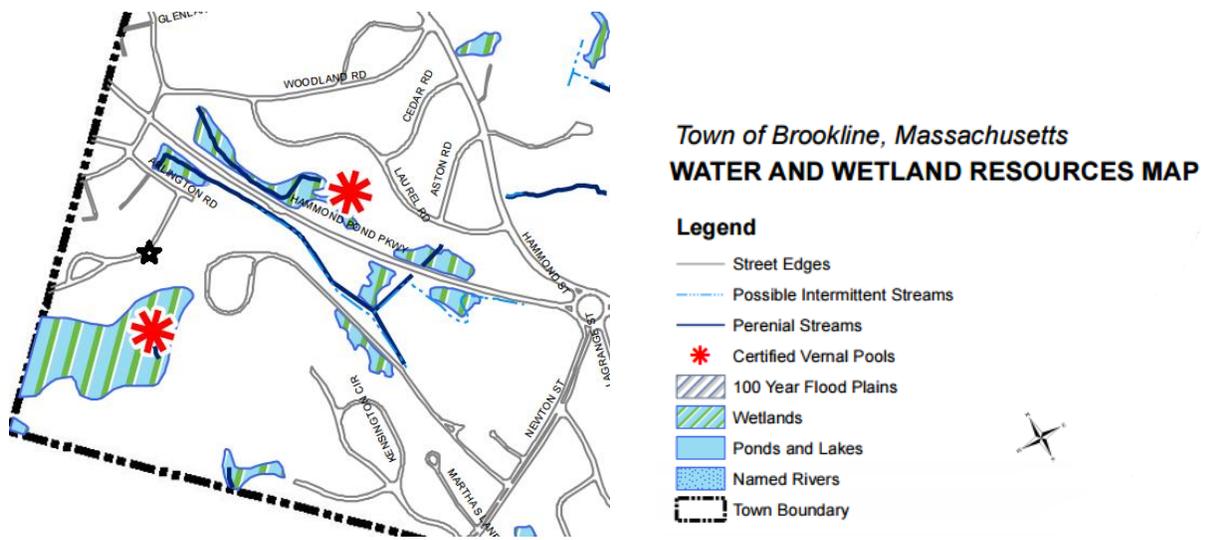
The originally proposed wall was found by the Planning Board to be too high, overly institutional and in full view of the side abutter. A tiered wall design was recommended. On September 30, 2015, the applicant and his attorney met with staff from the Building, Planning, Transportation & Engineering, and Conservation to discuss alternatives that would accommodate a tiered design. The newly revised design adheres to the staff recommendations.

Therefore, the Planning Board recommends approval of the proposal and plans, including the site plan prepared by registered land surveyor Verne T. Porter and revised August 26, 2016 and elevations by registered architect David O’Sullivan revised September 7, 2016.

1. Prior to the issuance of a building permit, the applicant shall submit final plans, including grading and a wall section, and elevations of the wall stamped and signed by a registered land surveyor or engineer, subject to the review and approval of the Assistant Director of Regulatory Planning and the Director of Engineering.

2. Prior to the issuance of a building permit, the applicant shall submit to the Assistant Planning Director and Building Commissioner a pre-construction affidavit that a registered engineer shall oversee the construction of the wall, including verifying the location of the footings as complying with the property line and shall submit an affidavit at the end of construction that the wall conforms to standard engineering practice.
3. Prior to issuance of a building permit, the applicant shall submit a final landscaping plan, subject to the review and approval of the Assistant Director of Regulatory Planning. This plan shall be submitted after input from abutters who have requested to review and approve it. The plan may include landscaping on the abutters' properties as a counterbalancing amenity to mitigate the appearance of the wall.
4. Prior to issuance of a building permit, the applicant shall submit to the Building Commissioner to ensure conformance to the Board of Appeals decision: 1) a final site plan, stamped and signed by a registered land surveyor or engineer; 2) final elevations, drawn to scale and stamped and signed by a registered architect; and 3) evidence the Board of Appeals decision has been recorded at the Registry of Deeds.

M. Morelli/knm/pss



* [star] approx. location of 47 Craftsland Road

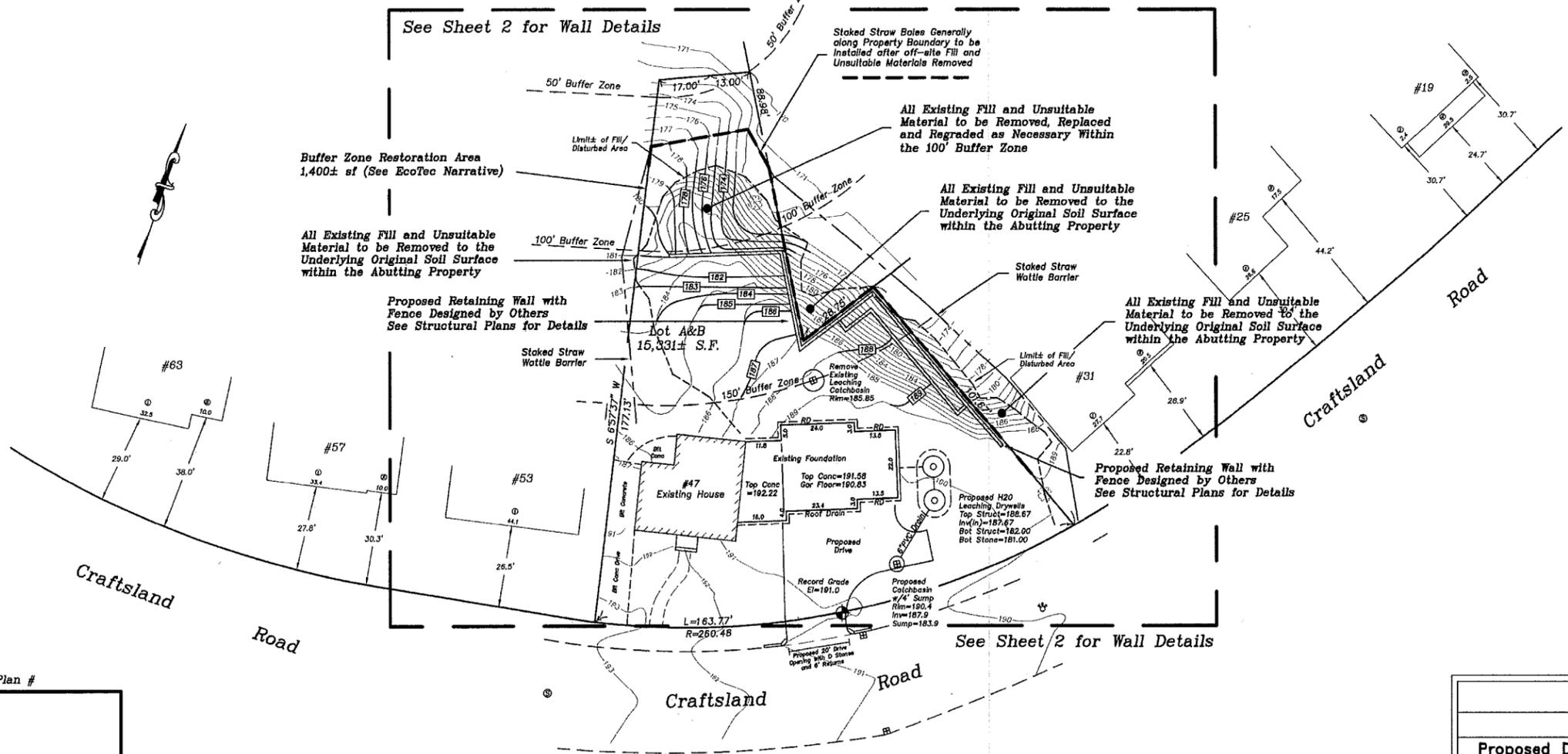
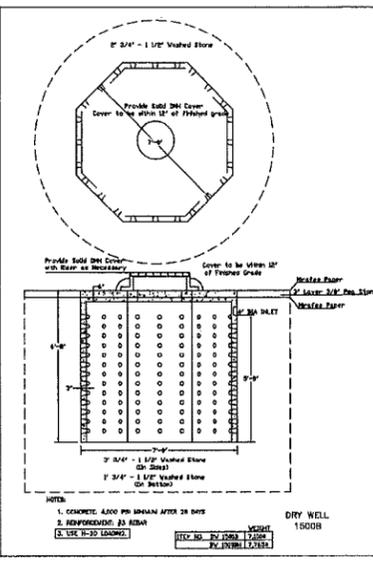
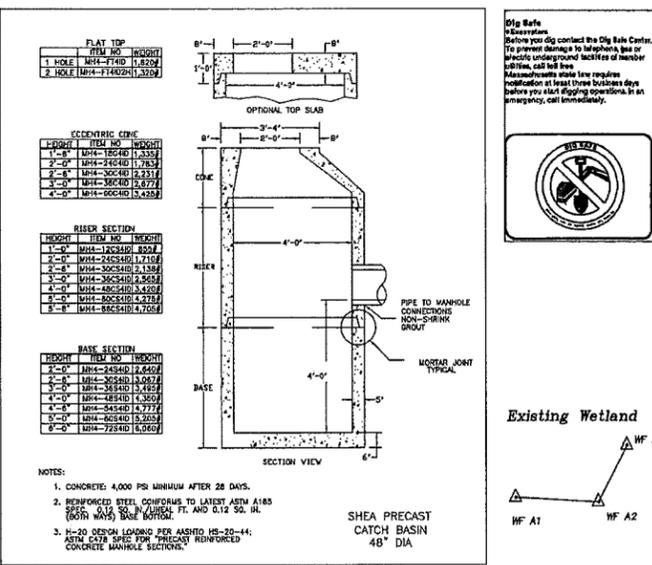
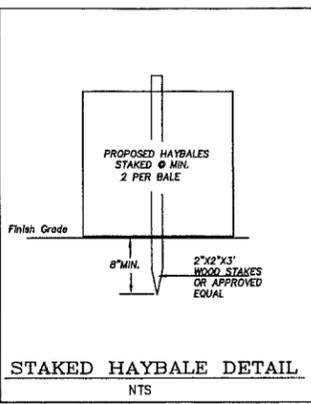
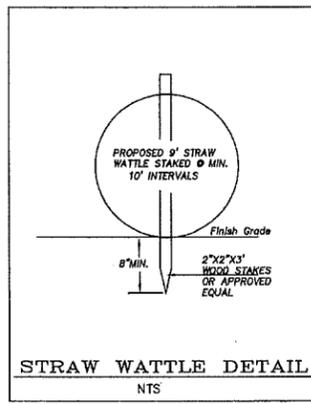
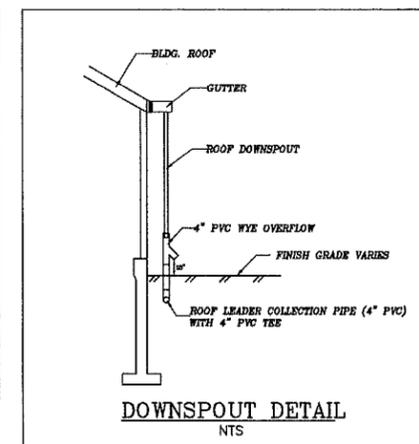
INSPECTION SIGN-OFF SCHEDULE	
DRAINAGE SYSTEM	
Item No.	Description of Service
1	
2	
3	
4	
5	

Parcel ID - 423-13-00
 Town Benchmarks Used:
 #735 - El=176.52
 Center of Catchbasin Throat Stone West
 Aide of Woodland Rd. in front of # 370
 #736 - El=177.01
 Most Westerly Cap Nut on Hydrant Between
 #731 and #739 Heath St.

- Notes:
- All utilities shown were compiled from field locations and available plans of utility companies and may or may not be correct. Contractor is to contact Dig Safe and all local utility companies as required prior to any excavation.
 - Contractor to match all existing materials, disturbed during construction, including sidewalk, curbing and loam/seed, as necessary.
 - Contractor to connect all roof drains from new addition to proposed leaching system.
 - Contractor is responsible to schedule all utility inspections and sign offs as required.
 - Contractor is to supply the Engineer of record as built locations, in notebook form, of all underground utilities for final as built plan.
 - Any modifications to proposed utility designs must be approved by Town of Brookline Engineering Division.

I certify that the lot corners, dimensions and elevations shown on this plan are from an actual survey on the ground completed May 4, 2016.

Verne T. Porter 8-26-16



47 Craftsland Road
 Brookline, Massachusetts
Proposed Drainage and Grading - Permit Plan
 Scale: 1"=20' May 11, 2015
VERNE T. PORTER Jr., PLS
 Land Surveyors - Civil Engineers
 354 Elliot Street Newton, Massachusetts 02464

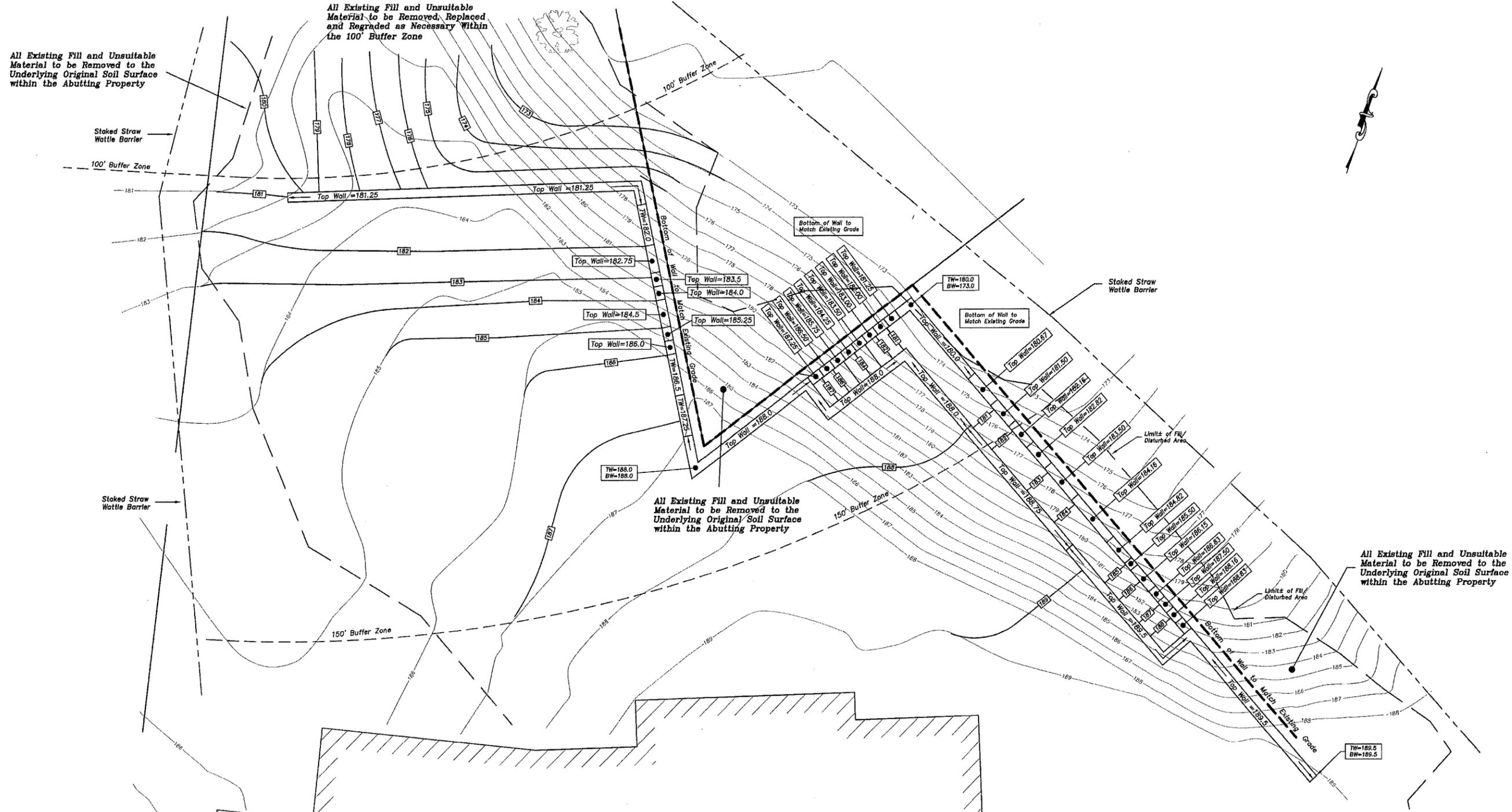
Project: 08079
 Checked By: V. Porter Jr.
 Drawn By: R. Jardine Jr.

REVISIONS	
DATE	DESCRIPTION
5-5-16	TOWN COMMENTS
8-26-16	WALL DESIGN



Survey/Lot Information Plan Reference
 Plan Titled: "47 Craftsland Road Subdivision Plan of Land in Brookline Mass."
 Dated: August, 2008
 By: J.F. Hennessy Co. Civil Engineers & Land Surveyors

Site Plan #



Site Plan #

#47 Existing House

REVISIONS	
DATE	DESCRIPTION
5-5-16	TOWN COMMENTS
8-26-16	WALL DESIGN

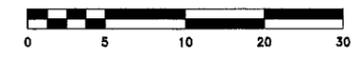


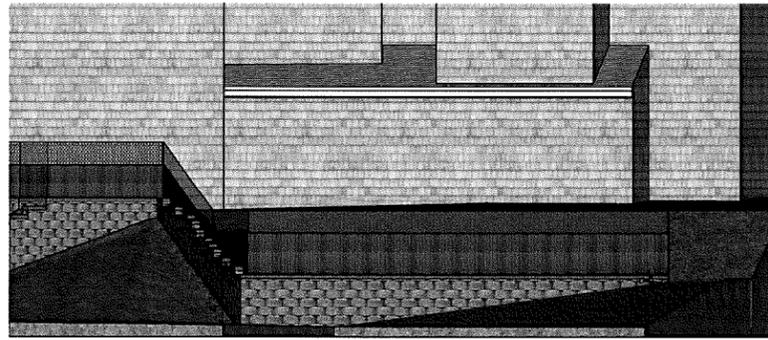
47 Craftsland Road
Brookline, Massachusetts
Proposed Grading and Wall Detail - Permit Plan

Scale: 1"=5' May 11, 2015
VERNE T. PORTER Jr., PLS
 Land Surveyors - Civil Engineers
 354 Elliot Street Newton, Massachusetts 02464

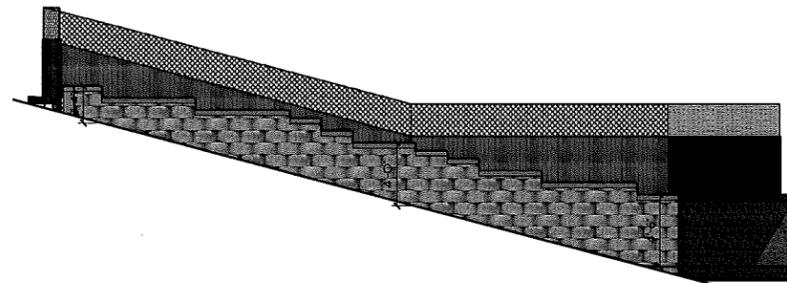
Project: 08079
 Checked By: V. Porter Jr.
 Drawn By: R. Jardine Jr.

Sheet 2 of 2

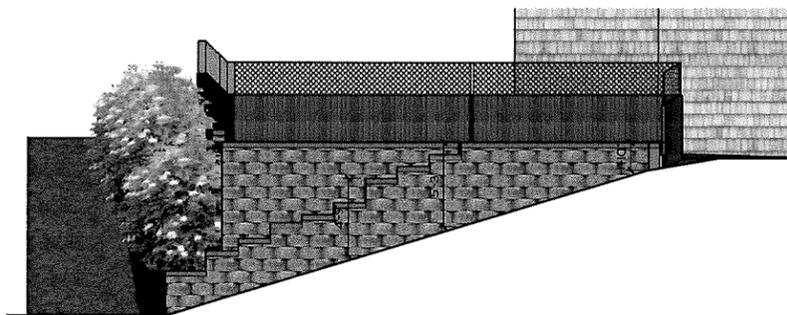




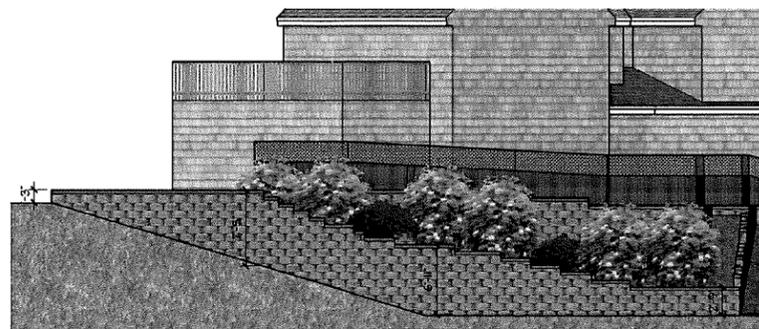
A Elevation A @ Retaining Wall
Not To Scale



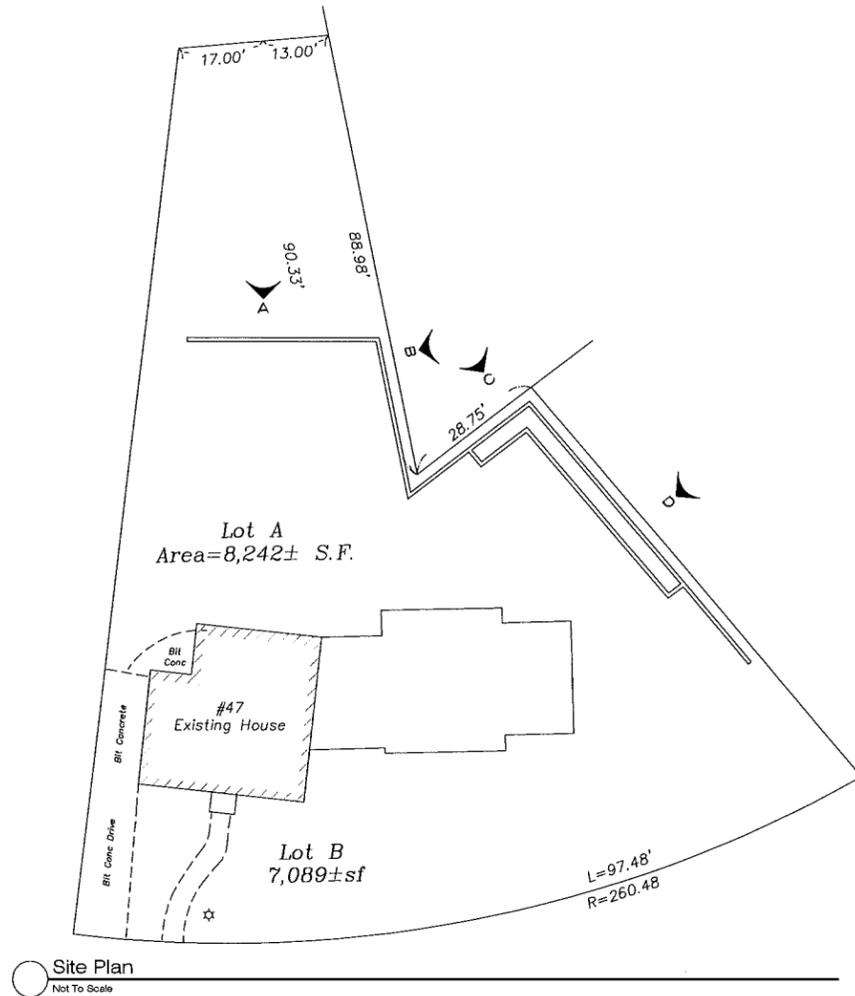
B Elevation B @ Retaining Wall
Not To Scale



C Elevation C @ Retaining Wall
Not To Scale



D Elevation D @ Retaining Wall
Not To Scale



Site Plan
Not To Scale

Calkins Residence Chestnut Hill, MA

11/30/2015

REV. 09/07/2016



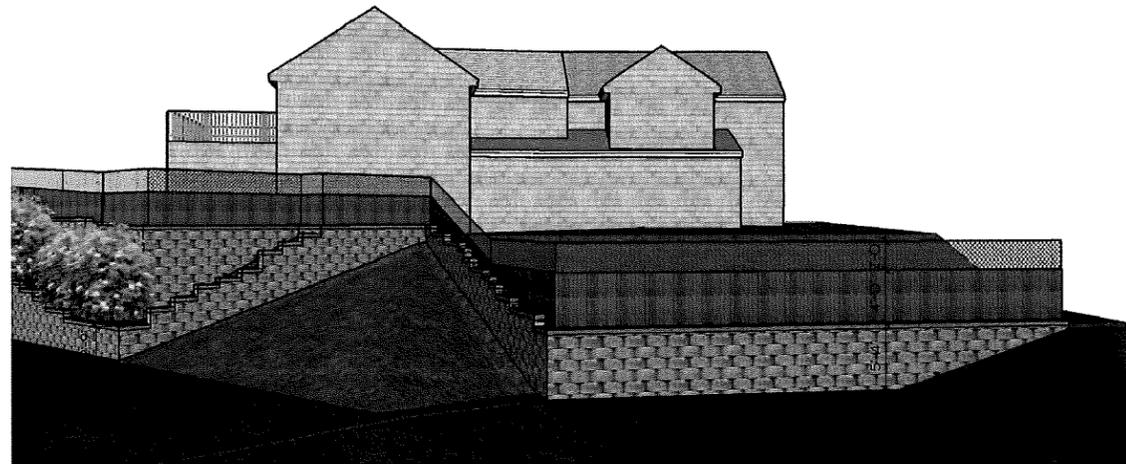
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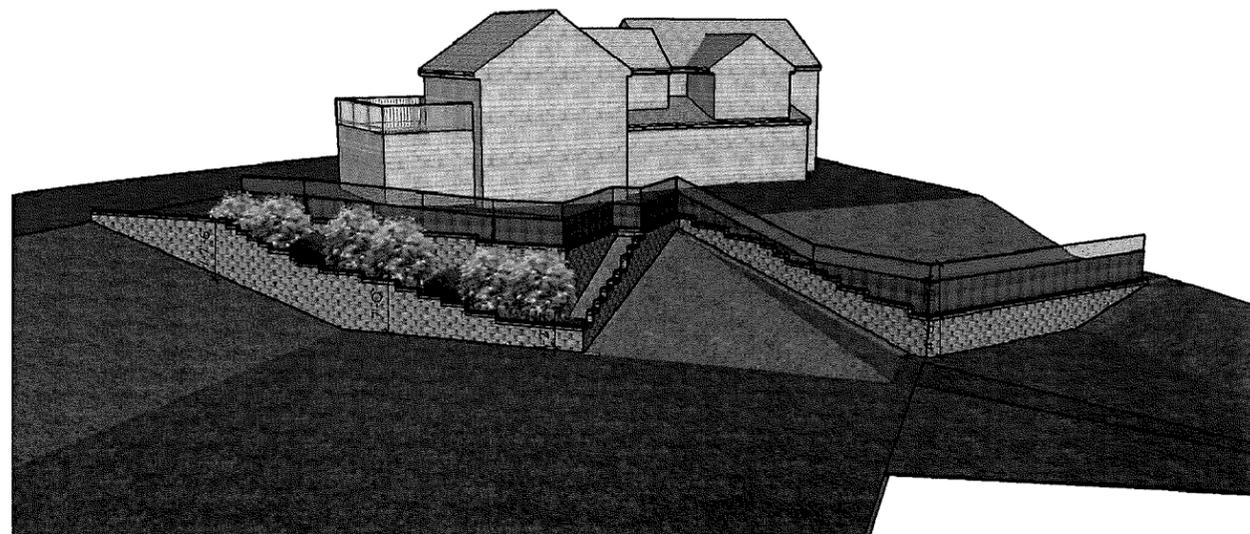
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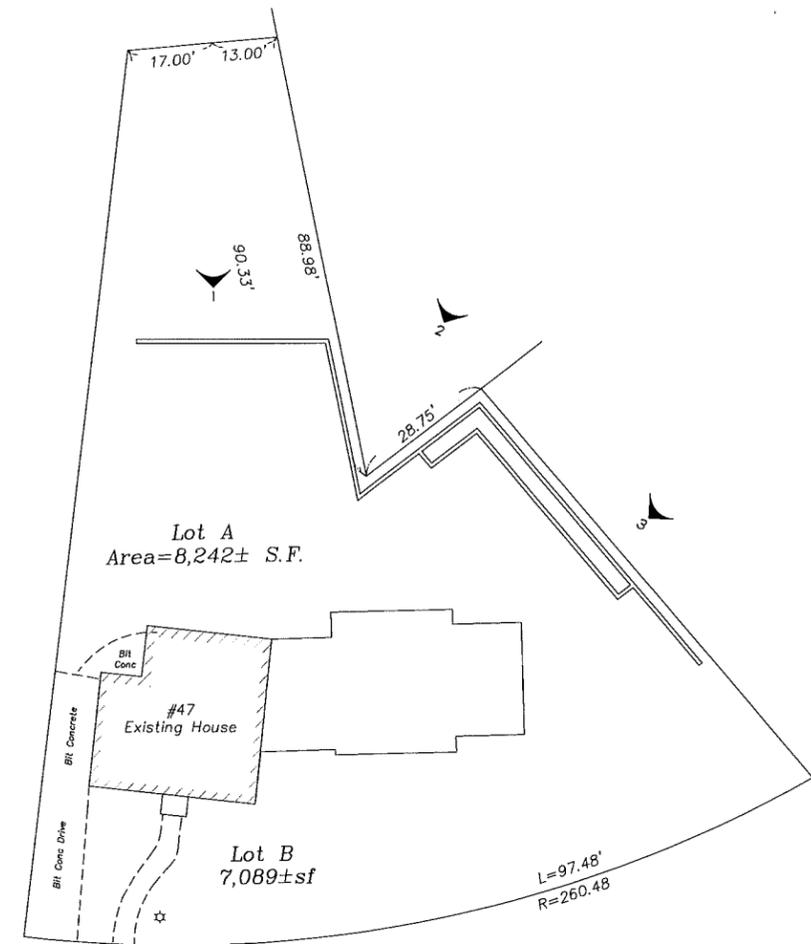
1 Rear View @ Retaining Wall
Not To Scale



2 Rear View @ Retaining Wall
Not To Scale



3 Side View @ Retaining Wall
Not To Scale



Site Plan
Not To Scale

Calkins Residence Chestnut Hill, MA

11/30/2015

REV. 09/07/2016



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