



# *Town of Brookline*

## *Massachusetts*

### **PLANNING BOARD**

Town Hall, 3<sup>rd</sup> Floor  
333 Washington Street  
Brookline, MA 02445-6899  
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman  
Steven Heikin, Clerk  
Robert Cook  
Sergio Modigliani  
Jonathan Simpson  
Mark J. Zarrillo

To: Brookline Board of Appeals  
From: Brookline Planning Board  
Date: January 29, 2015  
Subject: Construct addition at the rear of the property (addition relocated from the front at the request of the NCD Commission)  
Location: 66 Perry Street

Atlas Sheet:	28	Case #:	2014-0074
Block:	131	Zoning:	T-5
Lot:	22	Lot Area (s.f.):	10,500

Board of Appeals Hearing: February 26, 2015, at 7:30 p.m.

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### **BACKGROUND**

**2/5/76, BOA Case #2050** – the Board of Appeals granted approval to convert the existing three-family to a single-family, and to subdivide and transfer a portion of land from 66 Perry Street to 33-39 St. Paul Street. The two properties had been under common ownership prior to 1976. The transfer of ownership of this strip of land, approximately 912 square feet, was to accommodate two parking spaces for 33-39 St. Paul Street and was accompanied by the establishment of a shared driveway easement to provide access to an open air parking area behind 66 Perry Street for residents of 33-39 St. Paul Street. This subdivision created a rear yard setback deficiency for 66 Perry Street. The Board of Appeals granted necessary special permit relief for the rear yard deficiency subject to two conditions: 1) that the driveway easement be recorded and 2) **that the 66 Perry Street structure shall be single-family use.**

**10/22/2014** -The Brookline Neighborhood Conservation District Commission granted a Certificate of Appropriateness, subject to nine conditions, for the design of a proposal to

construct a two-story addition on the rear of the house at 66 Perry Street. If any revisions are made to the plans, they must be approved by the NCD sub-committee.

**12/18/2014** – The Brookline Planning Board continued discussions regarding the rear addition at 66 Perry Street. The Board requested that the applicant consider reducing the size of the addition and rear-yard setback non-compliance. The Board also requested more accurate construction plans (window sizes, window wells, and vehicle turning radii). Both the applicant and Board Members suggested that a representative from the NCD Commission attend the continued meeting scheduled for 1/29/15.

### **SITE AND NEIGHBORHOOD**

The two-story Colonial style structure at 66 Perry Street was constructed in 1871 and remodeled in 1907. The current two-family dwelling presents a distinct mansard roof, a 27'x14' covered front porch, and 3,722 square feet of finished living space. The property backs up to a large parking area that services a multi-unit condominium complex (33-39 St. Paul Street). This parking area is accessed by a right of way located along the southern side of the 66 Perry Street property. An existing driveway is also located along the northern side.

The property is located within the Greater Toxteth Neighborhood Conservation District. This neighborhood consists of single, two, and multi-family residential structures of varying architectural style.

### **APPLICANT'S PROPOSAL**

The applicant is proposing to construct a two-story, 1,314 square foot rear addition. This addition will expand living space by 590 square feet on the first floor and by 724 square feet on the second floor. Additional interior alterations will convert approximately 1,901 square feet of existing and expanded basement space (some existing basement space is being lost in order to recess the floor of one of the garages on the first floor) into living space. Garage parking for three vehicles and a rear carport are also included in this addition. Two separate residential units will result from this proposed increase in gross floor area – Unit 1 (3,215 square feet) will include two bedrooms and Unit 2 (3,700 square feet) will include four bedrooms.

**The applicant revised the proposal to respond to the Planning Board's concern about the impact to the side and rear abutter by placing the fourth parking space in a carport, rather than in a garage structure, and by pulling back the deck on top of the garage.**

The existing right of way at the southern portion of the property will become the primary vehicular access point, and the existing driveway along the northern property line will be converted into a pedestrian walkway intended to provide access to residential unit 2.

### **FINDINGS**

**Section 5.43** – Exceptions to Yard and Setback Regulations

**Section 5.70** – Rear Yard Requirements

Dimensional Requirements	Required	Proposed	Relief
Rear Yd Stbk to carport	30'	5'	Special Permit*
Rear Yd Stbk to house		10' 1"	

\*Under *Section 5.43*, the Board of Appeals may waive yard and setback requirements if counterbalancing amenities are provided

### **Modification, as required, of BOA case #2050, February 5, 1976**

Condition #2 includes the provision that 66 Perry Street shall be single-family use. Modification of this condition is required to allow this proposed two-family use.

### **PLANNING BOARD COMMENTS**

The Planning Board is not opposed to this proposal to construct a rear addition to expand living space and create garage parking 66 Perry Street. The applicant has worked closely with the NCD sub-committee to meet the design standards of the NCD and minimize neighborhood impact resulting from the addition. Although the proposed rear addition does not conform to rear-yard setback requirements, its relocation from the front to the rear of the building is a direct result of NCD sub-committee recommendations in order to preserve the existing view of the house from the street.

The applicant has also altered construction plans based on Planning Board and resident feedback. The impact of the rear addition on abutting residents has been reduced by turning the fourth garage space into a carport and pulling the deck above it back. Landscape plans will provide a vegetative screen along the rear property line to reduce further the visual and noise impact. The as-built structure remains significantly below the allowed FAR for the T-5 zoning district.

**Therefore, the Planning Board recommends approval of the plans submitted by ARCO design & build, dated 1/8/15, subject to the following conditions:**

1. Prior to the issuance of a building permit, the applicant shall provide evidence that the final elevations, site, utility locations, and landscaping plans conform to all of the conditions in the Certificate of Appropriateness, dated 10/22/14, to the Assistant Director for Regulatory Planning.
2. One of the two dwelling units shall have no more than two bedrooms.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final floor plans and elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

*Image 1: 66 Perry Street – front view*

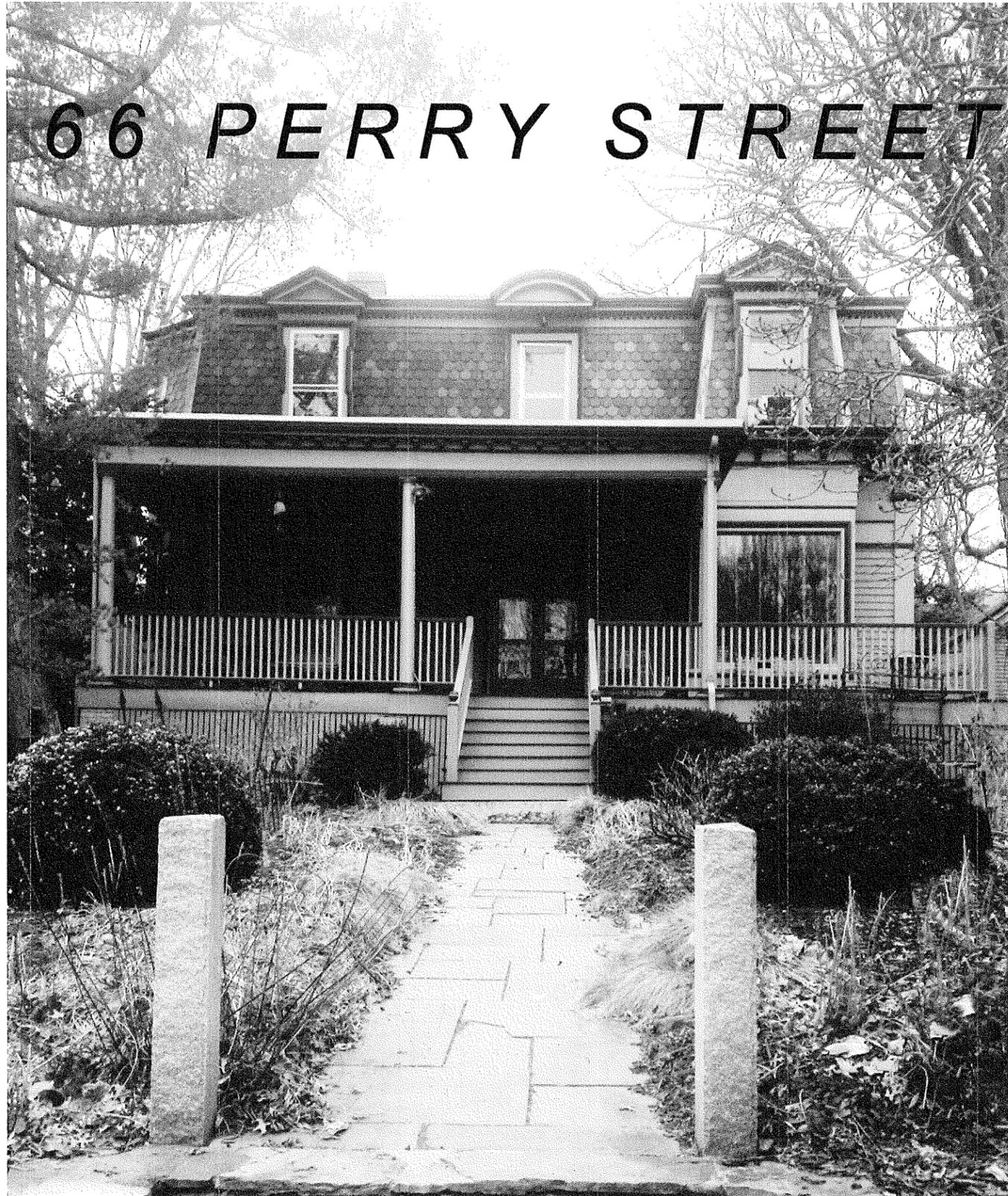


*Image 2: Easement access to 33-39 St. Paul Street parking*



*Image 3: 66 Perry Street – rear view*





# 66 PERRY STREET

## RESIDENCES

66 PERRY ST, BROOKLINE - MA

**CLIENT:**

**DREAMCASA LLC.**  
15 CYPRESS ST.  
NEWTON, MA 02459

**DESIGN/BUILDER:**

**ARCO**  
15 CYPRESS ST.  
NEWTON, MA 02459

**CIVIL ENGINEER:**

**VTP ASSOCIATES**  
132 ADAMS ST  
NEWTON, MA 02458

**STRUCTURAL ENGINEER:**

**ALEXANDER DORFMAN**  
18 ST. CLOUD AVE.  
NEEDHAM, MA 02492

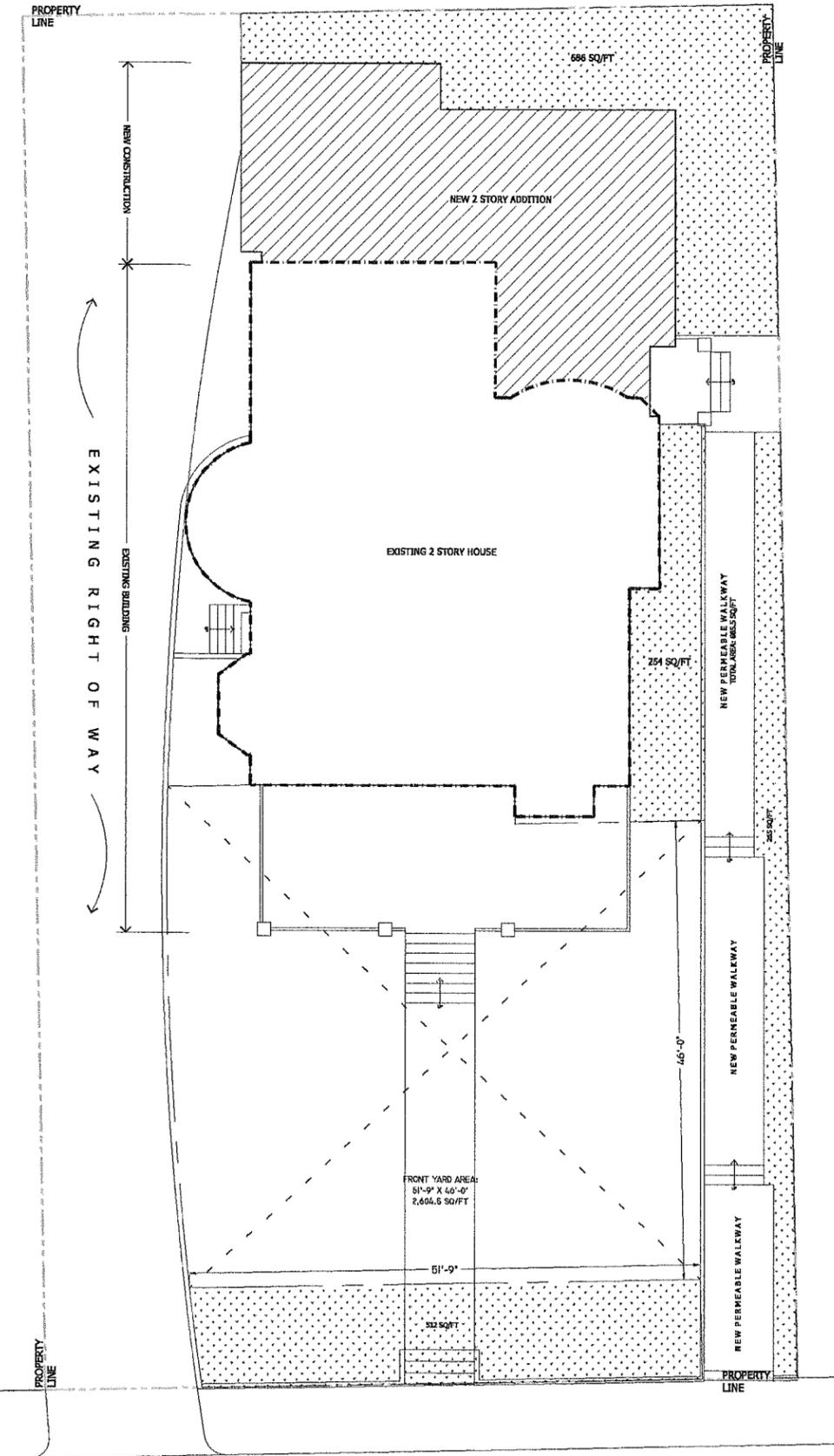
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- .A-0.1 SITELAYOUT AND LANDSCAPE PLAN
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arco  
design+build  
www.arco-build.com

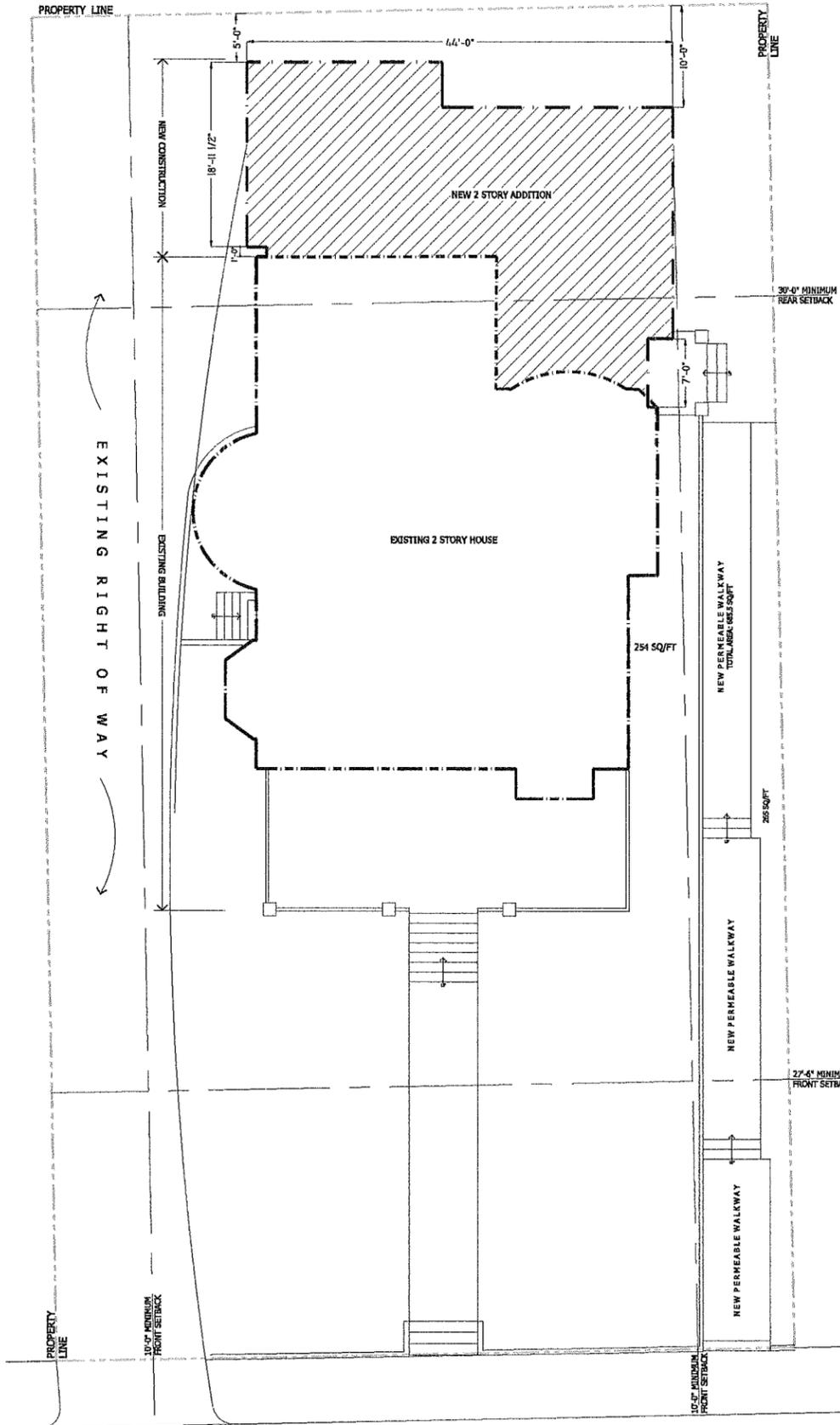
15 Cypress St. Suite 301  
Newton, MA 02459

vox 617 286 2726  
fax 617 527 4050



**A** **USABLE OPEN SPACE**

A0.1



**B** **SITE PLAN**

A0.1

**ZONING BY LAW SUMMARY**

ADDRESS: 66 PERRY STREET

LOT AREA: 10,522 SQ/FT  
ZONING DISTRICT: T-5

EXISTING USE: TWO FAMILY  
PROPOSED USE: TWO FAMILY

F.A.R.: 1.0  
MAX. ALLOW F.A.R.: 10,522 SQ/FT  
PROPOSED GROSS FLOOR AREA: 6,915 SQ/FT  
MIN. REQUIRED OPEN AREA: 30% GROSS FLOOR AREA: 2,104.5 SQ/FT  
PROPOSED OPEN AREA: 2,604.5 SQ/FT  
PROPOSED PERMEABLE AREA: 685.5 SQ/FT

MIN. LANDSCAPE: 10% GROSS FLOOR AREA: 701.5 SQ/FT  
PROPOSED LANDSCAPE AREA: 1,717 SQ/FT

SETBACKS MIN. REQUIREMENTS  
FRONT: 15'-0"\*\*\*  
PROPOSED FRONT YARD: EXISTING  
REAR: 30'-0"  
PROPOSED REAR YARD: MIN. 5'-0"\*\*\*  
SIDE: 10'-0"  
PROPOSED SIDE YARD: MIN. 10'-0"  
MAX. BUILDING HEIGHT: 35'-0"  
MAX. PROPOSED BUILDING HEIGHT: 35'-0"

(\*) BASED ON AVERAGE ALIGNMENT PER SECTION 5.54  
(\*\*) AS PER ZBA REQUEST DATED 11.4.14

**EXISTING PARAMETERS**

FLOOR LEVEL	EXISTING
BASEMENT	1,910 SQ/FT
FIRST FLOOR	1,936 SQ/FT
SECOND FLOOR	1,819 SQ/FT
TOTAL AREA	5,665 SQ/FT

**PROPOSED ZONING BY LAW PARAMETERS**

FLOOR LEVEL	UNIT 1	UNIT 2	TOTAL
BASEMENT	675 SQ/FT	1,226 SQ/FT	1,901 SQ/FT
FIRST FLOOR	1,557 SQ/FT*	1,290 SQ/FT*	2,847 SQ/FT*
SECOND FLOOR	1,325 SQ/FT	1,409 SQ/FT	2,734 SQ/FT
TOTAL AREA	3,557 SQ/FT	3,925 SQ/FT	7,482 SQ/FT
GARAGE AREA			(567 SQ/FT)
TOTAL GROSS FLOOR AREA (LESS GARAGE):			6,915 SQ/FT

NOTES:  
\* INCLUDING GARAGES AREA: 567 SQ/FT



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Stamp



**RONALD F. JAREK**  
Architect  
487 Watertown Street  
Newtonville, Ma 02460  
(617) 818-4540

No.	Description	Date

BUILDING PERMIT SET ONLY  
**NOT FOR CONSTRUCTION**  
DO NOT SCALE DRAWINGS

DreamCasa, llc.

**66 PERRY ST.  
RESIDENCES**

**SITE PLAN  
&  
ZONING INFORMATION**

Project number	14-0325
Date	01.08.15
Drawn by	MGD
Checked by	LD

**A0.0**

Scale NTS

Stamp



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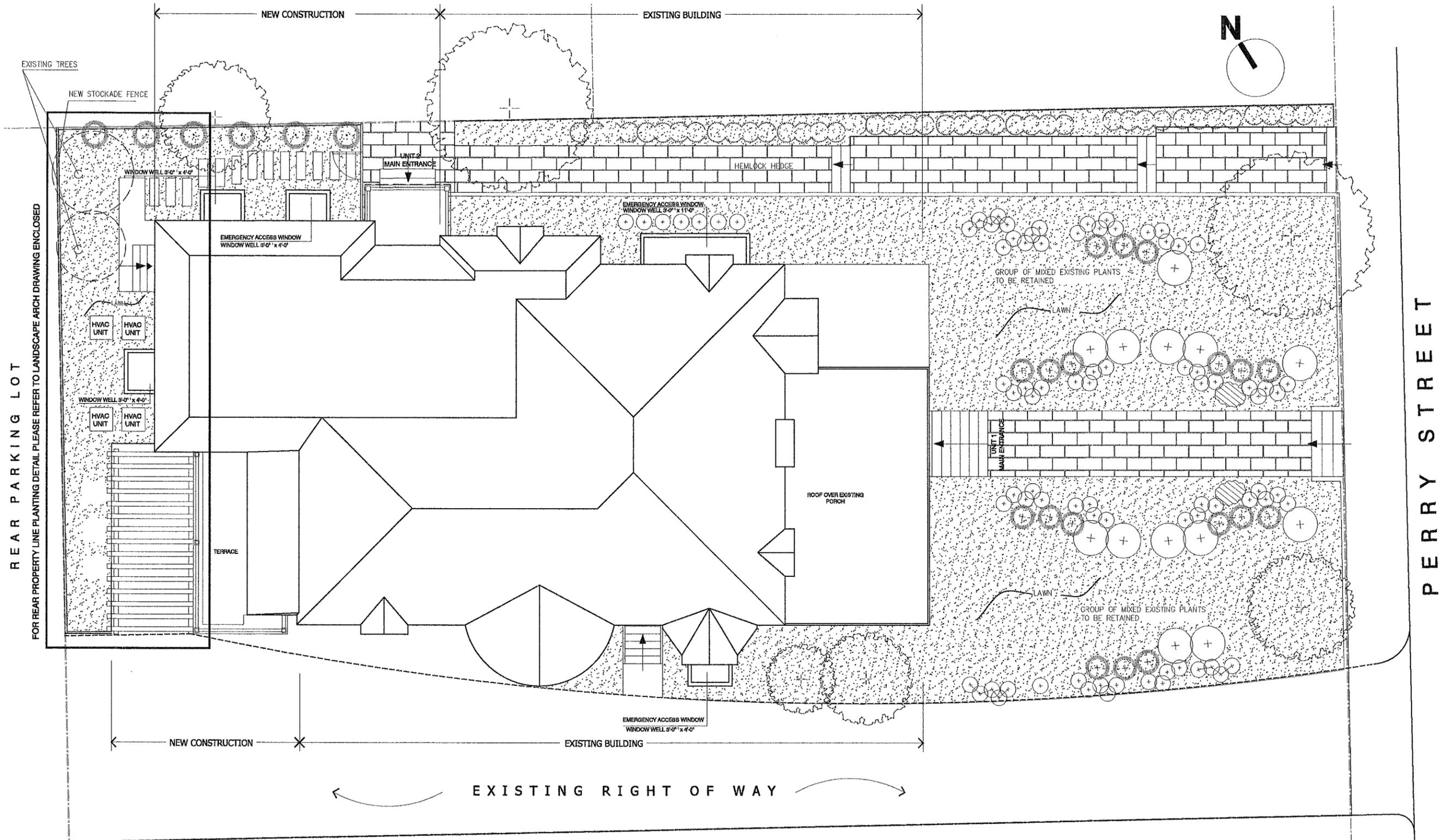
**66 PERRY ST.  
RESIDENCES**

SITE LAYOUT &  
LANDSCAPE PLAN

Project number	14-0325
Date	01.08.15
Drawn by	MGD
Checked by	LD

**A0.1**

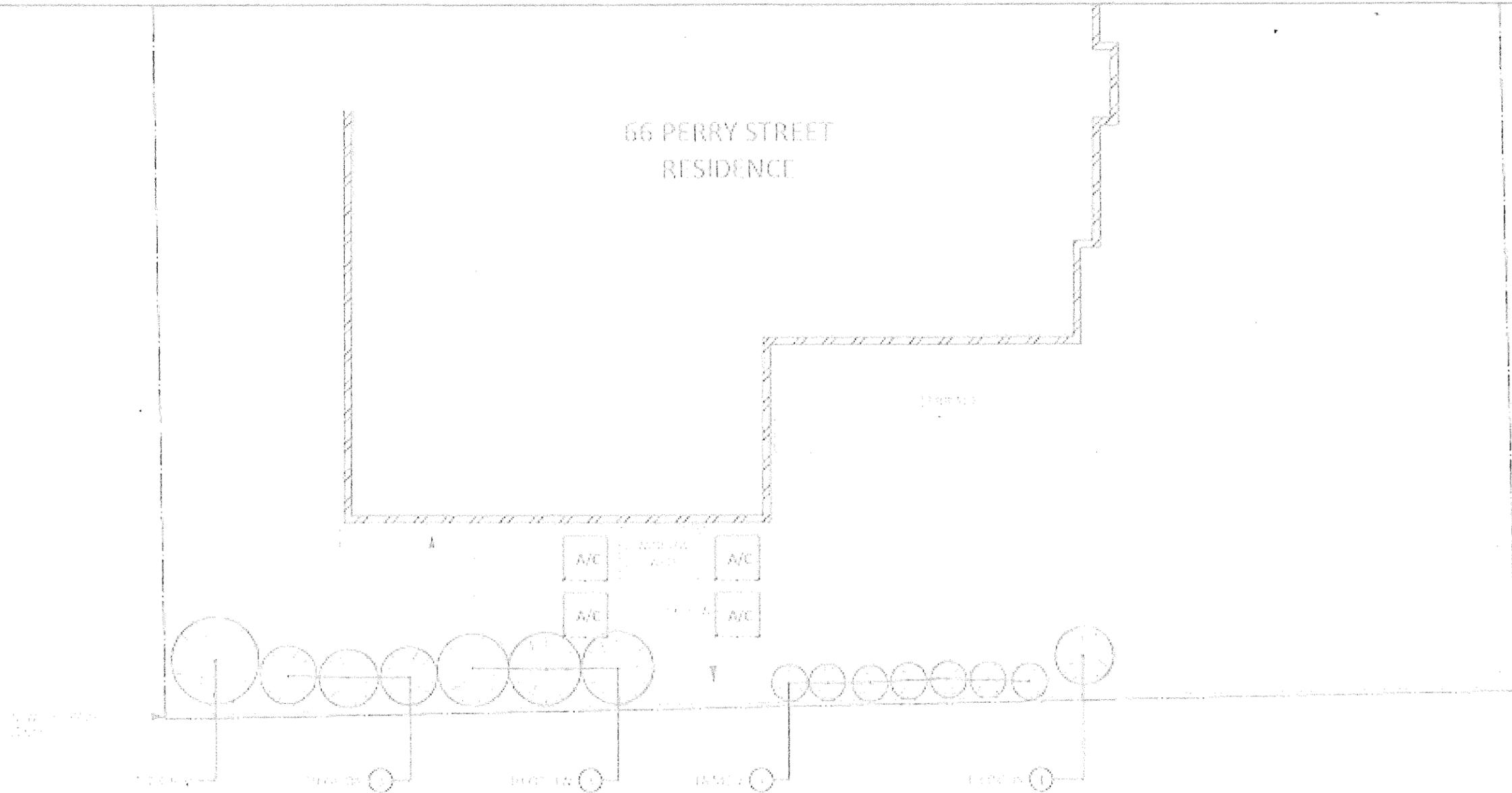
Scale NTS



FOR REAR PROPERTY LINE PLANTING DETAIL PLEASE REFER TO LANDSCAPE ARCH DRAWING ENCLOSED

**A** LANDSCAPE PLAN  
A0.1

66 PERRY STREET  
RESIDENCE



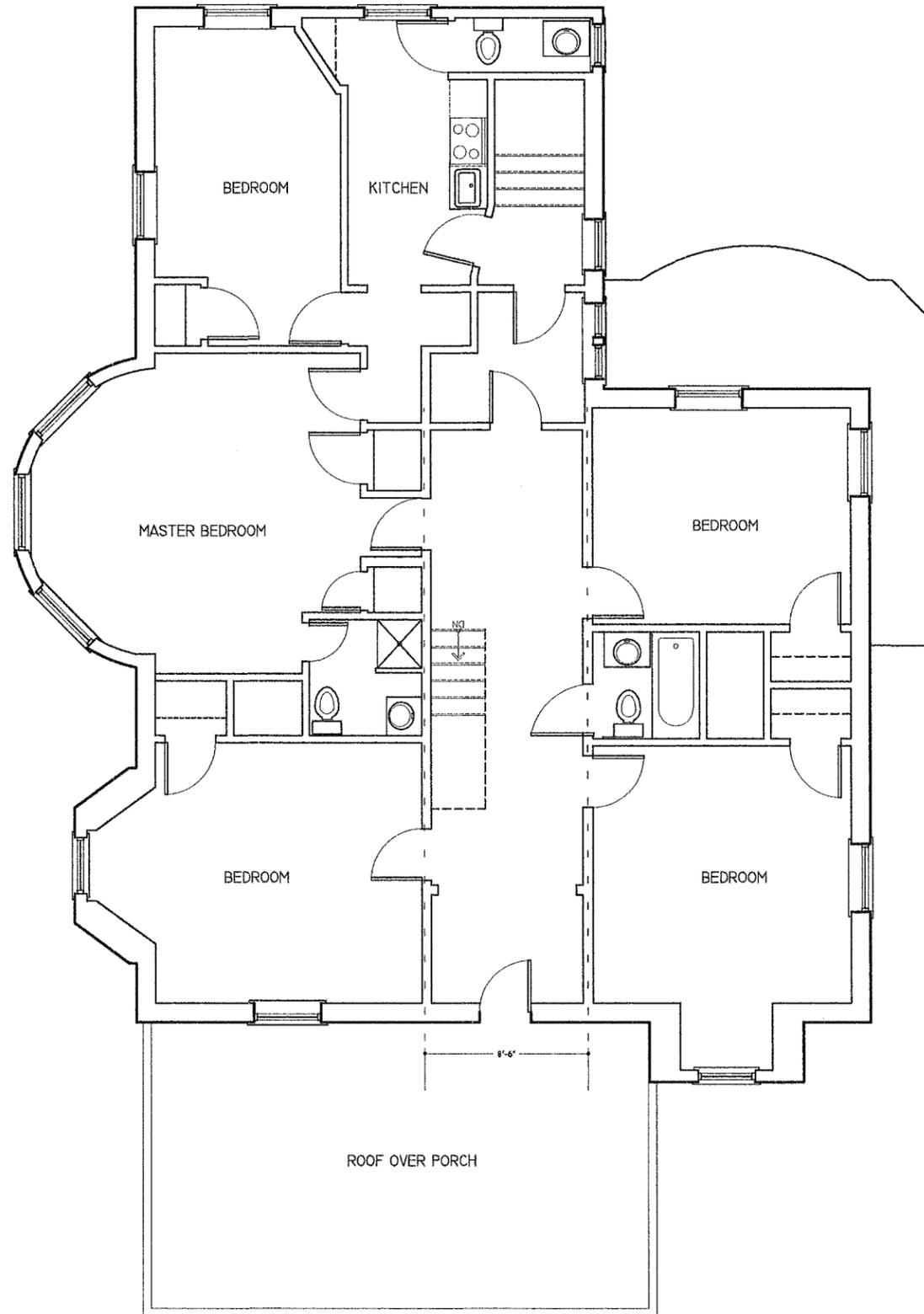
PLANT LIST

Qty	ID	Botanical Name	Common Name	Spacing	Scheduled Size Remarks
<b>Coniferous Trees</b>					
7	TA ME V	Thuja occidentalis 'Mariesii'	Columnar Yew	7'-8' ft.	7'-8' ft.
4	TH GC BS	Thuja occidentalis 'Sagittifolia'	Original's Sable Arborvitae	7'-8' ft.	7'-8' ft.
3	TH GC HW	Thuja occidentalis 'Hetzl Wintergreen'	Highly Drought-tolerant Arborvitae	7'-8' ft.	7'-8' ft.
2	TH PC V	Thuja plicata 'Tomica'	Wintergreen Plant Arborvitae	7'-8' ft.	7'-8' ft.

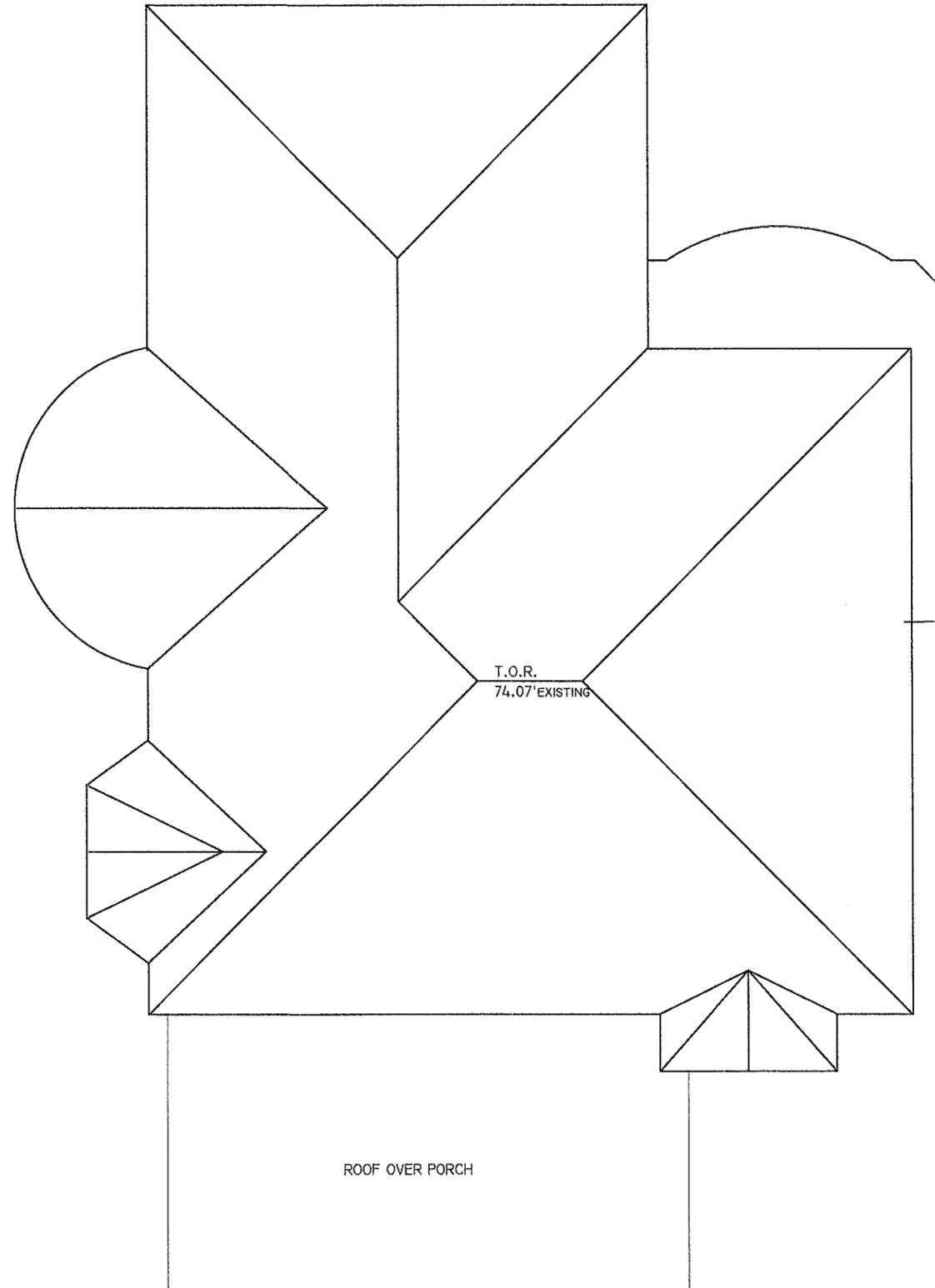
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REAR PROPERTY LINE PLANTING PLAN  
 66 PERRY STREET  
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**3** EXISTING SECOND FLOOR PLAN  
A-0.3



**4** EXISTING ROOF PLAN  
A-0.3

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EXISTING  
FLOOR PLAN - 2

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**A - 0.3**

Scale 1/8" = 1'-0"

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66 PERRY ST.  
RESIDENCES

EXISTING FRONT  
ELEVATION

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**A - 0.4**

Scale 1/8" = 1'-0"



**1** EXISTING FRONT ELEVATION

A-0.4

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**66 PERRY ST.  
RESIDENCES**

EXISTING LEFT  
ELEVATION

Project number	14-0325
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**A - 0.5**

Scale 1/8" = 1'-0"



**2** EXISTING LEFT ELEVATION  
A-0.5

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EXISTING REAR  
ELEVATION

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Checked by	LD

**A - 0.6**

Scale 1/8" = 1'-0"



**3** EXISTING REAR ELEVATION  
A-0.6

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RESIDENCES

EXISTING RIGHT  
ELEVATION

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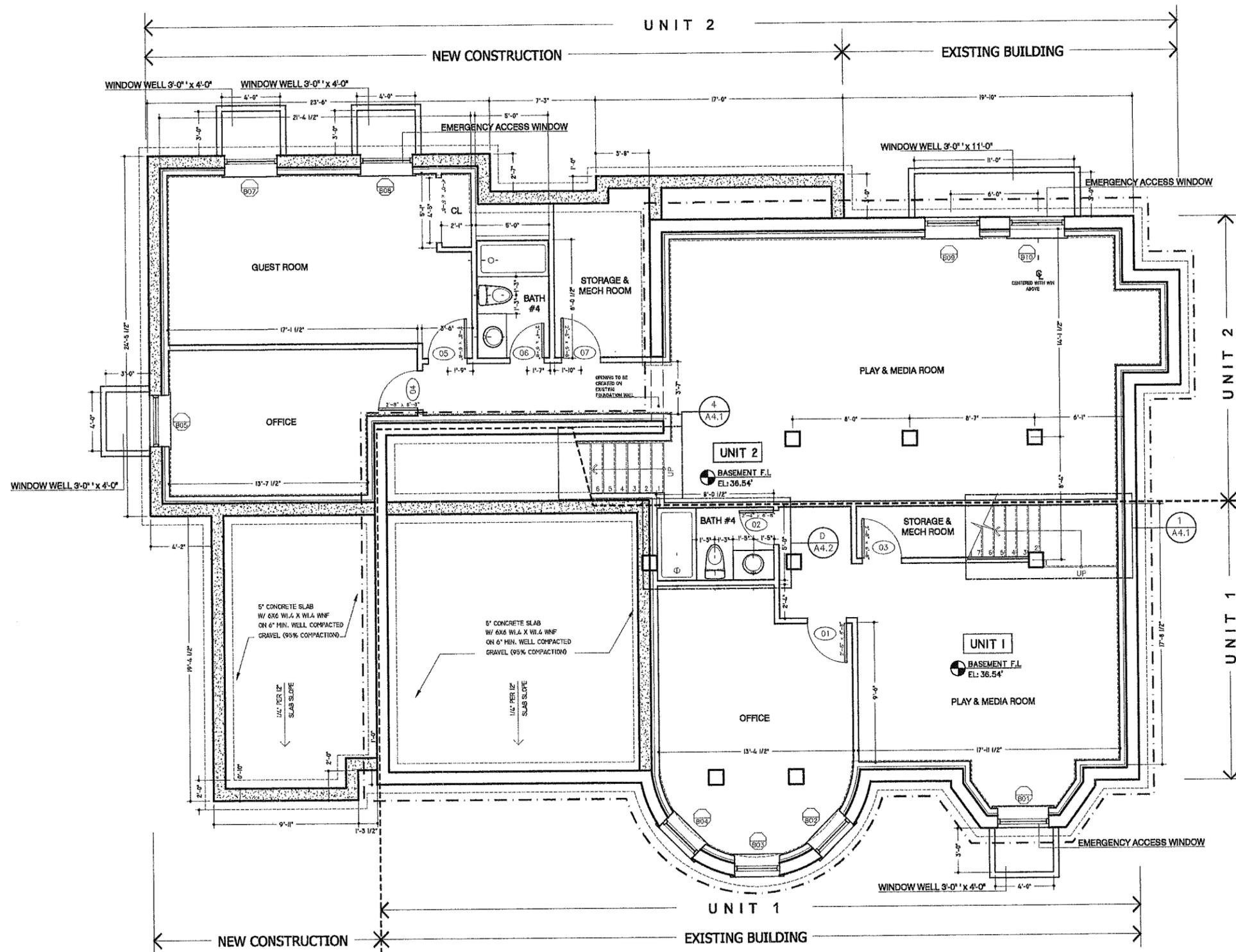
**A - 0.7**

Scale 1/8" = 1'-0"



**4** EXISTING RIGHT ELEVATION

A-0.7



**1 BASEMENT PLAN**

GENERAL NOTES:

1. ALL WORK TO CONFORM TO THE CURRENT EDITION OF THE MASSACHUSETTS STATE BUILDING CODE
2. EXTERIOR WALLS WILL BE INSULATED WITH R-16 CELLULOSE INSULATION
3. ATTIC/THIRD FLOOR CEILING WILL BE INSULATED WITH R-38 CLOSED CELL SPF INSULATION
4. ONE LAYER OF TYPE X HOUSE WRAP/ AIR BARRIER WILL BE INSTALLED ON EXPOSED EXTERIOR SURFACES
5. THE HOUSE WILL BE COVERED/SIDED WITH CLAPBOARDS
6. ALL WOOD IN CONTACT WITH CONCRETE OR EARTH WILL BE PRESSURE TREATED (PT)
7. THE INTERIOR WALLS AND CEILINGS TO BE 1/2" BLUEBOARD AND PLASTER
8. ALL NEW STUDS TO BE SPACED 16" ON CENTER MAXIMUM
9. CEILINGS TO RECEIVE 1 x 3 STRAPPING AT 16" ON CENTER
10. HEADERS OVER DOORS AND WINDOWS TO CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE- 8th EDITION TABLE 3606.2.6
11. ALL PLUMBING AND ELECTRICAL TO CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE
12. HARD WIRE SMOKE DETECTORS WITH BATTERY BACKUP TO BE INSTALLED AS PER THE MASSACHUSETTS STATE BUILDING CODE - 8th EDITION
13. LOW EXPANSION SEALERS TO BE INSTALLED @ ALL WINDOWS AND DOORS

- FIRE RATED PARTITION - 1 HR.
- EXISTING FIELD STONE WALL
- NEW PARTITION WALLS
- REINFORCED CONCRETE WALLS - NEW
- EXISTING BUILDING

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 RESIDENCES

BASEMENT LEVEL  
 FLOOR PLAN

Project number	14-0325
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**A - 1.1**

Scale 1/8" = 1'-0"

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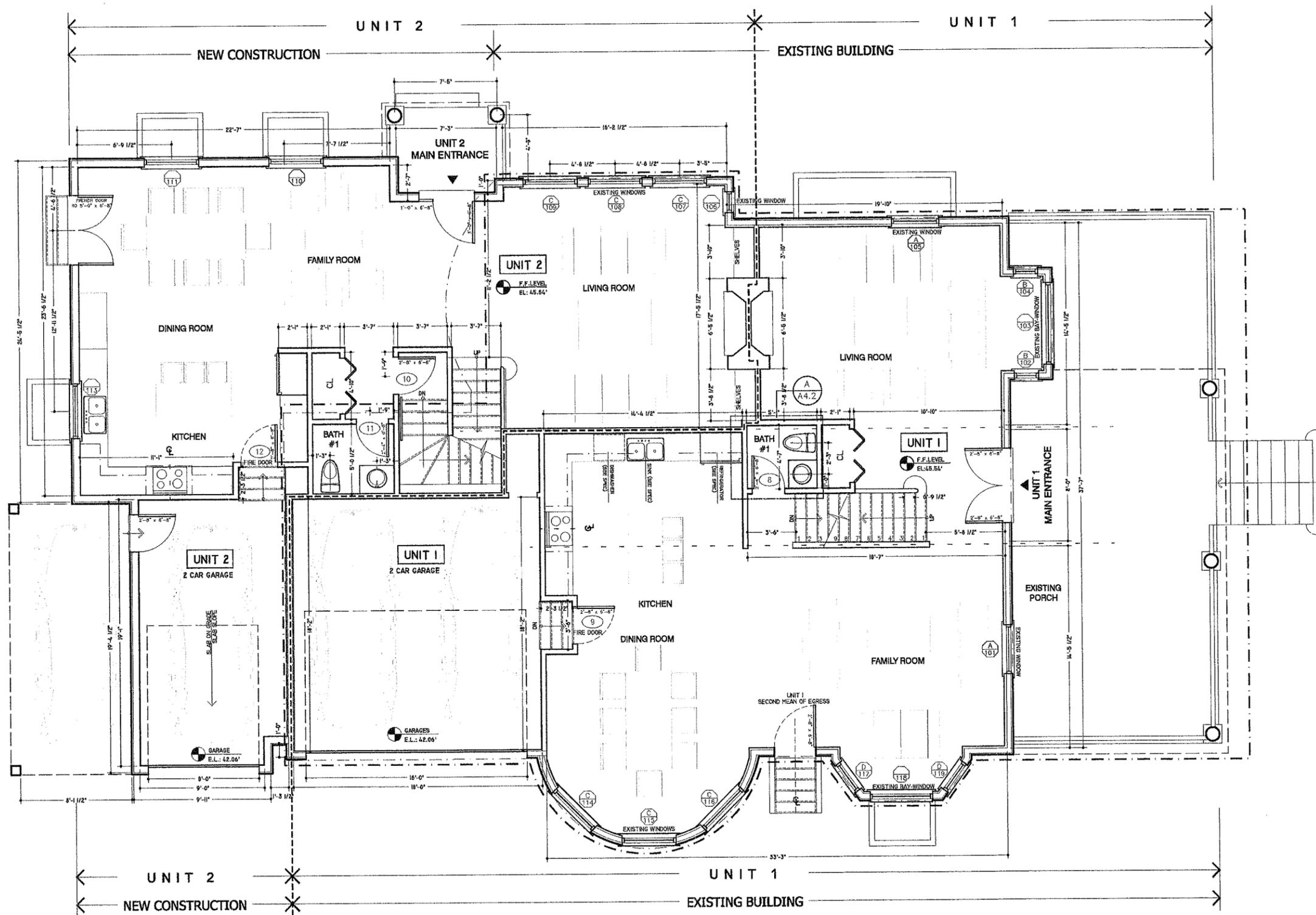
66 PERRY ST.  
RESIDENCES

FIRST FLOOR PLAN

Project number	14-0325
Date	01.08.15
Drawn by	MGD
Checked by	LD

**A - 1.2**

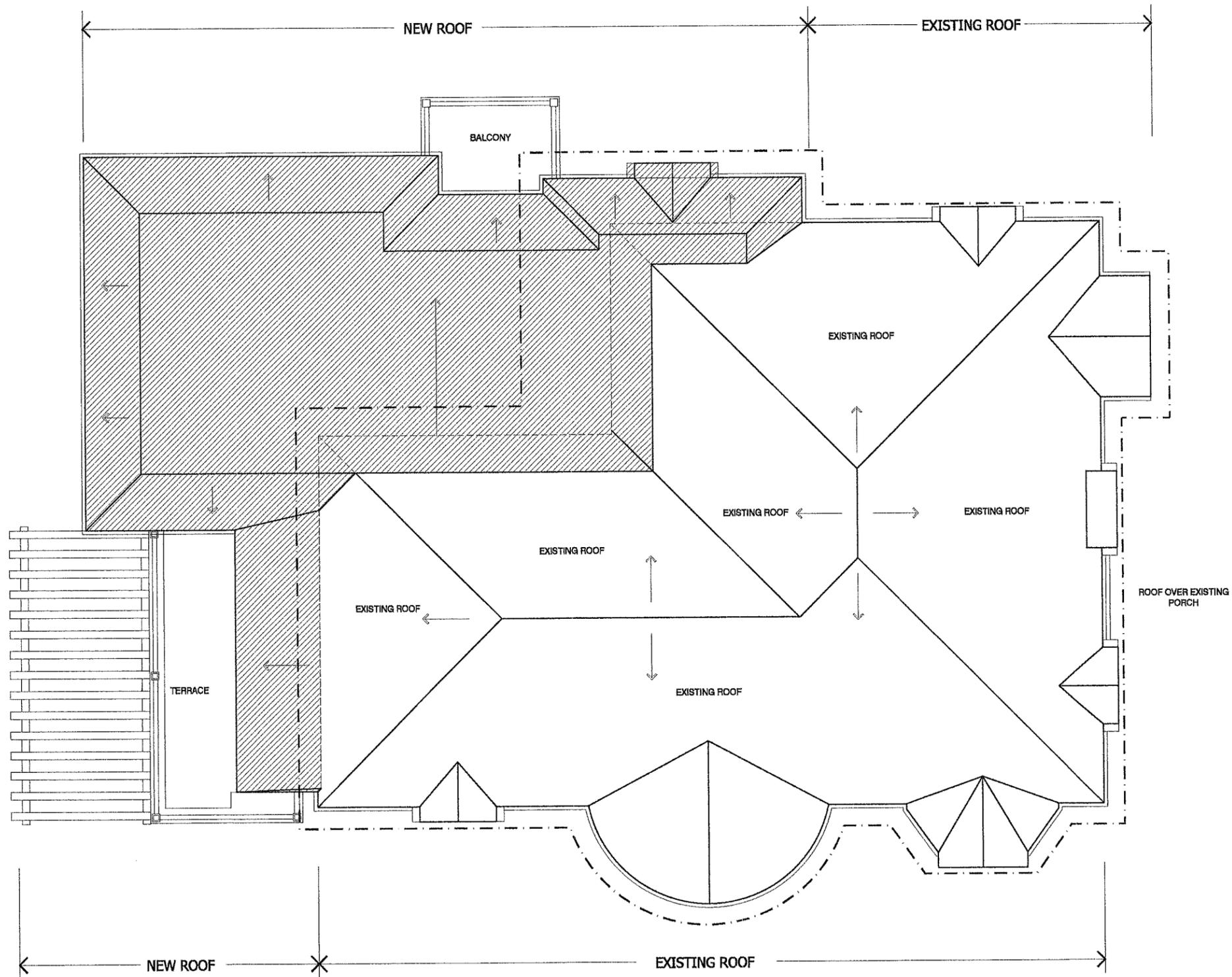
Scale 1/8" = 1'-0"



**2** FIRST FLOOR PLAN  
A1.2

- GENERAL NOTES:
- ALL WORK TO CONFORM TO THE CURRENT EDITION OF THE MASSACHUSETTS STATE BUILDING CODE
  - EXTERIOR WALLS WILL BE INSULATED WITH R-16 CELLULOSE INSULATION
  - ATTIC/THIRD FLOOR CEILING WILL BE INSULATED WITH R-38 CLOSED CELL SPF INSULATION
  - ONE LAYER OF TYPE X HOUSE WRAP AIR BARRIER WILL BE INSTALLED ON EXPOSED EXTERIOR SURFACES
  - THE HOUSE WILL BE COVERED/SIDED WITH CLAPBOARDS
  - ALL WOOD IN CONTACT WITH CONCRETE OR EARTH WILL BE PRESSURE TREATED (P.T.)
  - THE INTERIOR WALLS AND CEILINGS TO BE 1/2" BLUEBOARD AND PLASTER
  - ALL NEW STUDS TO BE SPACED 16" ON CENTER MAXIMUM
  - CEILINGS TO RECEIVE 1 x 3 STRAPPING AT 16" ON CENTER
  - HEADERS OVER DOORS AND WINDOWS TO CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE- 8th EDITION TABLE 3606.2.6
  - ALL PLUMBING AND ELECTRICAL TO CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE
  - HARD WIRE SMOKE DETECTORS WITH BATTERY BACKUP TO BE INSTALLED AS PER THE MASSACHUSETTS STATE BUILDING CODE - 8th EDITION
  - LOW EXPANSION SEALERS TO BE INSTALLED @ ALL WINDOWS AND DOORS
- FIRE RATED PARTITION - 1 HR.  
 EXISTING FIELD STONE WALL  
 NEW PARTITION WALLS  
 REINFORCED CONCRETE WALLS - NEW  
 EXISTING BUILDING





**4**  
A1.4

**ROOF PLAN**

GENERAL NOTES:

1. ALL WORK TO CONFORM TO THE CURRENT EDITION OF THE MASSACHUSETTS STATE BUILDING CODE
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- FIRE RATED PARTITION - 1 HR.
- EXISTING FIELD STONE WALL
- NEW PARTITION WALLS
- REINFORCED CONCRETE WALLS - NEW
- EXISTING BUILDING
- NEW ROOF

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Stamp



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No.	Description	Date

BUILDING PERMIT SET ONLY  
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DreamCasa, llc.

**66 PERRY ST.  
RESIDENCES**

ROOF PLAN

Project number	14-0325
Date	01.08.15
Drawn by	MGD
Checked by	LD

**A - 1.4**

Scale 1/8" = 1'-0"

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fax 617 527 4050

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66 PERRY ST.  
RESIDENCES

FRONT ELEVATION

Project number	14-0325
Date	01.08.15
Drawn by	MGD
Checked by	LD

**A-2.1**

Scale 1/8" = 1'-0"



**1** PROPOSED FRONT ELEVATION  
A-2.1

GENERAL NOTES:

1. ALL WORK TO CONFORM TO THE CURRENT EDITION OF THE MASSACHUSETTS STATE BUILDING CODE
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4. ONE LAYER OF TYPE X HOUSE WRAP/ AIR BARRIER WILL BE INSTALLED ON EXPOSED EXTERIOR SURFACES
5. THE HOUSE WILL BE COVERED/STIDED WITH CLAPBOARDS
6. ALL WOOD IN CONTACT WITH CONCRETE OR EARTH WILL BE PRESSURE TREATED (RT)
7. THE INTERIOR WALLS AND CEILINGS TO BE 1/2" BLUEBOARD AND PLASTER
8. ALL NEW STUDS TO BE SPACED 16" ON CENTER MAXIMUM
9. CEILINGS TO RECEIVE 1 x 3 STRAPPING AT 16" ON CENTER
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Stamp



**RONALD F. JAREK**  
Architect  
487 Watertown Street  
Newtonville, Ma 02460  
(617) 818-4540

(617) 818-4540

No.	Description	Date

BUILDING PERMIT SET ONLY

**NOT FOR CONSTRUCTION**

DO NOT SCALE DRAWINGS

DreamCasa, llc.

66 PERRY ST.  
RESIDENCES

LEFT SIDE ELEVATION

Project number	14-0325
Date	01.08.15
Drawn by	MGD
Checked by	LD

**A - 2.2**

Scale 1/8" = 1'-0"



**2** PROPOSED LEFT ELEVATION  
A-2.2

GENERAL NOTES:

1. ALL WORK TO CONFORM TO THE CURRENT EDITION OF THE MASSACHUSETTS STATE BUILDING CODE
2. EXTERIOR WALLS WILL BE INSULATED WITH R-16 CELLULOSE INSULATION
3. ATTIC/THIRD FLOOR CEILING WILL BE INSULATED WITH R-38 CLOSED CELL SPF INSULATION
4. ONE LAYER OF TYPE X HOUSE WRAP/ AIR BARRIER WILL BE INSTALLED ON EXPOSED EXTERIOR SURFACES
5. THE HOUSE WILL BE COVERED/SIDED WITH CLAPBOARDS
6. ALL WOOD IN CONTACT WITH CONCRETE OR EARTH WILL BE PRESSURE TREATED (P.T)
7. THE INTERIOR WALLS AND CEILINGS TO BE 1/2" BLUEBOARD AND PLASTER
8. ALL NEW STUDS TO BE SPACED 16" ON CENTER MAXIMUM
9. CEILINGS TO RECEIVE 1 x 3 STRAPPING AT 16" ON CENTER
10. HEADERS OVER DOORS AND WINDOWS TO CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE- 8th EDITION TABLE 3606.2.6
11. ALL PLUMBING AND ELECTRICAL TO CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE
12. HARD WIRE SMOKE DETECTORS WITH BATTERY BACKUP TO BE INSTALLED AS PER THE MASSACHUSETTS STATE BUILDING CODE - 8th EDITION
13. LOW EXPANSION SEALERS TO BE INSTALLED @ ALL WINDOWS AND DOORS

Stamp



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**66 PERRY ST.  
RESIDENCES**

REAR ELEVATION

Project number 14-0325

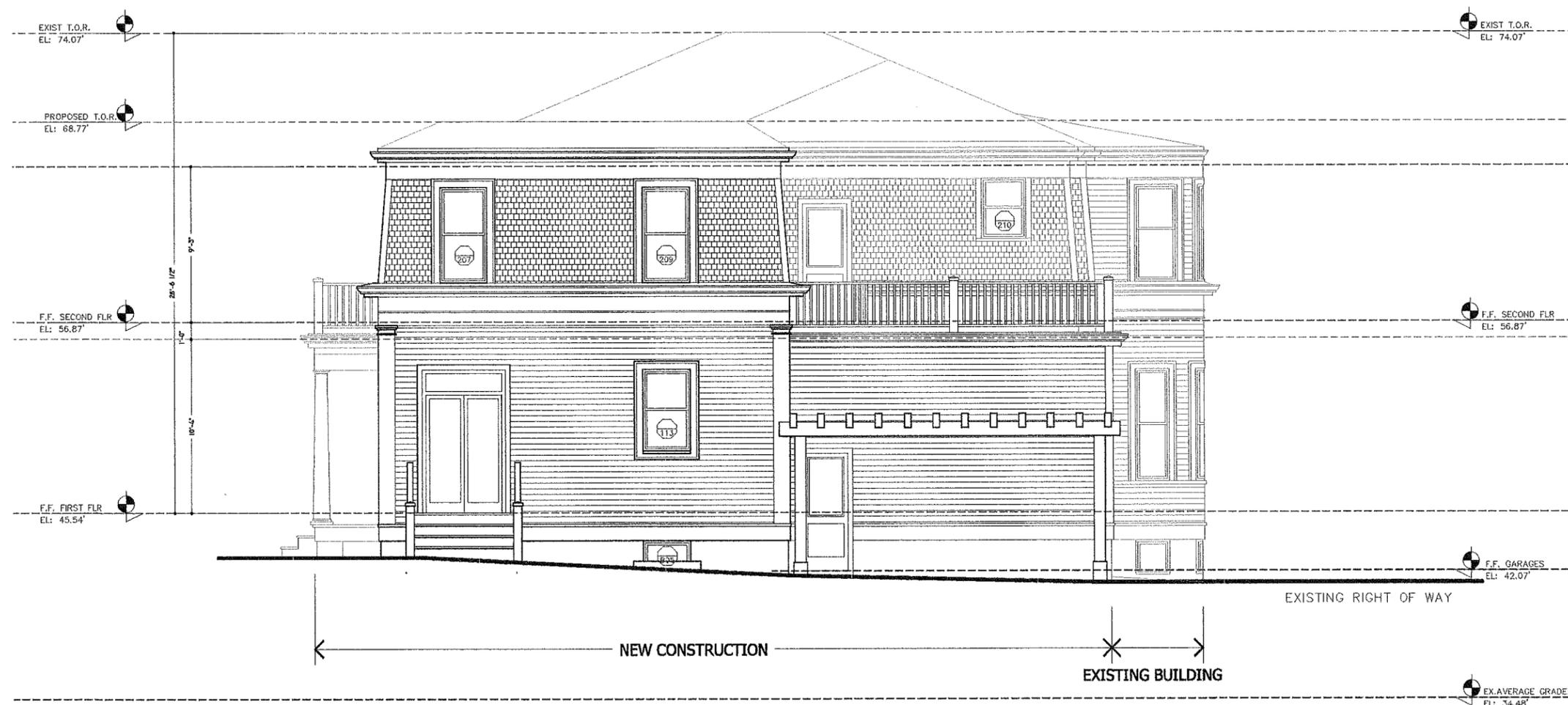
Date 01.08.15

Drawn by MGD

Checked by LD

**A - 2.3**

Scale 1/8" = 1'-0"



**3** PROPOSED REAR ELEVATION  
A-2.3

GENERAL NOTES:

1. ALL WORK TO CONFORM TO THE CURRENT EDITION OF THE MASSACHUSETTS STATE BUILDING CODE
2. EXTERIOR WALLS WILL BE INSULATED WITH R-16 CELLULOSE INSULATION
3. ATTIC/THIRD FLOOR CEILING WILL BE INSULATED WITH R-38 CLOSED CELL SPF INSULATION
4. ONE LAYER OF TYPE X HOUSE WRAP/ AIR BARRIER WILL BE INSTALLED ON EXPOSED EXTERIOR SURFACES
5. THE HOUSE WILL BE COVERED/SIDED WITH CLAPBOARDS
6. ALL WOOD IN CONTACT WITH CONCRETE OR EARTH WILL BE PRESSURE TREATED (PT)
7. THE INTERIOR WALLS AND CEILINGS TO BE 1/2" BLUEBOARD AND PLASTER
8. ALL NEW STUDS TO BE SPACED 16" ON CENTER MAXIMUM
9. CEILINGS TO RECEIVE 1 x 3 STRAPPING AT 16" ON CENTER
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DreamCasa, llc.

**66 PERRY ST.  
RESIDENCES**

RIGHT SIDE ELEVATION

Project number	14-0325
Date	01.08.15
Drawn by	MGD
Checked by	LD

**A - 2.4**  
Scale 1/8" = 1'-0"



**4** PROPOSED RIGHT ELEVATION  
A-2.4

- GENERAL NOTES:
1. ALL WORK TO CONFORM TO THE CURRENT EDITION OF THE MASSACHUSETTS STATE BUILDING CODE
  2. EXTERIOR WALLS WILL BE INSULATED WITH R-16 CELLULOSE INSULATION
  3. ATTIC/THIRD FLOOR CEILING WILL BE INSULATED WITH R-38 CLOSED CELL SPF INSULATION
  4. ONE LAYER OF TYPE X HOUSE WRAP/ AIR BARRIER WILL BE INSTALLED ON EXPOSED EXTERIOR SURFACES
  5. THE HOUSE WILL BE COVERED/SIDED WITH CLAPBOARDS
  6. ALL WOOD IN CONTACT WITH CONCRETE OR EARTH WILL BE PRESSURE TREATED (RT)
  7. THE INTERIOR WALLS AND CEILINGS TO BE 1/2" BLUEBOARD AND PLASTER
  8. ALL NEW STUDS TO BE SPACED 16" ON CENTER MAXIMUM
  9. CEILINGS TO RECEIVE 1 x 3 STRAPPING AT 16" ON CENTER
  10. HEADERS OVER DOORS AND WINDOWS TO CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE- 8th EDITION TABLE 3606.2.6
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  13. LOW EXPANSION SEALERS TO BE INSTALLED @ ALL WINDOWS AND DOORS

# 66 PERRY ST, Brookline-Ma

## ZONING BY LAW SUMMARY

DISTRICT: T-5

F.A.R.: 1.0

LOT SIZE AREA: 10,522 SQ/FT

PROPOSED USE: TWO FAMILY

MAX. ALLOW F.A.R.: 10,522 SQ/FT

MIN. OPEN AREA: 30% = 3,156.6 SQ/FT

MIN. LANDSCAPE: 10% = 1,052.2 SQ/FT

MIN. SETBACKS REQUIREMENTS

FRONT: 15'-0"

REAR: 30'-0"

SIDE: 10'-0"

MAX. BUILDING HEIGHT: 35'-0"

## N.C.D.

DISTRICT: T-5

BASE LINE LIVING AREA (B.L.L.A.)

FIRST FLOOR: 2,008 SQ/FT

SECOND FLOOR: 1,760 SQ/FT

TOTAL B.L.L.A.: 3,768 SQ/FDT

PROPOSED AREA ABOVE B.L.L.A.

FIRST FLOOR: 590 SQ/FT

SECOND FLOOR: 724 SQ/FT

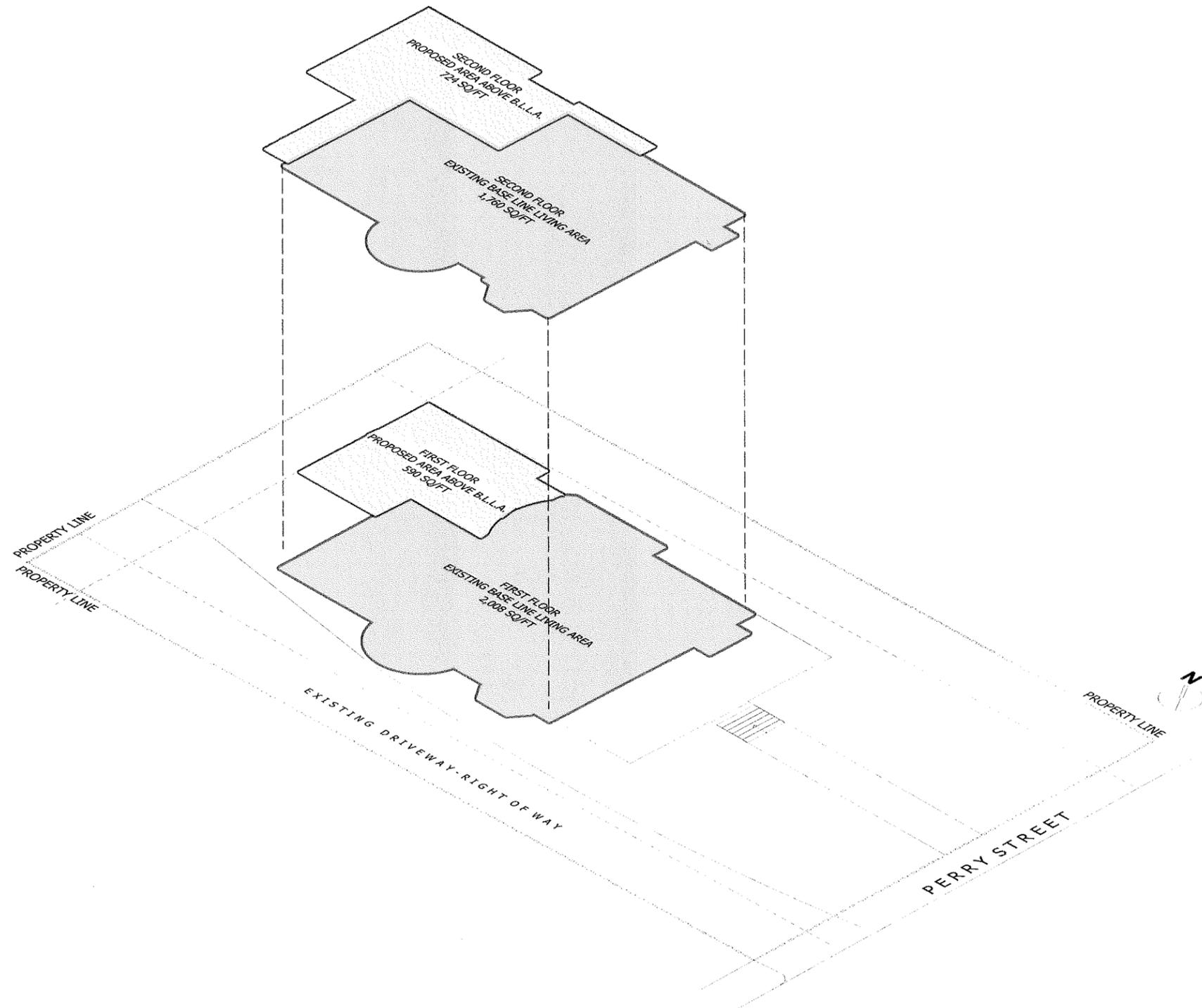
TOTAL AREA ADDITION ABOVE B.L.L.A.: 1,314 SQ/FT

TOTAL % ABOVE B.L.L.A.: 35%

PROPOSED UNIT AREA

TOTAL UNIT 1: 2,399 SQ/FT

TOTAL UNIT 2: 2,344 SQ/FT



arco  
design+build  
www.arco11c.com

15 Cypress St. Suite 301  
Newton, MA 02459

vox 617 286 2726  
fax 617 527 4050

Stamp



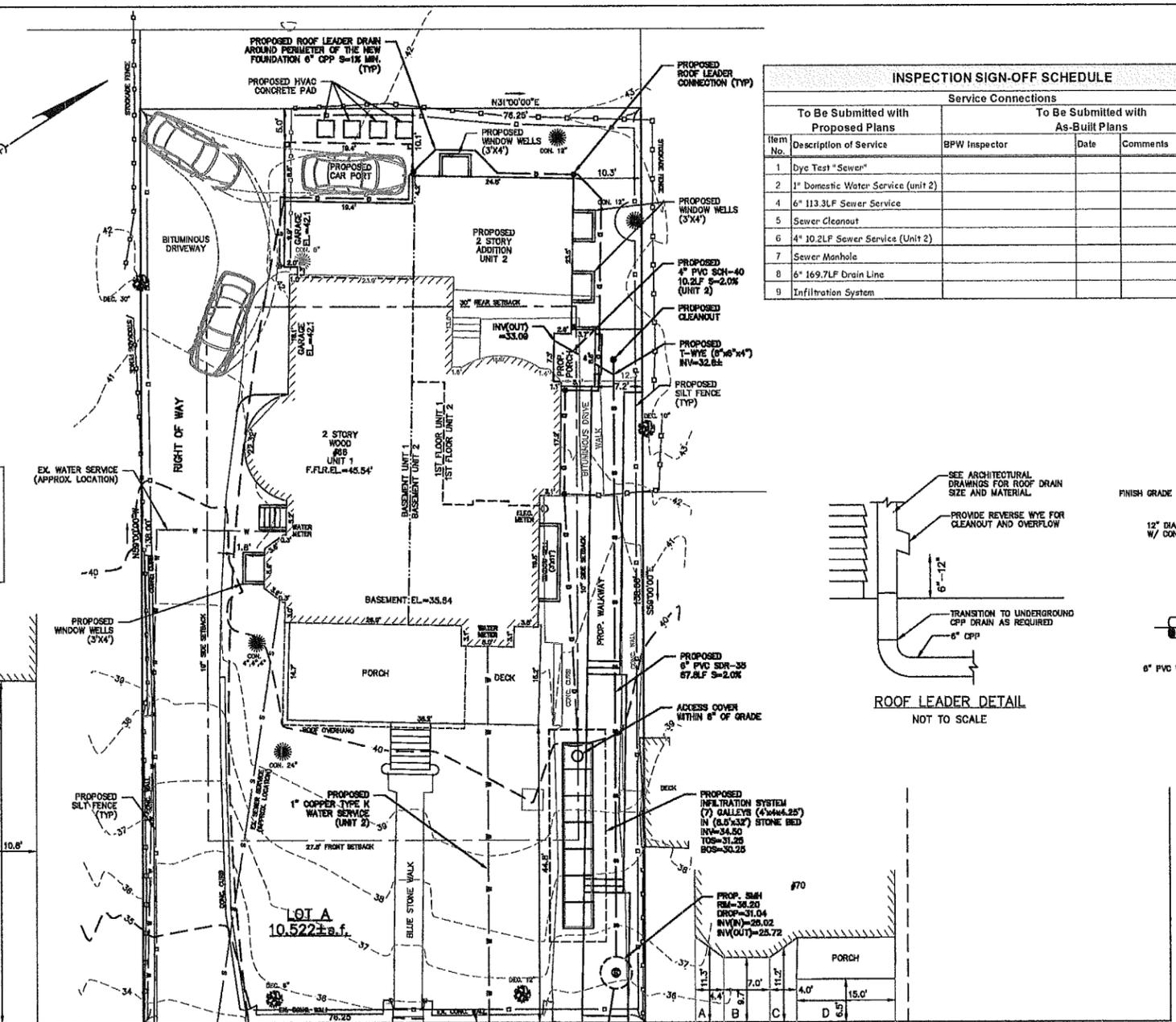
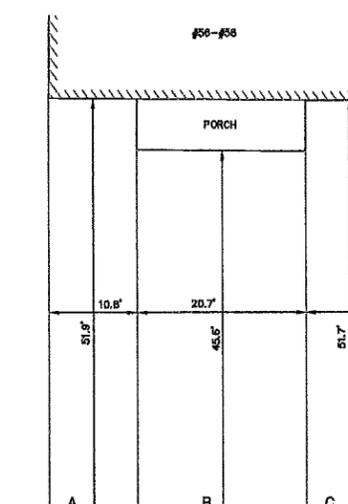
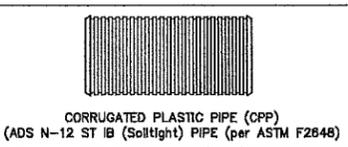
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**66 PERRY ST.  
RESIDENCES**

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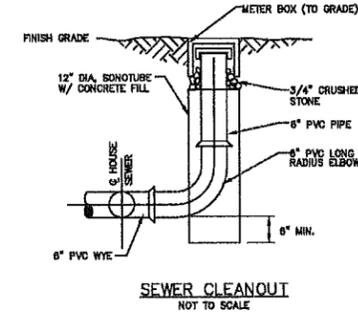
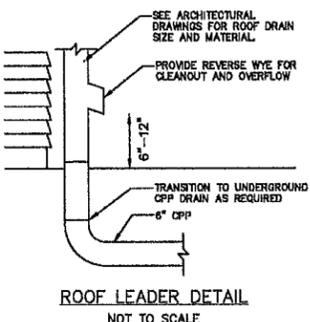
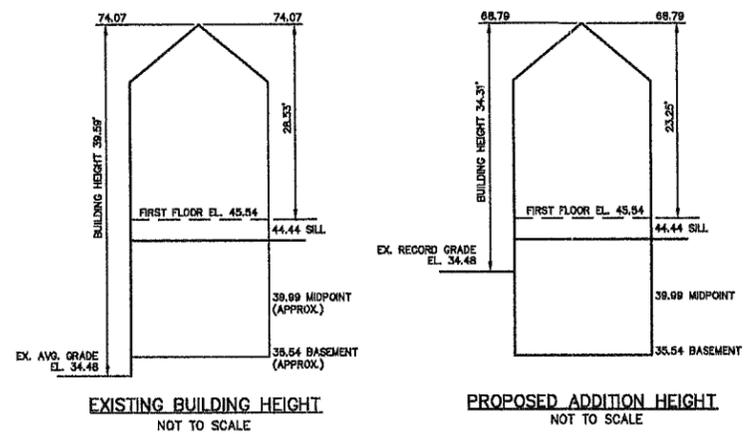
**LEGEND**

- BUILDING
- PROPERTY LINE W/ BEARING DISTANCE
- CONTOUR
- STOCKADE FENCE
- CHAINLINK FENCE
- PICKET FENCE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- GAS VALVE
- WATER VALVE
- DRAIN MANHOLE
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- LIGHT POLE
- DECIDUOUS TREE
- CONIFEROUS TREE



**INSPECTION SIGN-OFF SCHEDULE**

Item No.	Description of Service	Service Connections	
		To Be Submitted with Proposed Plans	To Be Submitted with As-Built Plans
		BPW Inspector	Date
1	Dye Test "Sewer"		
2	1" Domestic Water Service (Unit 2)		
4	6" 113.3LF Sewer Service		
5	Sewer Cleanout		
6	4" 10.2LF Sewer Service (Unit 2)		
7	Sewer Manhole		
8	6" 169.7LF Drain Line		
9	Infiltration System		



Address: #66 Perry Street

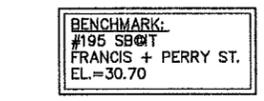
**Length Weighted Mean Average Front Alignment Calculation**

House # / Part Name	Frontage	Setback	D=BxC
#56-#58 / part-A	10.80	51.50	560.52 Sq. Ft.
#56-#58 / part-B	20.70	45.60	943.92 Sq. Ft.
#56-#58 / part-C	10.80	51.70	558.36 Sq. Ft.
#70 / part-A	4.40	11.30	49.72 Sq. Ft.
#70 / part-B	7.00	9.70	67.90 Sq. Ft.
#70 / part-C	4.00	11.20	44.80 Sq. Ft.
#70 / part-D	15.00	6.50	97.50 Sq. Ft.
#80 / part-A	3.60	19.10	68.76 Sq. Ft.
#80 / part-B	5.70	18.10	103.17 Sq. Ft.
#80 / part-C	2.60	18.90	49.14 Sq. Ft.
#80 / part-D	14.40	13.10	188.64 Sq. Ft.
#80 / part-E	1.40	20.20	28.28 Sq. Ft.
<b>Total</b>	<b>100.40</b>		<b>2760.71 Sq. Ft.</b>

Total Column B / Total Column D = Average Front Alignment  
**Average Front Alignment: 27.60'**

**ZONING CHART**  
BROOKLINE, MASSACHUSETTS

REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	5,000± s.f.	10,522± s.f.	N/C
LOT FRONTAGE	45.0'	76.25'	N/C
FRONT SETBACK	15.0' / 27.5'	44.8'	44.8'
SIDE SETBACK	10.0'	12.3'	10.3' / 7.2'
REAR SETBACK	30.0'	25.0'	10.1'
FLR. AREA RATIO	1.0'		
BUILDING HEIGHT	35.0'	39.69'	35.00'



SANITARY FLOW CALCULATION:  
4 BEDROOMS @ 110 GAL./BEDROOM = 440 X 2 = 880

**Town of Brookline**  
Location & Elevation of Domestic Water, Sanitary Sewer, Storm Drain and/or Storm Water Management - Approved

This approval is given on the condition that the "as-built" will plan (in digital AutoCAD DWG or PDF format and hard copy) and the results of a final water test of the sewer and storm lines to be provided to the engineering division prior to the sign off on the Certificate of Occupancy.

DIRECTOR - ENGINEERING/TRANSPORTATION DIVISION  
DIRECTOR - WATER & SEWER DEPARTMENT

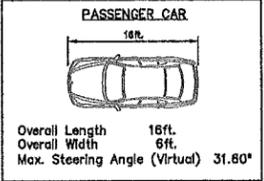
**TOPOGRAPHIC SITE PLAN**  
BROOKLINE, MASSACHUSETTS  
SHOWING PROPOSED CONDITIONS AT #66 PERRY STREET

SCALE: 1/4"=10ft. DATE: APRIL 23, 2014  
REVISED: MAY 22, 2014; OCTOBER 6, 2014;  
DECEMBER 10, 2014; DECEMBER 18, 2014;  
JANUARY 9, 2014  
PROJECT: 214128

**VTP ASSOCIATES**  
INC.

LAND SURVEYORS - CIVIL ENGINEERS, 132  
ADAMS STREET 2ND FLOOR SUITE 3  
NEWTON, MA 02458  
(617) 332-8271

- NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN. PRIOR TO ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BEFORE PROCEEDING WITH THE WORK.
  - THE LOCATION OF ALL UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASE ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC. AND GOVERNMENT AGENCIES.
  - NO PUBLIC TREE IS LOCATED ALONG THE FRONTAGE OF THE PROPERTY.
  - HIGH GROUNDWATER TO BE CONFIRMED PRIOR THE DRAINAGE SYSTEM INSTALLATION.
  - ALL THE PROPOSED DOWNSPOUT TO CONNECT INTO ONSIDE INFILTRATION SYSTEM.



**DIG SAFE**  
EXCAVATORS BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-800-DIG-SAFE. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY.

