



# *Town of Brookline*

## *Massachusetts*

### **PLANNING BOARD**

Town Hall, 3<sup>rd</sup> Floor  
333 Washington Street  
Brookline, MA 02445-6899  
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman  
Steven Heikin, Clerk  
Robert Cook  
Sergio Modigliani  
Jonathan Simpson  
Mark J. Zarrillo

To: Brookline Board of Appeals  
From: Brookline Planning Board  
Date: December 18, 2014  
Subject: Convert a structure from a three-family and one office to a four family – construct a dormer and a carport, and extend living space into the basement [**Revised plan no longer increases residential units from three to four but keeps three-family and an office, with the space reconfigured.**]

**Location: 1755 Beacon Street**

Atlas Sheet: 49

Case #: 2014-0064

Block: 225

Zoning: M-1.5

Lot: 55

Lot Area (s.f.): 3,385

Board of Appeals Hearing: January. 15, 2015 at 7:30 pm

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### **BACKGROUND**

**1946** - A permit was granted on March 18, 1946 to convert the building into three doctor's offices on the first floor with two apartments above.

**1959, Board of Appeals, Case # 940** – Special permit relief granted to convert a portion of the first floor to office use. Subsequently, the first floor dental office space expanded through the entire first floor.

**10/30/14 Planning Board Meeting** – The applicant was requested by the Planning Board to refine the plans and provide more detail for the proposal to convert to four-family use, convert the basement to living space, and construct a carport.

## **SITE AND NEIGHBORHOOD**

1751-1763 Beacon Street was constructed in 1908 as a Chateausque style structure. The building includes seven townhouses and occupies an entire block from Regent Circle to Dean Road. The applicant's townhouse specifically contains three residential units (garden level, second level, third level, and attic) and a dentist office on the first level; totaling 7,570 square feet of gross floor area with an FAR of 2.23. A rear alley provides access to a secondary entryway and parking. A rear garage was demolished after receiving approval from the Preservation Commission.

The property is located on Beacon Street between Washington Square and Cleveland Circle. Similar multi-family townhouses and apartment buildings are common in the surrounding area. The majority of the structures in the area are for residential use exclusively.

## **APPLICANT'S PROPOSAL**

The applicant, 1755 Beacon Street, LLC c/o Ivan Ramirez, is proposing to convert the first floor office to a residential use and expand the floor area in both the basement and the fourth floor. This conversion will result in the expansion of three existing residential units and the creation of one new residential unit. The conversion of currently unfurnished basement space and the construction of a rear dormer are proposed in order to accommodate this increase in usable floor area. Total usable floor area is proposed to increase by 755 square feet, with an FAR of 2.45.

The applicant is also proposing a single-story carport in the rear and a patio. The proposed carport will reduce yard-setback from 35' to 8.58' between the structure and rear alley-way.

**[Revised Proposal: The applicant has revised his plans significantly to propose one office on the front of the ground floor and 3 dwelling units – Unit 1 on the garden level and 1<sup>st</sup> floor, and the other two units spanning part of the 2<sup>nd</sup>, 3<sup>rd</sup> and 4<sup>th</sup> floors. Refuse and recycle corrals for each residential unit were added to the foot of three parking spaces located within the proposed rear carport. Garage doors, but not sides, were added to the carport to prevent vehicles from extending into the rear passageway. The bracketed deck was eliminated at the request of the abutters at 1757 Beacon Street. The carport, with deck above, will be supported by metal columns treated with architectural elements. The rear dormer has been removed due to neighborhood concern.]**

## **FINDINGS**

### **Section 5.01: Table of Dimensional Requirements, Footnote 1**

The entrance to a garage shall be at least 20' from the street lot line. The garage will be 8.58' from the lot line, and can be granted relief under **Section 5.43**.

### **Section 5.09.2.a and d: Design Review**

### **Section 5.20: Floor Area Ratio**

| <b>Floor Area</b>        | <b>Allowed</b> | <b>Existing</b> | <b>Proposed</b> | <b>Finding</b>  |
|--------------------------|----------------|-----------------|-----------------|-----------------|
| <b>Floor Area Ratio</b>  | 1.5            | 2.23            | 2.45            | <b>Variance</b> |
| <b>(% of allowed)</b>    | 100%           | 148%            | 163%            |                 |
| <b>Floor Area (s.f.)</b> | 5,077          | 7,570           | 8,325           |                 |

**Section 5.43: Exceptions to Yard and Setback Regulations****Section 5.50: Front Yard Requirements****Section 5.53: Accessory Buildings in the Front Yard****Section 5.63: Accessory Buildings of Structures in the Side Yard****Section 5.91: Minimum Landscaped Open Space****Section 5.92: Minimum Usable Open Space**

|  | Required   | Existing | Proposed         | Finding         |
|--|------------|----------|------------------|-----------------|
| <b>Carport off alley<br/>Front Setback</b>                           | 20'        | 35'      | 8.58'            | Special Permit* |
| <b>Minimum<br/>Landscaped Open<br/>Space for proposal<br/>(s.f.)</b> | 832.5 sf   | 896 sf   | 1344 sf          | Complies        |
| <b>Minimum Usable<br/>Open Space for<br/>proposal (s.f.)</b>         | 1,248.7 sf | 0 sf     | 432 s.f. on deck | <b>Variance</b> |

\*Under Section 5.43, the Board of Appeals may allow by special permit alternate dimensions for setback and yard requirements if counterbalancing amenities are provided.

**Section 8.02.2: Alteration or Extension**

Existing nonconforming conditions may not be increased unless explicitly provided for in the town Zoning By-Law. A variance is required to increase FAR nonconformity, and a special permit is required to increase front-yard setback nonconformity.

**Modification, as required, of BOA case #940 – April 30, 1959**

BOA case #940 permitted dental office use on the first floor of 1755 Beacon Street. This proposal appears not to need modification since a 4<sup>th</sup> residential dwelling is no longer being proposed.

**PLANNING BOARD COMMENTS**

The Planning Board does not object to this proposal to increase the living space into the basement, if the grounds for a variance are met. The Board, however, would recommend that a drainage plan be submitted, that sides to the garage be added through fencing or lattice work, and that no more than three bedrooms be allowed at the garden level.

**Therefore, the Planning Board recommends approval of the garage but denial of the conversion of the basement to habitable floor space. The plans by Embarc Studio, dated 12/18/14, should be revised to reflect this vote and should be subject to the following conditions.**

1. Prior to the issuance of a building permit, the applicant shall submit a certified site plan, final floor plans, and elevations, including side elevations and a section of the garage, subject to the review and approval of the Assistant Director of Regulatory Planning.

2. No above ground changes shall be made to the façade facing Beacon Street.
3. The garden level dwelling unit shall not have more than three bedrooms at that level.
4. Prior to the issuance of a building permit, the applicant shall submit a drainage plan, subject to the review and approval of the Director of Transportation and Engineering.
5. Prior to the issuance of a building permit, the applicant shall submit a final landscaping and fencing plan, indicating all counterbalancing amenities, subject to the review and approval of the Assistant Director of Regulatory Planning.
6. Prior to issuance of a building permit, the applicant shall submit to the Building Commissioner to ensure conformance to the Board of Appeals decision: 1) a final floor plan and final elevations, stamped and signed by a registered architect; 2) a final landscape and fencing plan, stamped and signed by a registered engineer or landscape architect; and 3) evidence the Board of Appeals decision has been recorded at the Registry of Deeds.

*jr/pss*

*Image 1: Aerial View*

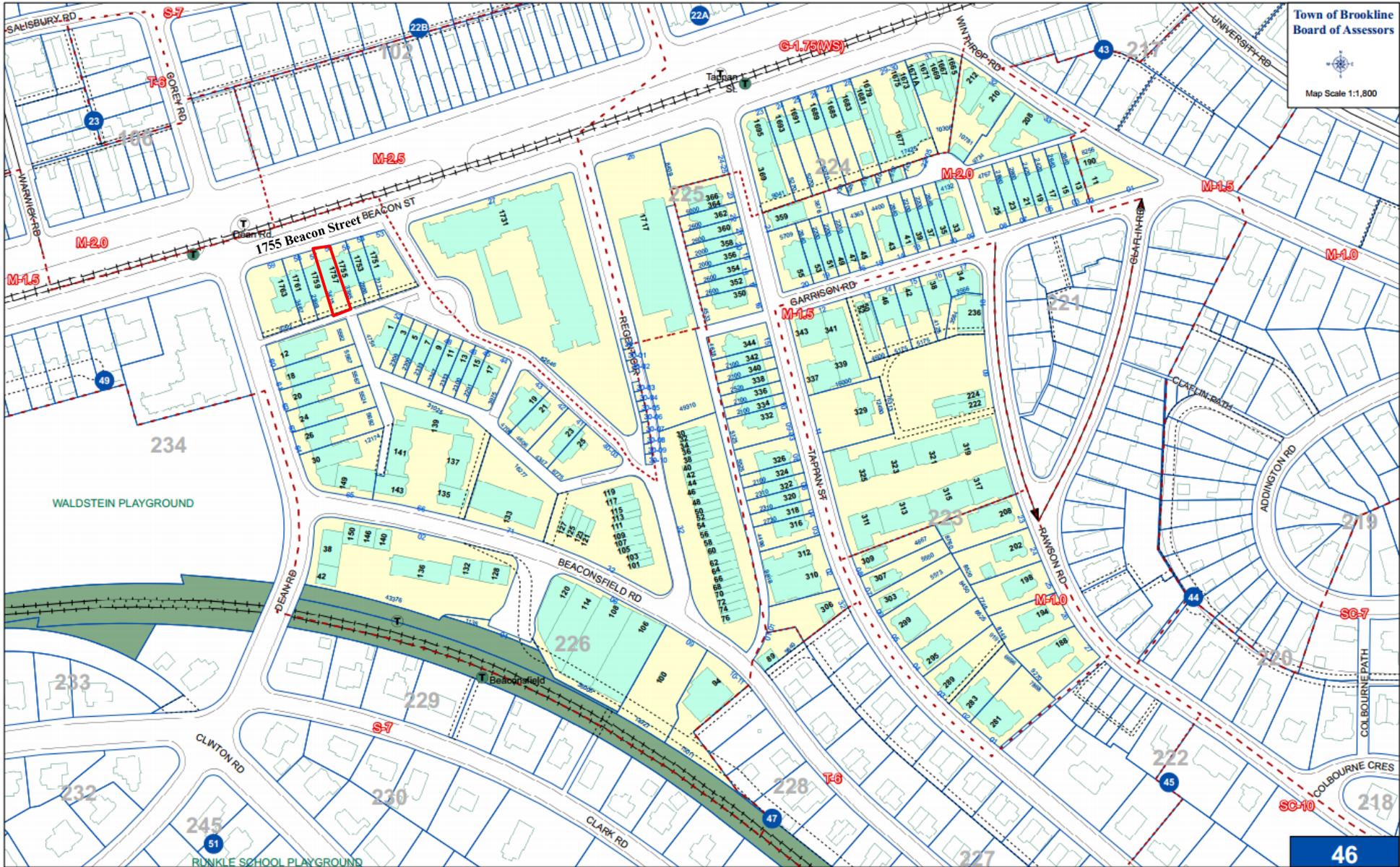


*Image 2: Rear Alleyway*



*Image 3: Front Façade (Beacon St)*





# 1755 BEACON STREET

BROOKLINE, MA 02445

DECEMBER 18, 2014  
CONSTRUCTION

ARCHITECT  
**EMBARC**  
319 A STREET, SUITE 5B  
BOSTON, MA 02210  
617.426.6800  
www.embarcstudio.com

OWNER  
OAKROVE RESIDENTIAL  
420 HARVARD STREET  
BROOKLINE, MA 02446  
617.721.3342

PROJECT TEAM  
CIVIL  
GREATER BOSTON SURVEYING AND  
ENGINEERING  
19 FREDRICK ROAD  
WEYMOUTH, MA 02189

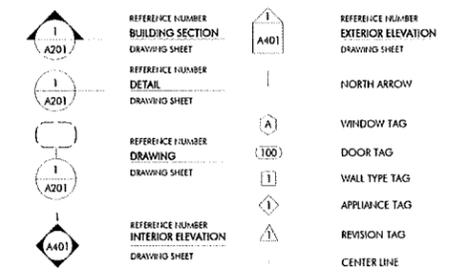
STRUCTURAL  
COWEN ASSOCIATES  
CONSULTING STRUCTURAL  
ENGINEERS  
29 VESTA ROAD  
NAUICK, MA 01760

PERMITS  
SOMERSET LIFE SAFETY  
53 ASH AVE  
SOMERVILLE, MA 02145

**ABBREVIATIONS**

|           |  |
|-----------|--|
| A.F.F.    | ABOVE FINISHED FLOOR                       |
| ACT       | ACOUSTICAL CEILING TILE                    |
| ADA       | AMERICANS WITH DISABILITIES ACT            |
| APPROX.   | APPROXIMATE                                |
| ARCH.     | ARCHITECTURAL                              |
| AV.       | AUDIO VISUAL                               |
| BLDG.     | BUILDING                                   |
| BLKG.     | BLOCKING                                   |
| B.O.      | BOTTOM OF                                  |
| CAB       | CABINET                                    |
| C.H.      | CEILING HEIGHT                             |
| CL.R.     | CLEAR                                      |
| CL        | CENTERLINE                                 |
| COL.      | COLUMN                                     |
| CONT.     | CONTINUOUS                                 |
| CMU       | CONCRETE MASONRY UNIT                      |
| C.J.      | CONTROL JOINT                              |
| DTL       | DETAIL                                     |
| DIA.      | DIAMETER                                   |
| DIM.      | DIMENSION                                  |
| DN        | DOWN                                       |
| DWG.      | DRAWING                                    |
| (E)       | EXISTING                                   |
| EL.       | ELEVATION                                  |
| ELEC.     | ELECTRICAL                                 |
| EQ        | EQUAL                                      |
| FD.       | FLOOR DRAIN                                |
| F.O.      | FACE OF                                    |
| F.O.C.    | FACE OF CONCRETE                           |
| F.O.F.    | FACE OF FINISH                             |
| F.O.S.    | FACE OF STUD                               |
| GFIC      | GROUND FAULT INTERRUPTER CIRCUIT           |
| CSAL      | GALVANIZED SHEET METAL                     |
| GWB       | GYPSUM WALL BOARD                          |
| H OR HVAC | HEATING, VENTILATING, AND AIR CONDITIONING |
| H.B.      | HOSE BIB                                   |
| HIA       | HOLLOW METAL                               |
| MAX.      | MAXIMUM                                    |
| M.O.      | MASONRY OPENING                            |
| MECH.     | MECHANICAL                                 |
| MEP       | MECHANICAL ELECTRICAL PLUMBING             |
| MIN.      | MINIMUM                                    |
| MISC.     | MISCELLANEOUS                              |
| MTL       | METAL                                      |
| N.I.C.    | NOT IN CONTRACT                            |
| NO.       | NUMBER                                     |
| N.T.S.    | NOT TO SCALE                               |
| OV        | OVER                                       |
| O.C.      | ON CENTER                                  |
| O.D.      | OUTSIDE DIAMETER                           |
| OPNG.     | OPENING                                    |
| OPP.      | OPPOSITE                                   |
| P.G.      | PAINT GRADE                                |
| PLYWD.    | PLYWOOD                                    |
| PTD.      | PAINTED                                    |
| R.D.      | ROOF DRAIN                                 |
| REQD.     | REQUIRED                                   |
| R.O.      | ROUGH OPENING                              |
| SCHED.    | SCHEDULE                                   |
| S.G.      | STAIN GRADE                                |
| SMILAR    | SIMILAR                                    |
| S.L.D.    | SEE LANDSCAPE DRAWINGS                     |
| SQ.       | SQUARE                                     |
| SPEC.     | SPECIFICATION                              |
| S.S.D.    | SEE STRUCTURAL DRAWINGS                    |
| SSTL.     | STAINLESS STEEL                            |
| STL.      | STEEL                                      |
| STOR.     | STORAGE                                    |
| STRUCT.   | STRUCTURAL                                 |
| SYM.      | SYMMETRICAL                                |
| T.        | TEMPERED                                   |
| T&G       | TONGUE AND GROOVE                          |
| THK.      | THK.                                       |
| T.O.      | TOP OF                                     |
| T.S.      | TUBULAR STEEL                              |
| TYP.      | TYPICAL                                    |
| U.O.N     | UNLESS OTHERWISE NOTED                     |
| V.I.F.    | VERIFY IN FIELD                            |
| W/        | WITH                                       |
| W/O       | WITHOUT                                    |
| WD.       | WOOD                                       |
| WPM.      | WATERPROOFING MEMBRANE                     |

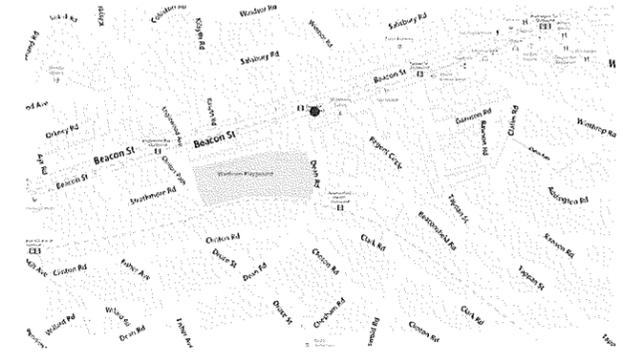
**SYMBOLS**



**GENERAL REQUIREMENTS**

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
  - CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
  - ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
  - CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
  - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
  - CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
  - CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
  - ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
  - IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
  - WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
  - ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
  - THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
  - ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
  - PROVIDE WEATHERSTRIPPING AT ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHERSTRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF NEW DOORS ARE TO BE WEATHERSTRIPPED INCLUDING THE THRESHOLD.
  - CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR TO A THICKNESS OF 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
  - ALL WALL FRAMING SHALL BE 2-4 AT 16" ON CENTER UNLESS OTHERWISE NOTED.
  - EXTERIOR ENVELOPE TO COMPLY WITH ALL STRETCH CODE REQUIREMENTS
- DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE (IBC) 2009, THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012, AND THE MASSACHUSETTS BUILDING CODE 2009 AMENDMENTS. CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE SECTIONS.

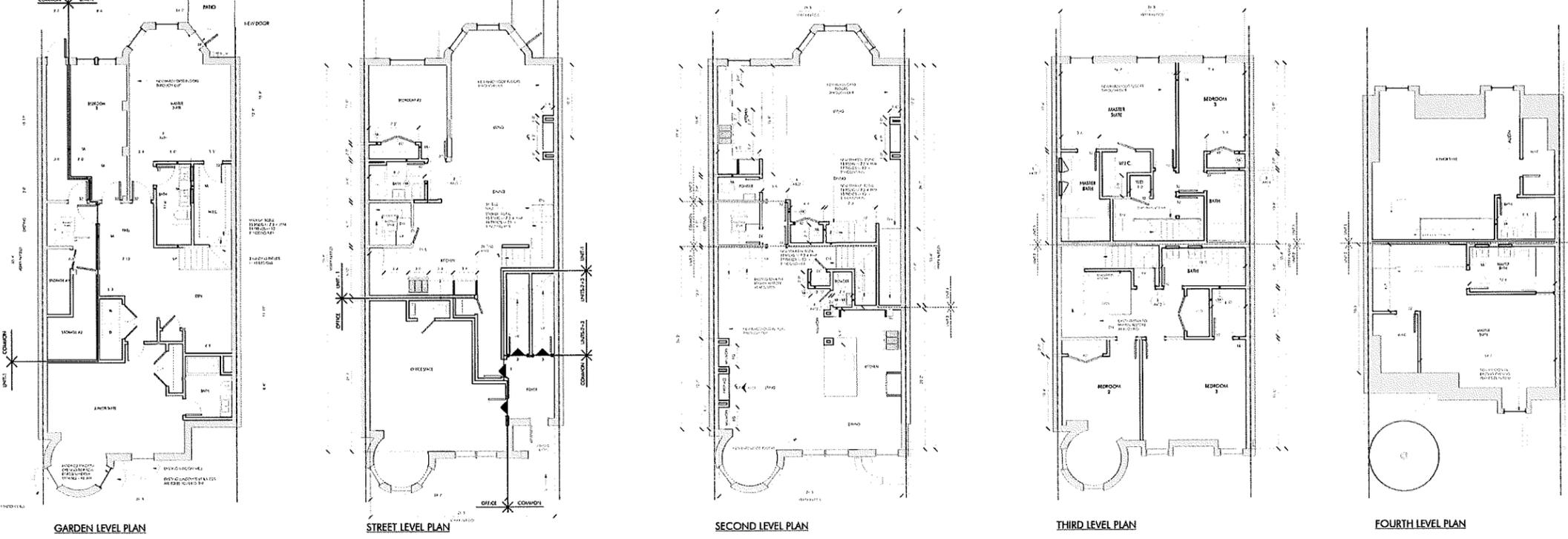
**VICINITY MAP**



**SHEET INDEX**

|      |                     |
|------|---------------------|
| A000 | COVER               |
| D101 | DEMOLITION PLANS    |
| D102 | DEMOLITION PLANS    |
| A101 | PROPOSED PLANS      |
| A102 | PROPOSED PLANS      |
| A103 | PROPOSED PLANS      |
| A201 | BUILDING ELEVATIONS |
| A202 | BUILDING ELEVATIONS |

**EGRESS PLANS**



1755 BEACON STREET  
BROOKLINE, MA 02445  
CONSTRUCTION  
DECEMBER 18, 2014

**REVISIONS**

**DRAWING INFORMATION**

ISSUE:  
PROJECT # 1343  
DRAWN BY: TEAN  
SCALE: As Indicated

**DRAWING TITLE**

COVER

**DRAWING NUMBER**

**A000**

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**DEMOLITION PLAN LEGEND**  
 ——— EXISTING WALL TO REMAIN  
 - - - - - DEMOLISHED BUILDING ELEMENT  
 [Hatched Box] AREA NOT IN CONTRACT

- GENERAL DEMOLITION NOTES**
1. ALL DEMOLITION WORK IS TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT REMAINING ELEMENTS. REMAINING ELEMENTS ARE TO BE PROTECTED AS REQUIRED.
  2. ALL EXISTING EXTERIOR WALLS ARE TO REMAIN UNLESS OTHERWISE NOTED.
  3. ALL EXISTING DOORS AND WINDOWS ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
  4. ALL FLOORING NOTED AS DEMOLISHED REFERS TO FINISH SURFACE ONLY; REPAIR AND REPLACE SUB-FLOORING AS REQUIRED.
  5. ALL DOORS NOTED AS DEMOLISHED INCLUDE THE REMOVAL OF THE DOOR, HARDWARE, AND FRAME UNLESS OTHERWISE NOTED.
  6. REMOVE ALL REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
  7. ALL ELECTRICAL OUTLETS, SWITCHES, AND DEVICES ARE TO BE REMOVED.
  8. CONTRACTOR IS TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

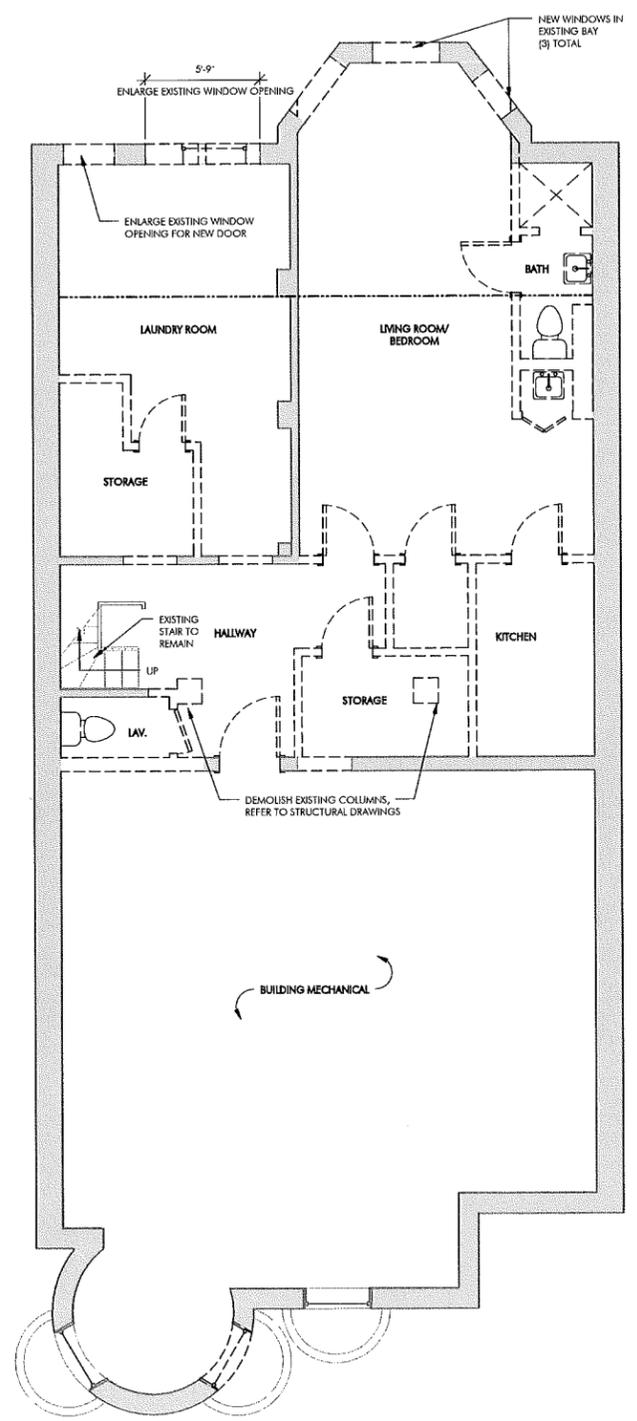
**ARCHITECT**  
**EMBARC**  
 ARCHITECTURAL DESIGN  
 319 A STREET, SUITE 5B  
 BOSTON, MA 02210  
 617.426.6800  
 www.embarcstudio.com

**OWNER**  
 OAKGROVE RESIDENTIAL  
 420 HARVARD STREET  
 BROOKLINE, MA 02446  
 617.721.3342

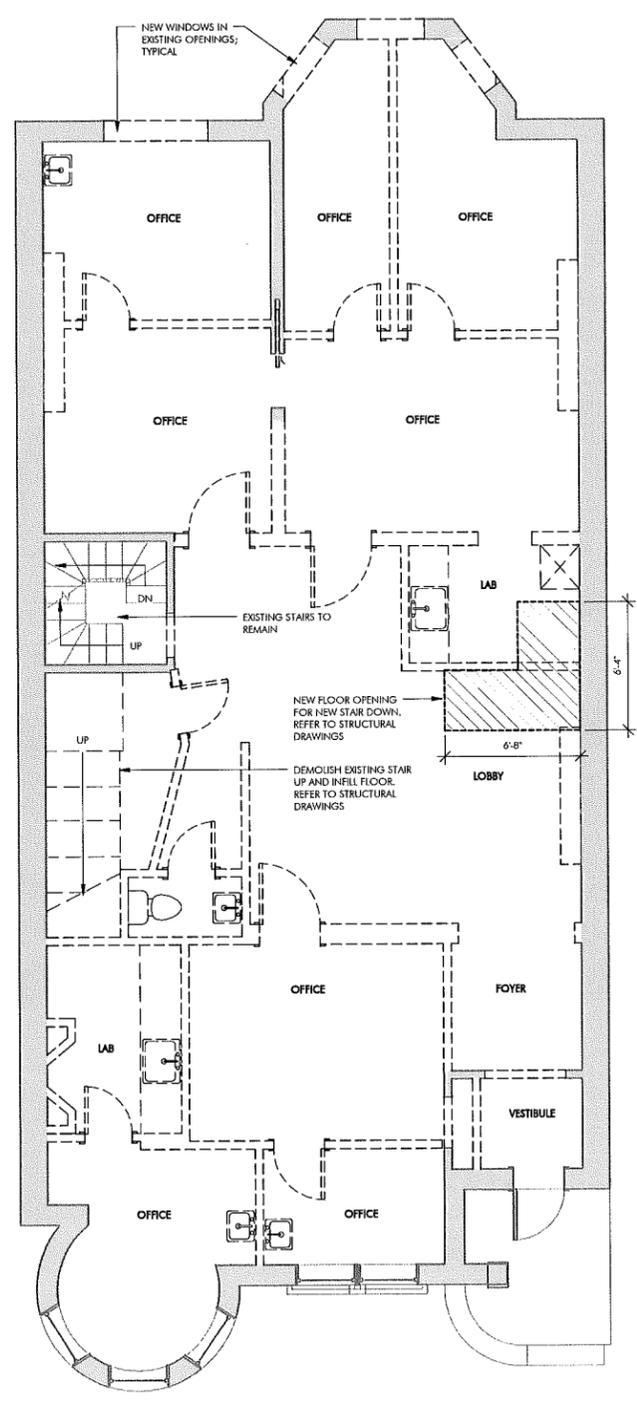
**PROJECT TEAM**  
**CIVIL**  
 GREATER BOSTON SURVEYING  
 AND ENGINEERING  
 19 FREDJH ROAD  
 WEYMOUTH, MA 02189

**STRUCTURAL**  
 COWEN ASSOCIATES  
 29 VESTA ROAD  
 NATICK, MA 01740

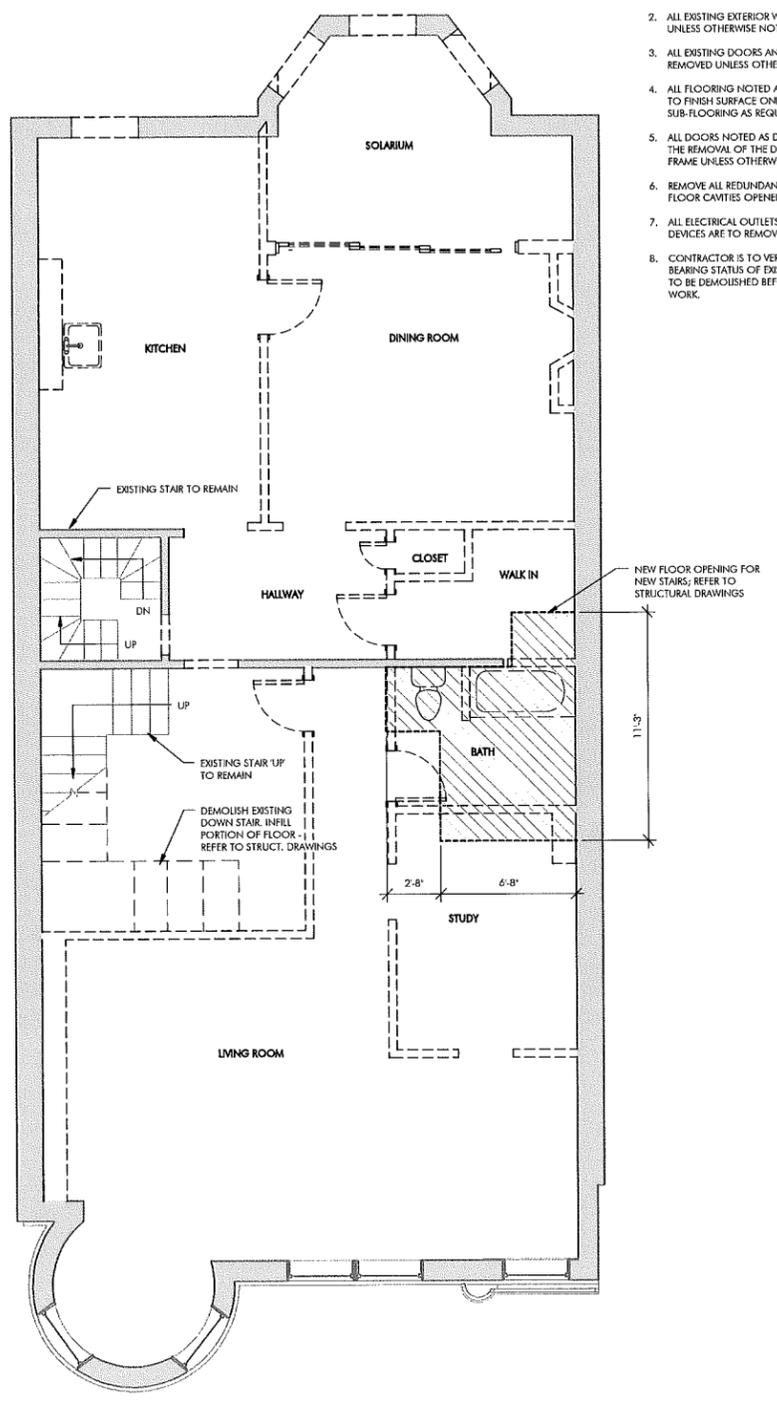
**FIRE PROTECTION**  
 PROMETHEUS LIFE SAFETY  
 53 ASH AVE  
 SOMERVILLE, MA 02145



1 BASEMENT LEVEL - EXISTING + DEMO  
 1/4" = 1'-0"



2 FIRST LEVEL (STREET) - EXISTING + DEMO  
 1/4" = 1'-0"



3 SECOND LEVEL - EXISTING + DEMO  
 1/4" = 1'-0"

1755 BEACON STREET  
 BROOKLINE, MA 02445  
**CONSTRUCTION**  
 DECEMBER 18, 2014

**REVISIONS**

| NO. | DESCRIPTION |
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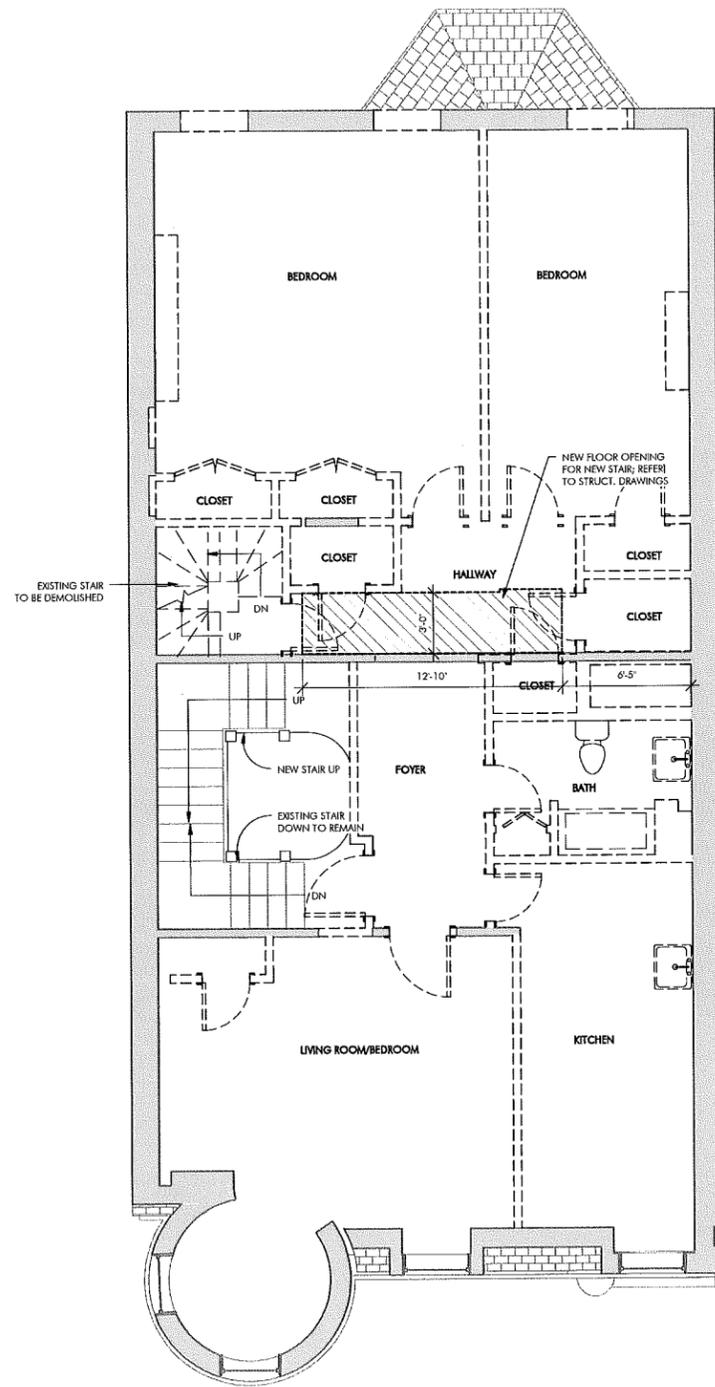
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**DRAWING TITLE**  
 DEMOLITION  
 PLANS

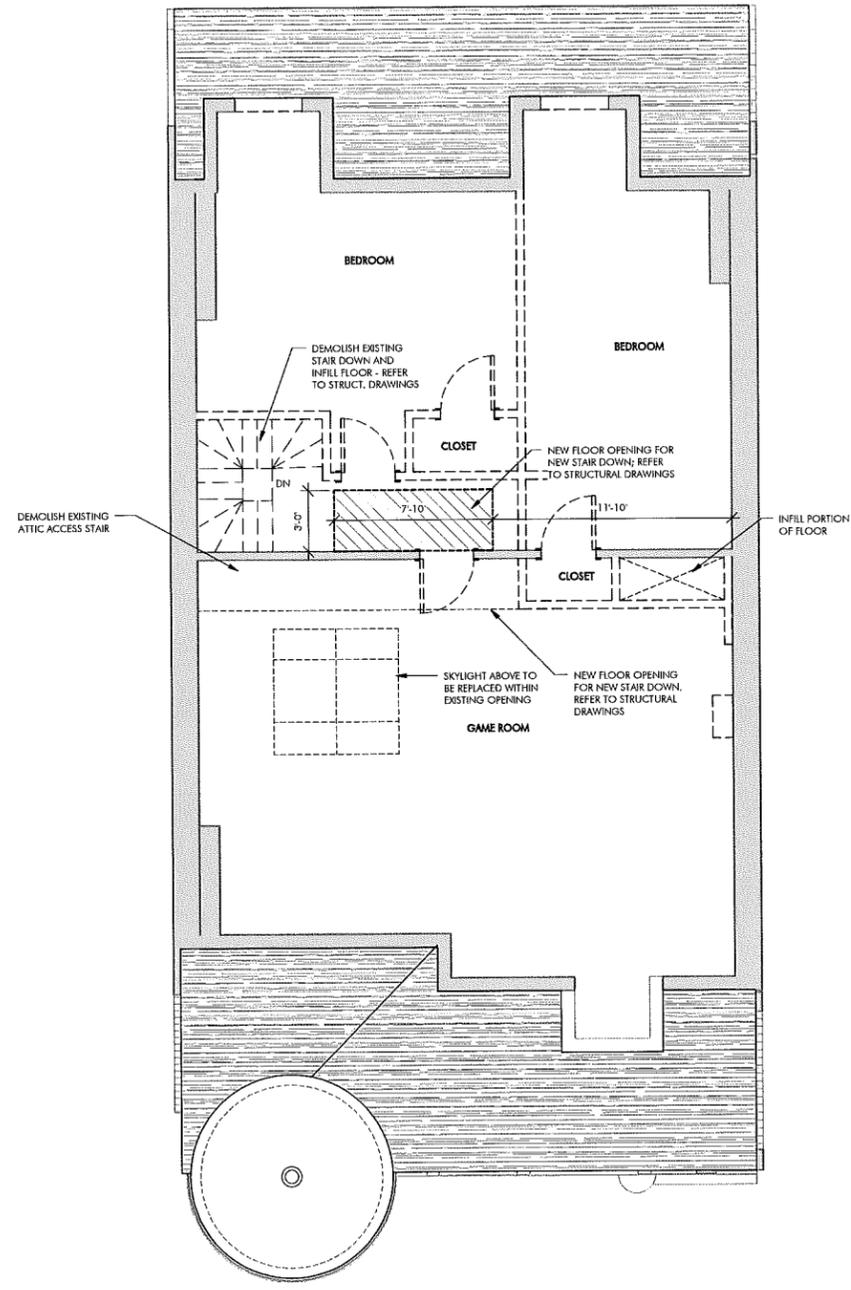
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1 THIRD LEVEL - EXISTING + DEMO  
 1/4" = 1'-0"



2 FOURTH LEVEL - EXISTING + DEMO  
 1/4" = 1'-0"

**DEMOLITION PLAN LEGEND**

- EXISTING WALL TO REMAIN
- DEMOLISHED BUILDING ELEMENT
- AREA NOT IN CONTRACT

**GENERAL DEMOLITION NOTES**

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3. ALL EXISTING DOORS AND WINDOWS ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
4. ALL FLOORING NOTED AS DEMOLISHED REFERS TO FINISH SURFACE ONLY; REPAIR AND REPLACE SUB-FLOORING AS REQUIRED.
5. ALL DOORS NOTED AS DEMOLISHED INCLUDE THE REMOVAL OF THE DOOR, HARDWARE, AND FRAME UNLESS OTHERWISE NOTED.
6. REMOVE ALL REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
7. ALL ELECTRICAL OUTLETS, SWITCHES, AND DEVICES ARE TO BE REMOVED.
8. CONTRACTOR IS TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

**ARCHITECT**  
**EMBARC**  
 319 A STREET, SUITE 5B  
 BOSTON, MA 02210  
 617.426.6800  
 www.embarcstudio.com

**OWNER**  
 OAKGROVE RESIDENTIAL  
 420 HARVARD STREET  
 BROOKLINE, MA 02446  
 617.721.3342

**PROJECT TEAM**  
**CIVIL**  
 GREATER BOSTON SURVEYING  
 AND ENGINEERING  
 19 FREDRICK ROAD  
 WEYMOUTH, MA 02189

**STRUCTURAL**  
 COWEN ASSOCIATES  
 29 VESTA ROAD  
 HATICK, MA 01760

**FIRE PROTECTION**  
 PROMETHEUS LIFE SAFETY  
 53 ASH AVE  
 SOMERVILLE, MA 02145

1755 BEACON STREET  
 BROOKLINE, MA 02445  
**CONSTRUCTION**  
 DECEMBER 18, 2014

| REVISIONS |  |
|-----------|--|
|           |  |
|           |  |
|           |  |

| DRAWING INFORMATION |              |
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| PROJECT #           | 1243         |
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| SCALE:              | 1/4" = 1'-0" |

**DRAWING TITLE**  
 DEMOLITION  
 PLANS

**DRAWING NUMBER**  
**D102**

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REVISIONS

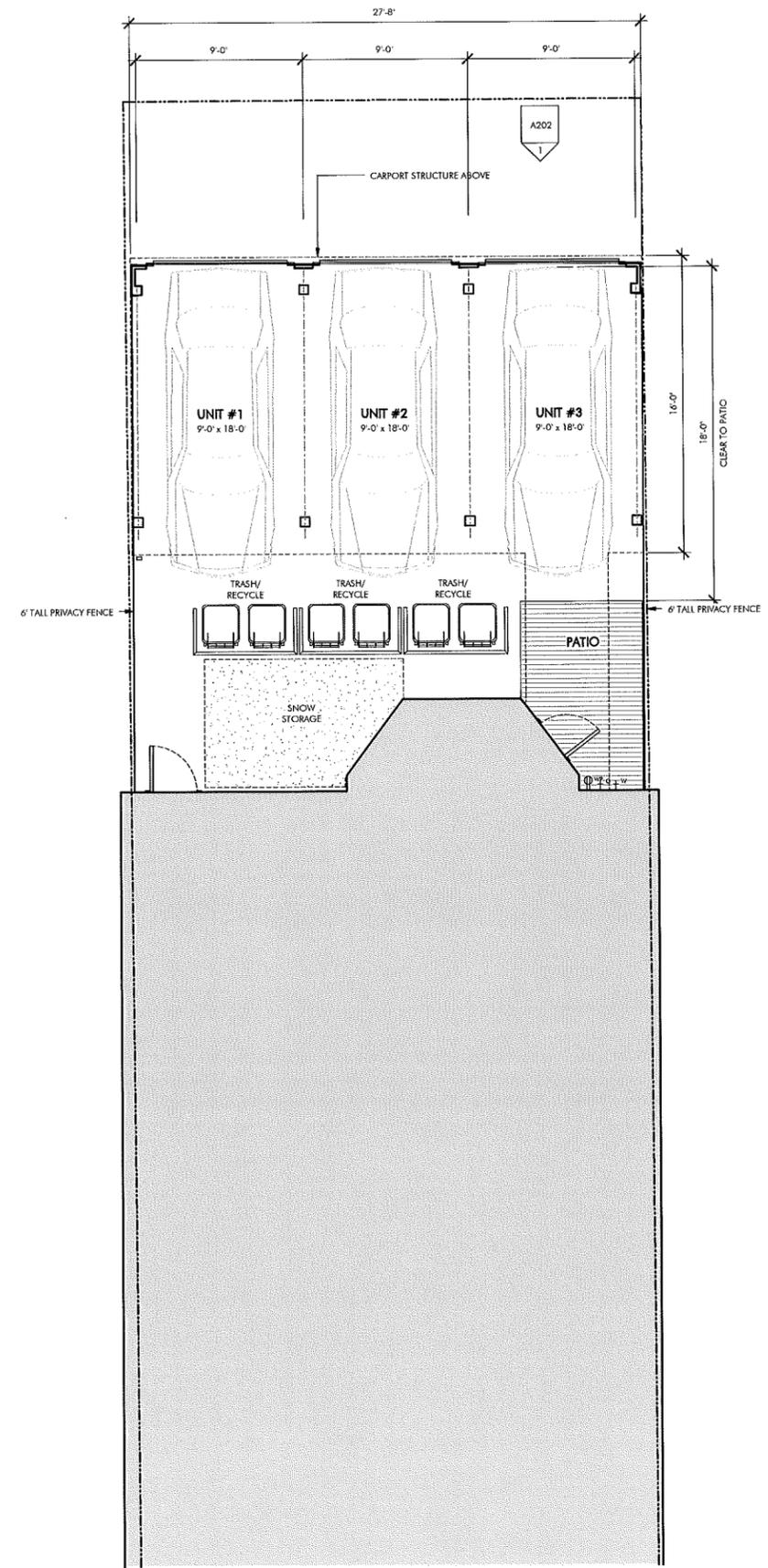
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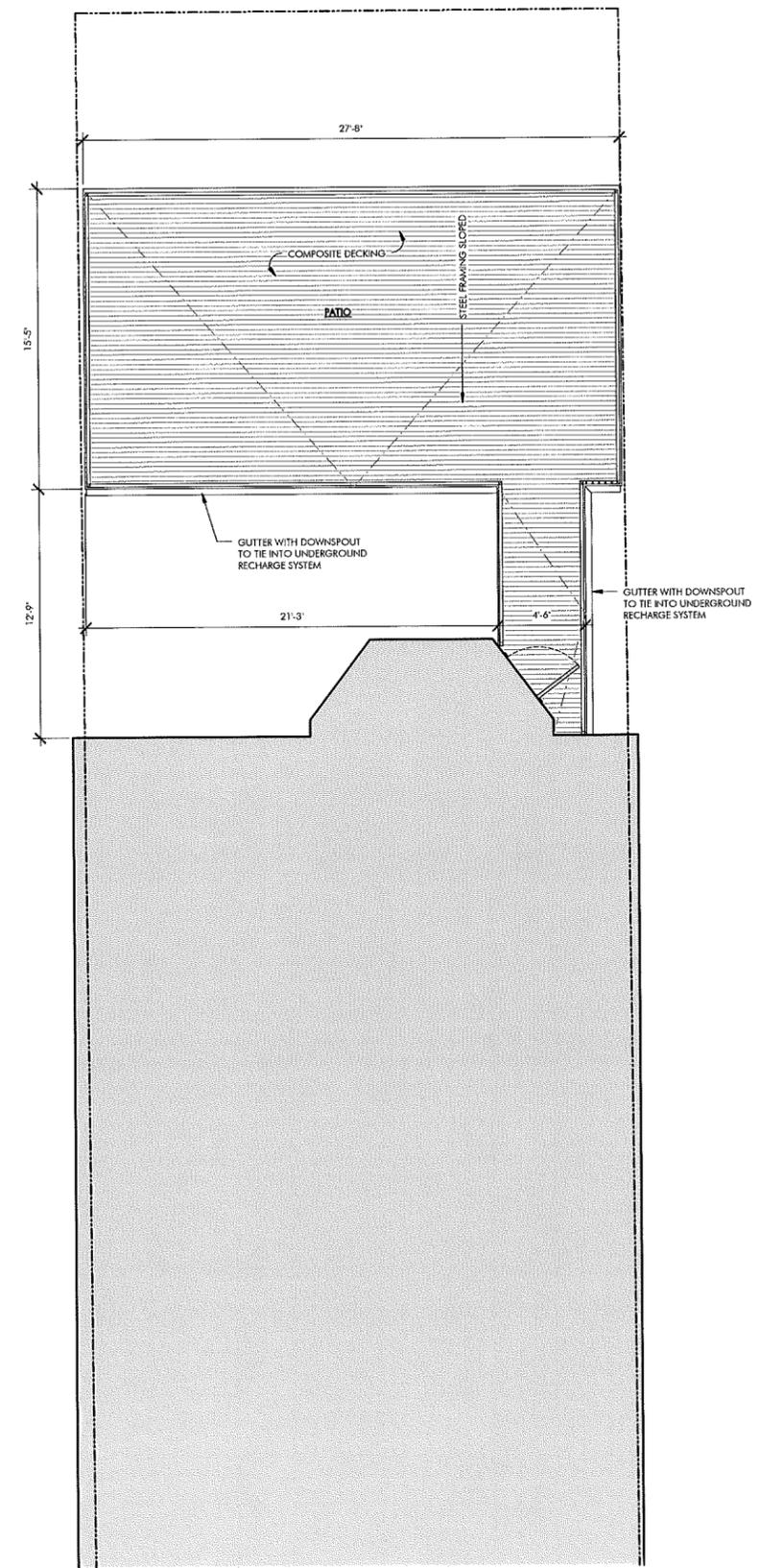
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| PROJECT # | 1343         |
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DRAWING TITLE  
**SITE PLAN**

DRAWING NUMBER  
**A010**

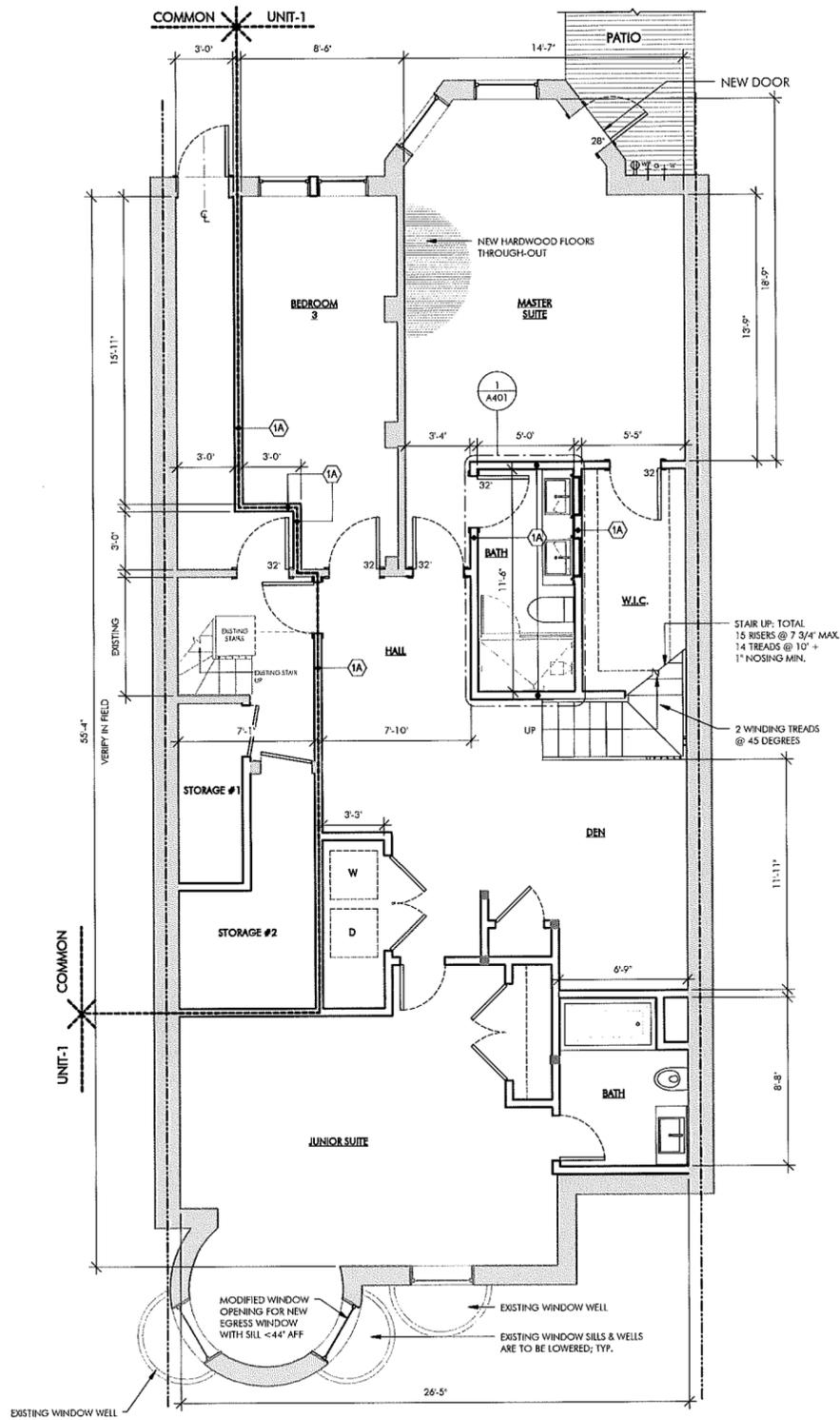


1 **PARKING PLAN - GARDEN LEVEL**  
 1/4" = 1'-0"

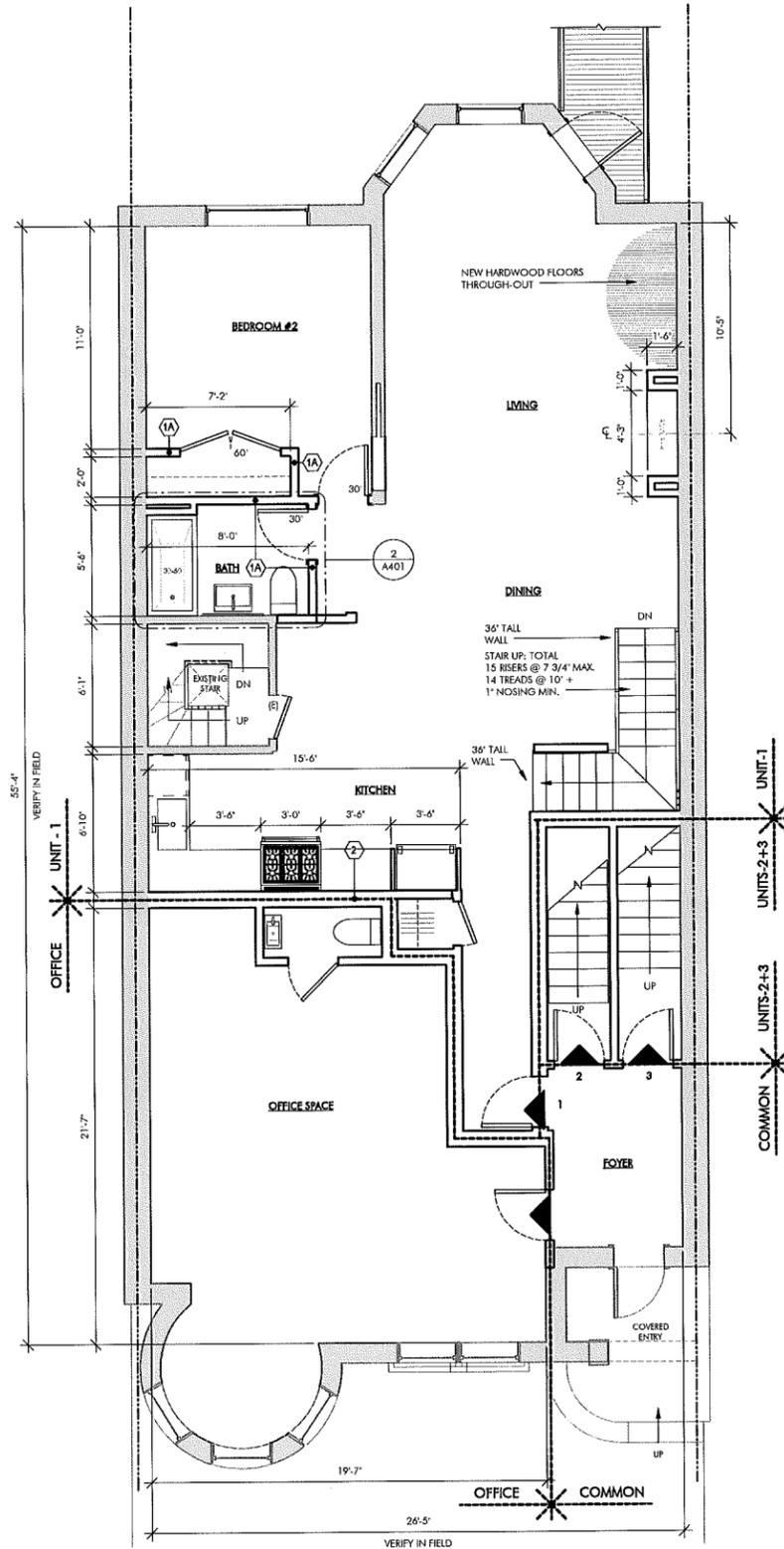


2 **PATIO PLAN - FIRST FLOOR**  
 1/4" = 1'-0"

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 changes.rvt  
 12/22/2014 4:56:04 PM RN



1 GARDEN LEVEL (BASEMENT)  
 1/4" = 1'-0"



2 FIRST LEVEL (STREET)  
 1/4" = 1'-0"

GENERAL NOTES

- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF THE DRAWINGS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
- ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
- PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS; FOR LOCATIONS, SEE FLOOR PLANS AND REFLECTED CEILING PLANS.
- ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
- ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2009 INTERNATIONAL BUILDING CODE

PLAN NOTES

- ALL DIMENSIONS ARE MEASURED FROM FACE OF EXISTING BRICK TO FINISH FACE OF G.W.B. OR FROM FINISH FACE OF G.W.B. TO FINISH FACE OF G.W.B.
- ALL DOORS ARE 32" x 84" TALL UNLESS OTHERWISE NOTED.

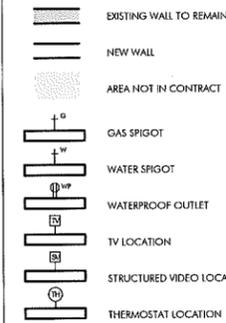
MECHANICAL | SECURITY NOTES

- PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS; FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
- PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL IN DUPLEX UNITS)
- HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
- HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAWEN MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
- HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

ELECTRICAL NOTES

- ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE PROVIDED.
- ALL NEW ELECTRICAL ITEMS ARE TO BE U.L. RATED.
- ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 6" STUD DIMENSION.
- ALL DISTRIBUTION PANELS ARE TO BE NEW.
- LIVING AREAS, DINING AREAS, AND ALL BEDROOM ARE TO RECEIVE 3-WIRE JUNCTION BOXES.
- PROVIDE INTERCOM AND REMOTE ENTRY DOOR ACCESS BY HOUSING DEVICES, INC. OR APPROVED EQUAL.
- PROVIDE ELECTRIC HEAT MATS BY NUHEAT OR EQUAL AT ALL BATHROOMS.
- ALL CLOSET LIGHTING IS TO BE FLUORESCENT OR HIGH EFFICIENCY LIGHTING.
- OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT INTERCEPTORS.
- ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
- ALL DIMENSIONS FOR THE FOLLOWING ITEMS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED:  
 A. MOUNT ALL OUTLETS, PHONE JACKS, AND TELEVISION CABLE JACKS VERTICALLY AT 18" TO CENTERLINE ABOVE THE FINISH FLOOR UNLESS OTHERWISE NOTED. WHERE BASE AND TRIM IS LARGER THAN 9-1/2" TALL PROVIDE 6" CLEARANCE FROM BOTTOM OF PLATE TO TOP OF BASEBOARD TRIM.  
 B. MOUNT ALL SWITCHES AT 42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.  
 C. VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE POSSIBLE.

FLOOR PLAN LEGEND



DRAWING NOTES

- ALL DIMENSIONING TO EXISTING WALLS / PART-WALLS ARE MEASURED TO FACE OF EXISTING PLASTER. CONTRACTOR TO VERIFY ALL EXISTING WALLS IN THE FIELD, TYPICAL.
- CONTRACTOR TO REPORT ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT AND OWNER'S REP., POST DEMOLITION.
- CONTRACTOR TO VERIFY ALL FLOOR TO FLOOR HEIGHTS, POST DEMOLITION, AND REPORT ANY DIMENSIONAL DISCREPANCIES TO ARCHITECT AND OWNER'S REP.

ARCHITECT  
**EMBARC**  
 319 A STREET, SUITE 5B  
 BOSTON, MA 02210  
 617.426.6800  
 www.embarcstudio.com

OWNER  
**OAKGROVE RESIDENTIAL**  
 420 HARVARD STREET  
 BROOKLINE, MA 02446  
 617.721.3342

PROJECT TEAM  
**CIVIL**  
 GREATER BOSTON SURVEYING  
 AND ENGINEERING  
 19 FRENCH ROAD  
 WEYMOUTH, MA 02189

STRUCTURAL  
**COWEN ASSOCIATES**  
 29 VESTIA ROAD  
 NATICK, MA 01760

FIRE PROTECTION  
**PROMETHEUS LIFE SAFETY**  
 53 ASH AVE  
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AMENDMENT  
 AUGUST 21, 2014

REVISIONS

| NO. | DESCRIPTION |
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DRAWING INFORMATION

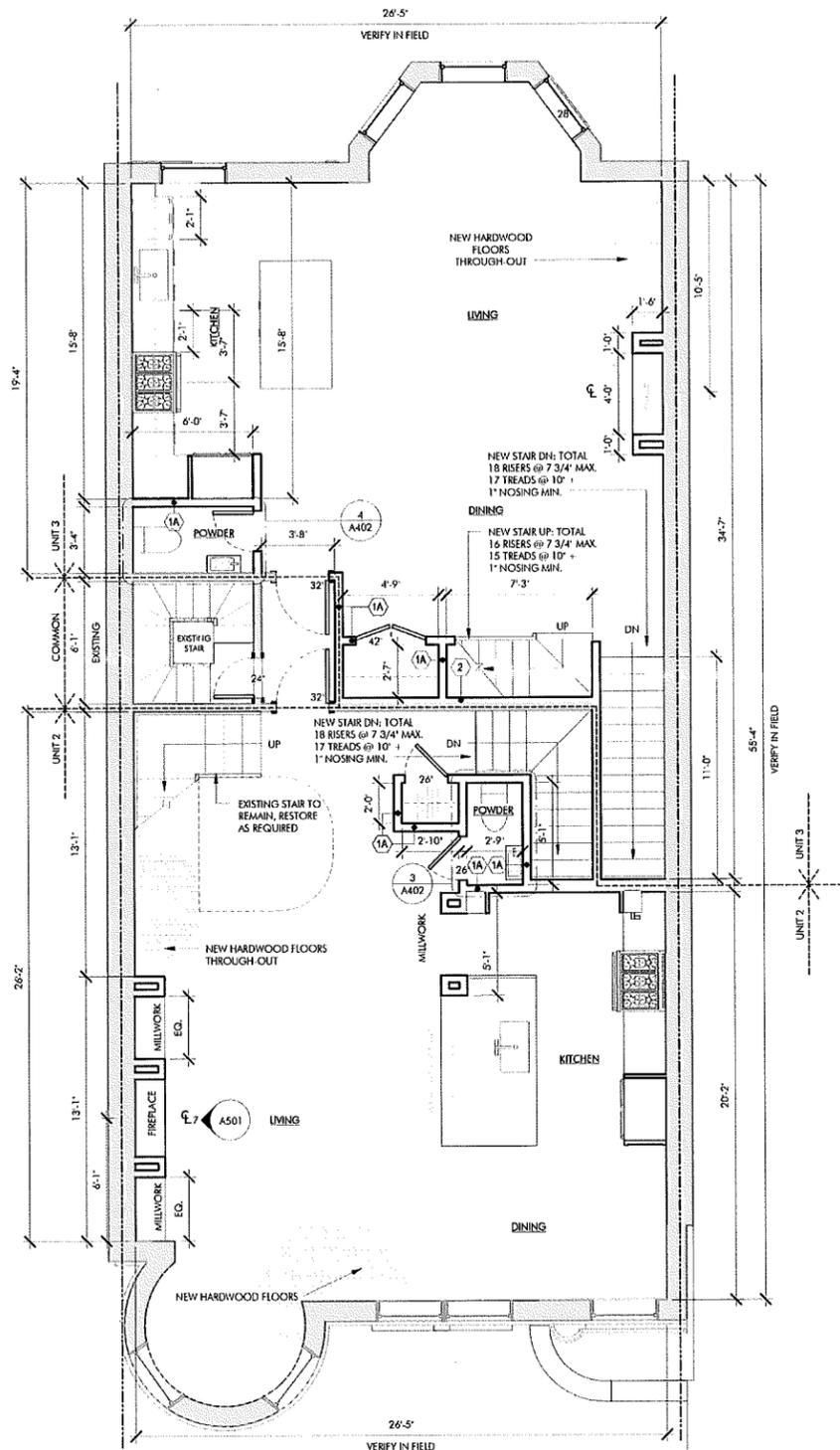
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 DRAWN BY: MD / RN / DP / CP  
 SCALE: 1/4" = 1'-0"

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 PROPOSED PLANS

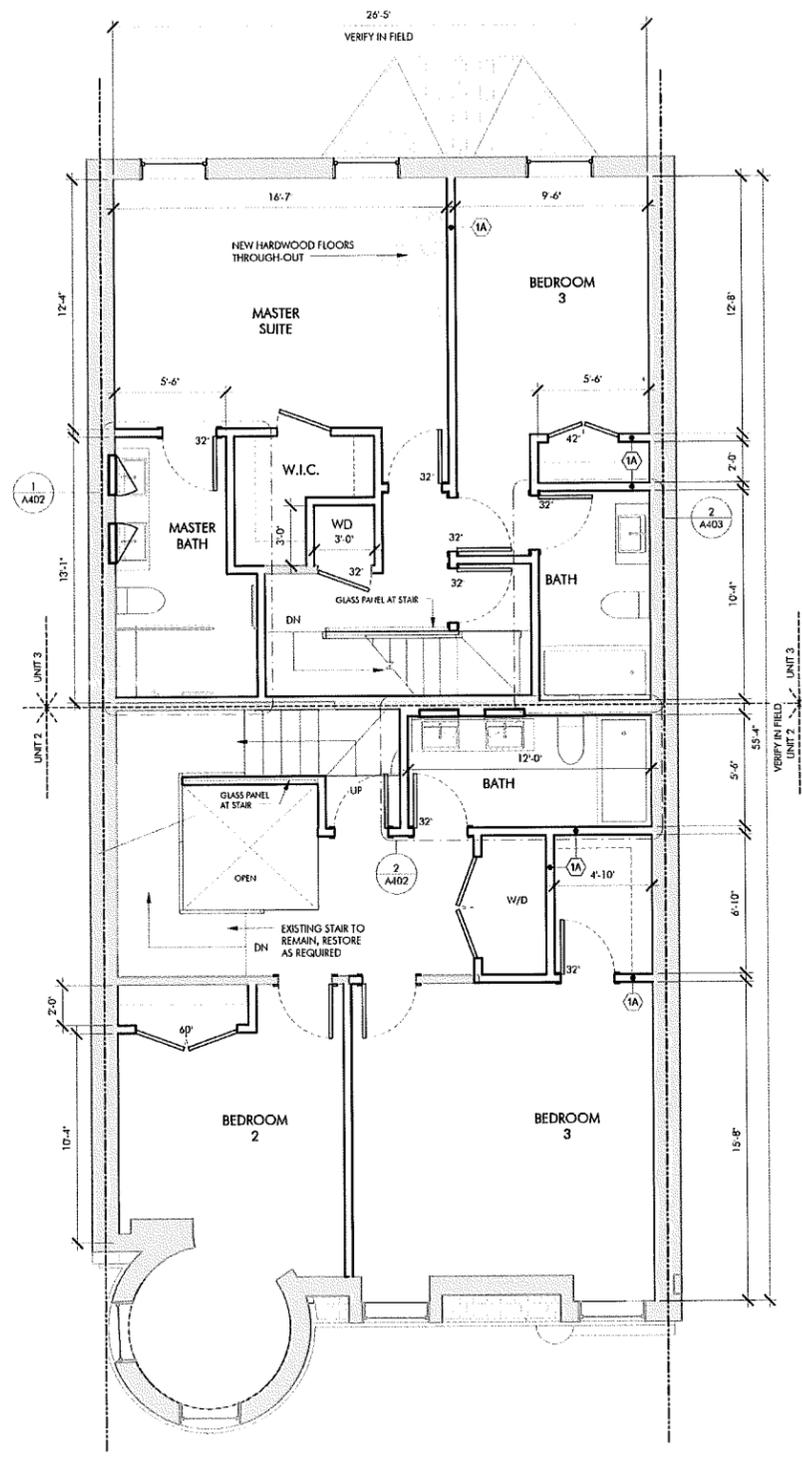
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**A101**

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 12/7/2014 3:41:48 PM MD / RN / DP / CP



**1 SECOND LEVEL**  
 1/4" = 1'-0"



**2 THIRD LEVEL**  
 1/4" = 1'-0"

**GENERAL NOTES**

1. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
2. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF THE DRAWINGS.
3. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
4. ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
5. ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
6. PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS; FOR LOCATIONS, SEE FLOOR PLANS AND REFLECTED CEILING PLANS.
7. ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
8. ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2009 INTERNATIONAL BUILDING CODE.

**PLAN NOTES**

1. ALL DIMENSIONS ARE MEASURED FROM FACE OF EXISTING BRICK TO FINISH FACE OF G.W.B. OR FROM FINISH FACE OF G.W.B. TO FINISH FACE OF G.W.B.
2. ALL DOORS ARE 32" x 84" TALL UNLESS OTHERWISE NOTED.

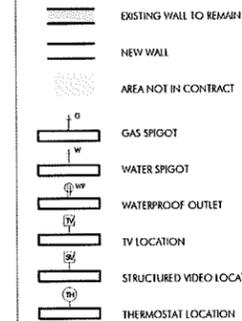
**MECHANICAL | SECURITY NOTES**

1. PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS; FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
2. PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL IN DUPLEX UNITS)
3. HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
4. HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVEN MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
5. HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

**ELECTRICAL NOTES**

1. ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE PROVIDED.
2. ALL NEW ELECTRICAL ITEMS ARE TO BE UL RATED.
3. ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 6" STUD DIMENSION.
4. ALL DISTRIBUTION PANELS ARE TO BE NEW.
5. LIVING AREAS, DINING AREAS, AND ALL BEDROOM ARE TO RECEIVE 3-WIRE JUNCTION BOXES.
6. PROVIDE INTERCOM AND REMOTE ENTRY DOOR ACCESS BY HOUSING DEVICES, INC. OR APPROVED EQUAL.
7. PROVIDE ELECTRIC HEAT MATS BY NUHEAT OR EQUAL AT ALL BATHROOMS.
8. ALL CLOSET LIGHTING IS TO BE FLUORESCENT OR HIGH EFFICIENCY LIGHTING.
9. OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT INTERCEPTORS.
10. ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
11. ALL DIMENSIONS FOR THE FOLLOWING ITEMS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED:
  - A. MOUNT ALL OUTLETS, PHONE JACKS, AND TELEVISION CABLE JACKS VERTICALLY AT 18" TO CENTERLINE ABOVE THE FINISH FLOOR UNLESS OTHERWISE NOTED. WHERE BASE AND TRIM IS LARGER THAN 9-1/2" TALL PROVIDE 6" CLEARANCE FROM BOTTOM OF PLATE TO TOP OF BASEBOARD TRIM.
  - B. MOUNT ALL SWITCHES AT 42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
  - C. VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE POSSIBLE.

**FLOOR PLAN LEGEND**



**DRAWINGS NOTES**

1. ALL DIMENSIONING TO EXISTING WALLS / PART-WALLS ARE MEASURED TO FACE OF EXISTING PLASTER. CONTRACTOR TO VERIFY ALL EXISTING WALLS IN THE FIELD. TYPICAL.
2. CONTRACTOR TO REPORT ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT AND OWNER'S REP., POST DEMOLITION.
3. CONTRACTOR TO VERIFY ALL FLOOR TO FLOOR HEIGHTS, POST DEMOLITION, AND REPORT ANY DIMENSIONAL DISCREPANCIES TO ARCHITECT AND OWNER'S REP.

**ARCHITECT**  
**EMBARC**  
 319 A STREET, SUITE 5B  
 BOSTON, MA 02210  
 617.426.6800  
 www.embarcstudio.com

**OWNER**  
 OAKROVE RESIDENTIAL  
 420 HAVYARD STREET  
 BROOKLINE, MA 02446  
 617.721.3342

**PROJECT TEAM**  
**CIVIL**  
 GREATER BOSTON SURVEYING  
 AND ENGINEERING  
 19 FREDITH ROAD  
 WEYMOUTH, MA 02189

**STRUCTURAL**  
 COWEN ASSOCIATES  
 29 VESTA ROAD  
 NATICK, MA 01740

**FIRE PROTECTION**  
 PROMETHEUS LIFE SAFETY  
 53 ASH AVE  
 SOMERVILLE, MA 02145

**1755 BEACON STREET**  
 BROOKLINE, MA 02445  
**CONSTRUCTION**  
 DECEMBER 18, 2014

**REVISIONS**

| NO. | DATE | DESCRIPTION |
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**DRAWING INFORMATION**

ISSUE: CONSTRUCTION  
 PROJECT # 1343  
 DRAWN BY: MD / RN / DP / CP  
 SCALE: 1/4" = 1'-0"

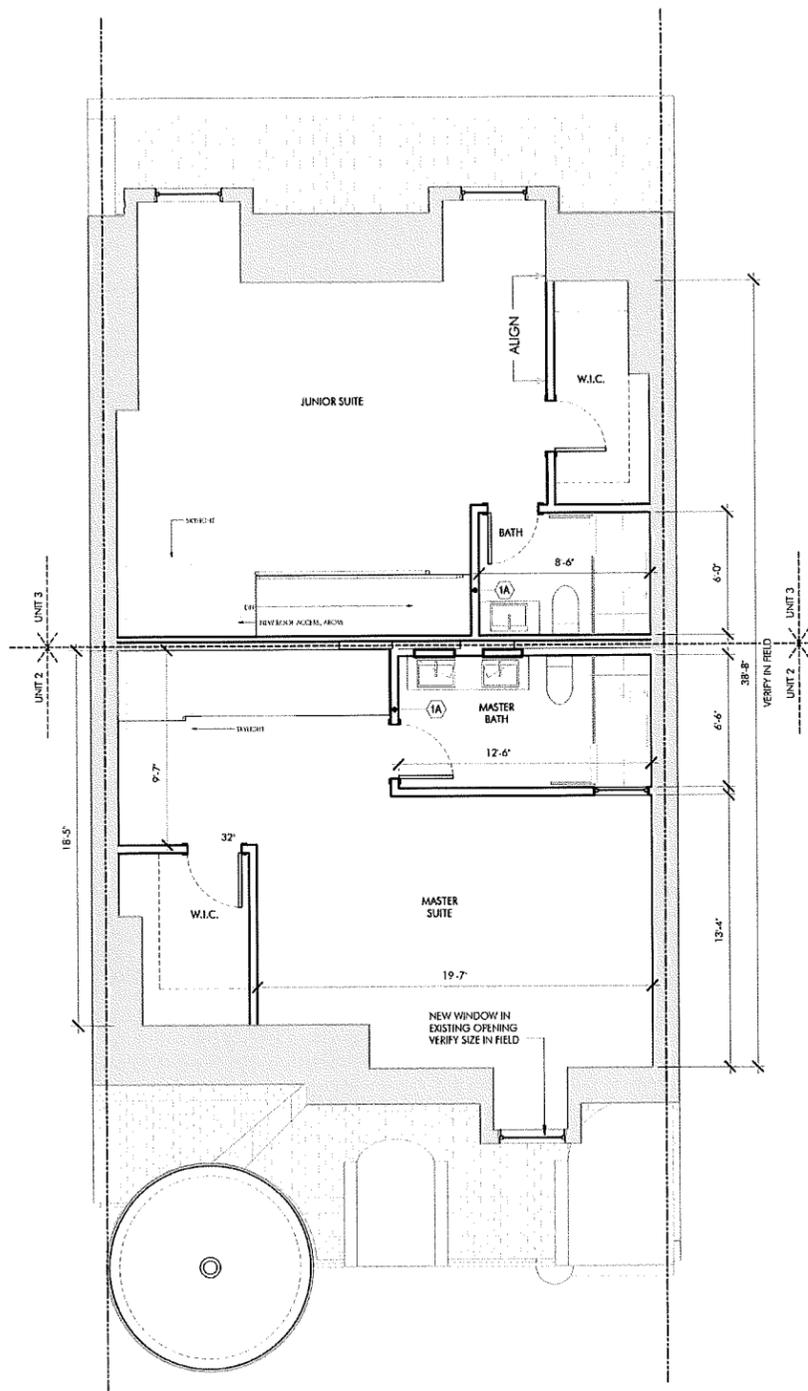
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**PROPOSED PLANS**

**DRAWING NUMBER**

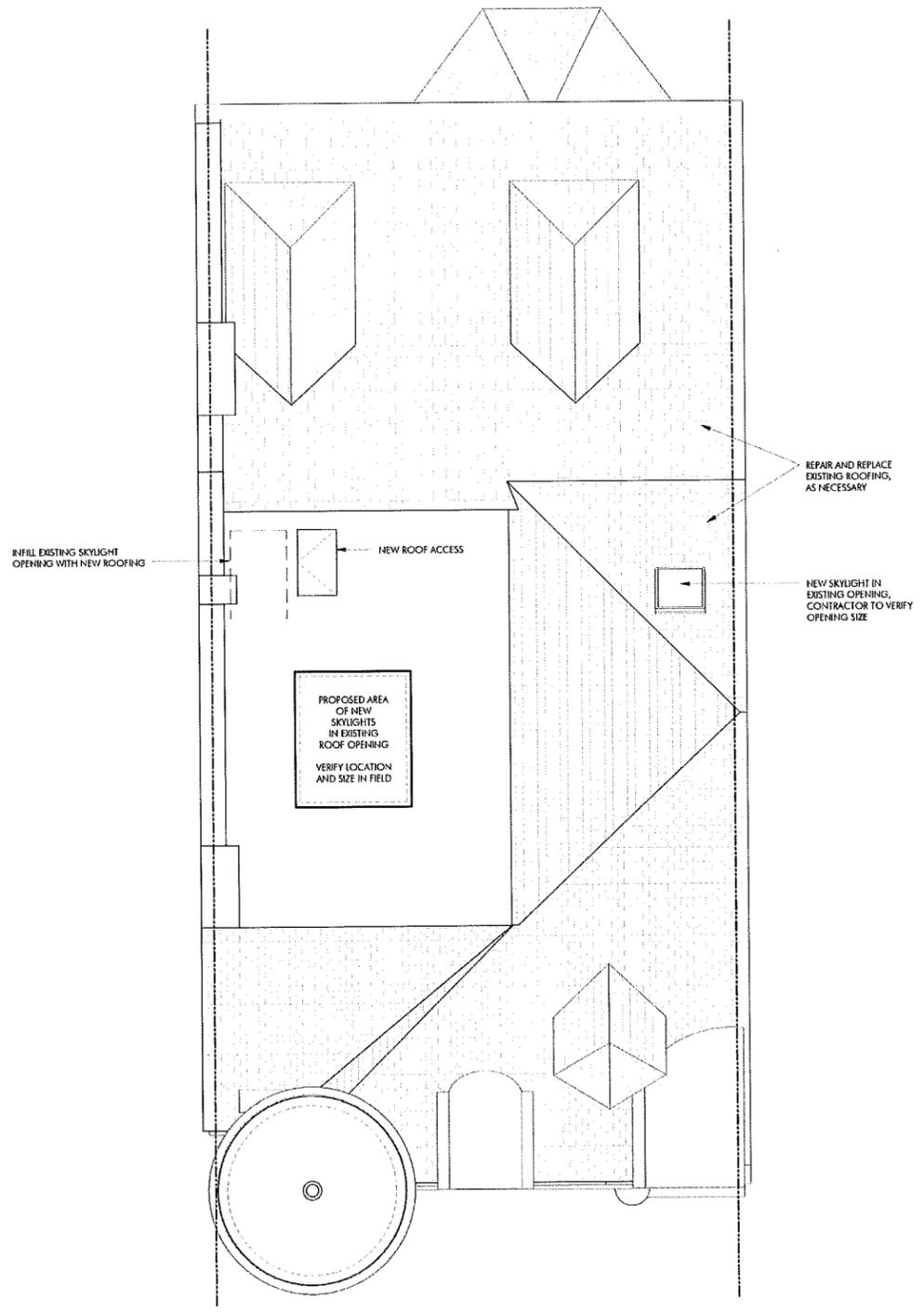
**A102**

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 12/11/2014 11:08:58 AM RN



1 FOURTH LEVEL  
 1/4" = 1'-0"



2 ROOF LEVEL  
 1/4" = 1'-0"

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**EMBARC**  
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 BOSTON, MA 02210  
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 617.721.3342

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 19 FREDITH ROAD  
 WEYMOUTH, MA 02189  
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**CONSTRUCTION**  
 DECEMBER 18, 2014

REVISIONS

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DRAWING INFORMATION  
 ISSUE: CONSTRUCTION  
 PROJECT # 1343  
 DRAWN BY: RN  
 SCALE: 1/4" = 1'-0"

DRAWING TITLE  
**PROPOSED PLANS**

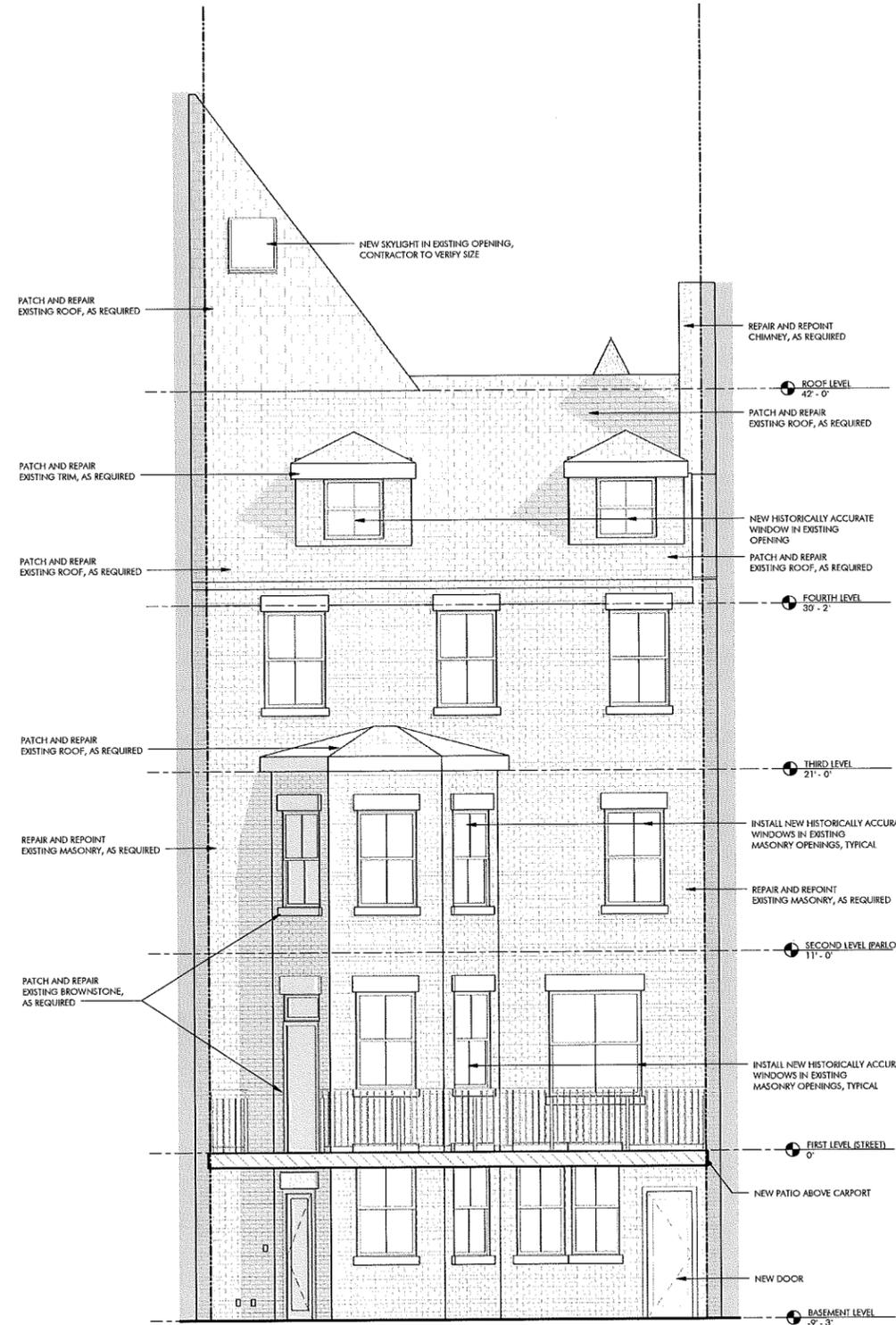
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**A103**

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 12/19/2014 3:54:59 PM MD / RH / DP / CP



1 FRONT  
 1/4" = 1'-0"



2 REAR  
 1/4" = 1'-0"

NOTE: CARPORT NOT SHOWN FOR CLARITY - REFER TO A202

ARCHITECT  
**EMBARC**  
 319 A STREET, SUITE 5B  
 BOSTON, MA 02210  
 617.426.6800  
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 OAKROVE RESIDENTIAL  
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 BROOKLINE, MA 02446  
 617.721.3342

PROJECT TEAM  
**CIVIL**  
 GREATER BOSTON SURVEYING  
 AND ENGINEERING  
 19 FREDRICH ROAD  
 WEYMOUTH, MA 02189

**STRUCTURAL**  
 COWEN ASSOCIATES  
 29 VESTIA ROAD  
 NATICK, MA 01760

**FIRE PROTECTION**  
 PROMETHEUS LIFE SAFETY  
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**CONSTRUCTION**  
 DECEMBER 18, 2014

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| DRAWING INFORMATION |                   |
|---------------------|-------------------|
| ISSUE:              | CONSTRUCTION      |
| PROJECT #           | 1343              |
| DRAWN BY:           | MD / RH / DP / CP |
| SCALE:              | 1/4" = 1'-0"      |

DRAWING TITLE  
**BUILDING  
 ELEVATIONS**

DRAWING NUMBER  
**A201**

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CONSTRUCTION  
DECEMBER 18, 2014

REVISIONS

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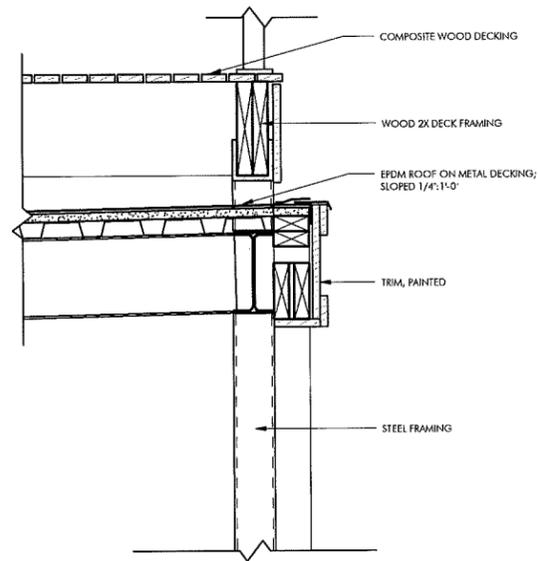
DRAWING INFORMATION

ISSUE: CONSTRUCTION  
PROJECT # 1343  
DRAWN BY: BEN  
SCALE: As Indicated

DRAWING TITLE  
BUILDING  
ELEVATIONS

DRAWING NUMBER

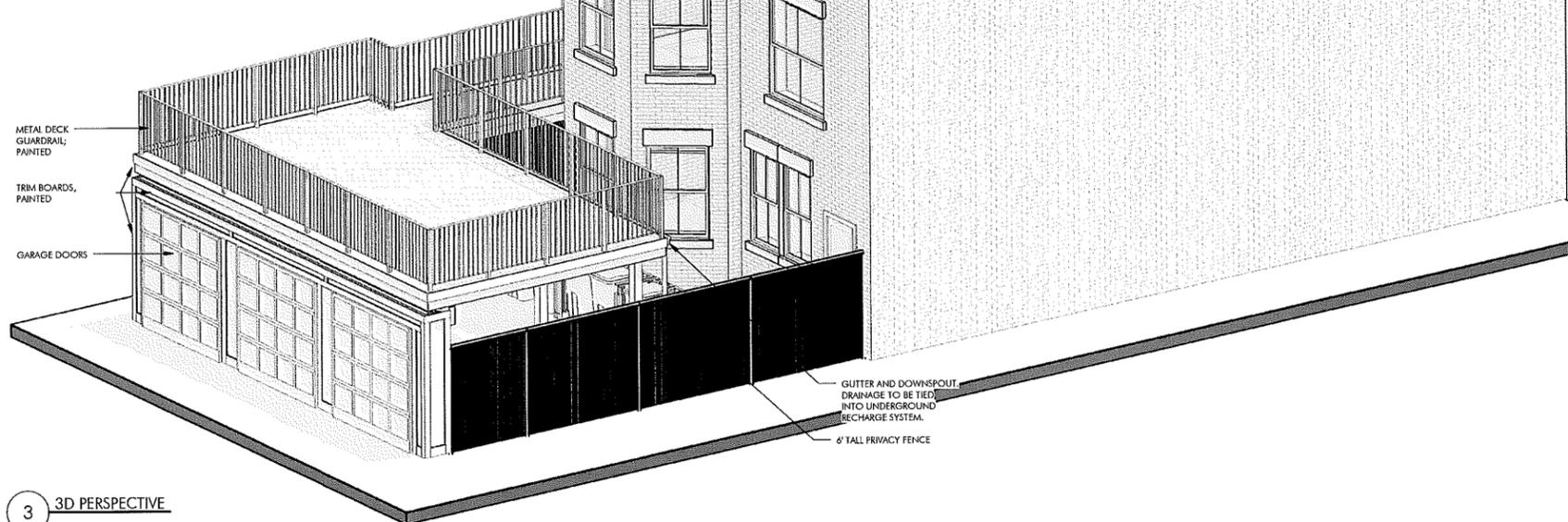
**A202**



2 SECTION THRU CARPORT ROOF EDGE  
1 1/2" = 1'-0"



1 REAR ELEVATION W/ CARPORT  
1/4" = 1'-0"



3 3D PERSPECTIVE