



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Mark J. Zarrillo, Chairman
Linda K. Hamlin, Clerk
Robert Cook
Steven Heikin
Steven Kanes
Sergio Modigliani
Jonathan Simpson

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: April 2, 2015
Subject: Construct an enclosed rear entry
Location: **9 Griggs Terrace**

Atlas Sheet:	42	Case #:	2015-0011
Block:	214	Zoning:	T-6
Lot:	69-02	Lot Area (s.f.):	2,910 sf

Board of Appeals Hearing: April 16, 2015, at 7:00 p.m.

SITE AND NEIGHBORHOOD

9 Griggs Terrace is a single-family three-story row house that was built in 1920. Griggs Terrace is a small loop road off of Griggs Road, running to the north around Griggs Park, then reconnecting with Griggs Road. The property is located in a neighborhood primarily comprised of single and two-family dwellings that were built between 1890 and 1930 by landowner Thomas B. Griggs. The architecture in the area consists of numerous Craftsman structures, as well as Arts and Crafts style structures that have been altered over the years.

APPLICANT'S PROPOSAL

The existing entry way at the rear consists of unroofed wooden stairs and landing with a wooden handrail on one side. The applicant proposes an enclosed entry way that would extend from the existing bay window on the rear façade and wrap around to the side wall.

The enclosure's foundation would extend into the rear yard 8.5 feet from the rear wall and about 3.5 feet into the side yard with a 2-foot roof overhang. Copper roofing with standing seam is

proposed. A glazed door and sidelights are proposed for entry, and clapboard for the façade that faces the abutters on the right (if viewed from the rear).

FINDINGS

Section 5.09.2.j – Design Review

A special permit is required for design review since FAR relief is triggered. No landscaping needs to be removed and the design of the enclosed entryway is consistent with the design of the home. All of the other design standards under this section have been met.

Section 5.22.3.c – Exceptions to Floor Area Ratio (FAR) for Residential Units

Section 5.43 – Exceptions to Yard and Setback Regulations

Section 5.60, Footnote 2– Side Yard Setback

Section 5.70 – Rear Yard Setback

Dimensional Requirements	Required	Existing	Proposed	Relief
Floor Area Ratio	0.75 2,182 sf	0.98	1.01	Special permit*
Side Yard Setback	7.5 ft.	7.0 ft.	3.6'	Special permit**
Rear Yard Setback	30 ft	24.6 ft	20.3- 24 ft.	Special permit**

* Under **Section 5.22.3.c**, an addition up to 350 sf may be allowed by special permit as long as it doesn't exceed 150% of the allowed FAR.

** Under **Section 5.43**, the Board of Appeals may waive yard and setback requirements if a counterbalancing amenity is provided. The applicant is proposing to install additional landscaping to help screen the addition as a counterbalancing amenity.

Section 8.02.2 – Alteration or Extension

A special permit is required to alter a pre-existing non-conforming structure or use.

PLANNING BOARD COMMENTS

The Planning Board noted a possible building code violation because the exterior door leads directly to stairs with no landing [Commissioner Bennett confirmed the building code violation]. The Board would support the proposal to construct an enclosed rear entry only if the plans are revised to eliminate this building code violation. (The Applicant acknowledged that he may not be able extend the stairs at the rear of the entry due to an easement located at the rear of the property, which is not clearly illustrated on the site plan. The Applicant's architect will need to consider alternate solutions to eliminate the code violation.) When the building code violation was confirmed after the Planning Board meeting, the Planning Department requested that the Applicant submit revised plans to be reviewed by the Building Department prior to the ZBA hearing. [Revised plans dated April 9, 2015 include a rear entryway landing in compliance with building codes].

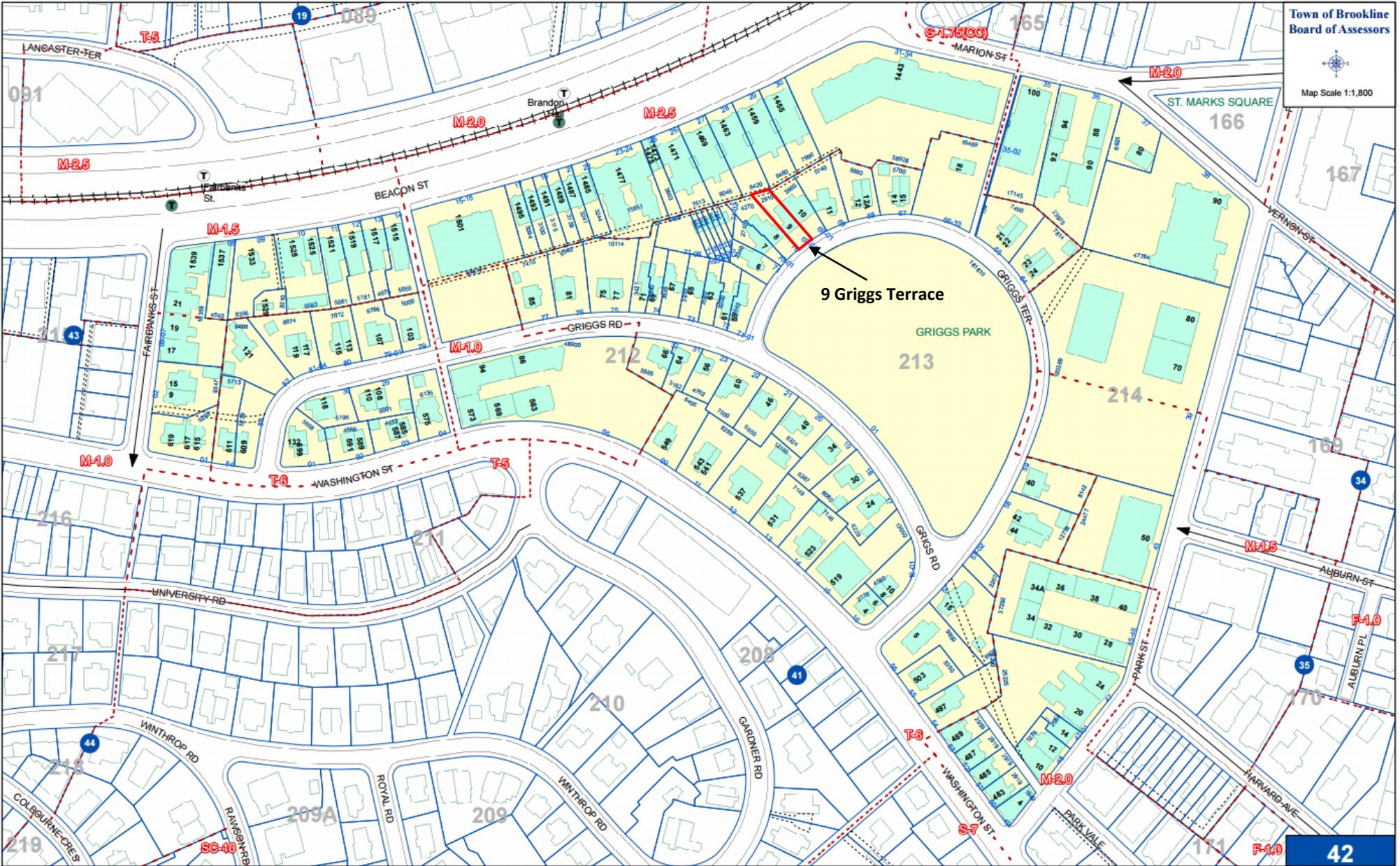
The proposed entryway in the rear is minimal in size and complements the structure and should not have a negative visual impact on abutters or the public way.

Therefore, the Planning Board recommends approval of the plans by K.V. Design and Building, dated April 9, 2015, and the site plan by Bruce Bradford, registered land surveyor, dated September 2, 2014, subject to the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit final plans and elevations subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a final landscape plan indicating all counterbalancing amenities subject to the review and approval of the Assistant Director of Regulatory Planning.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

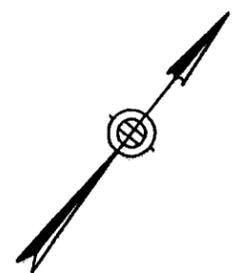
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Photos under separate cover.

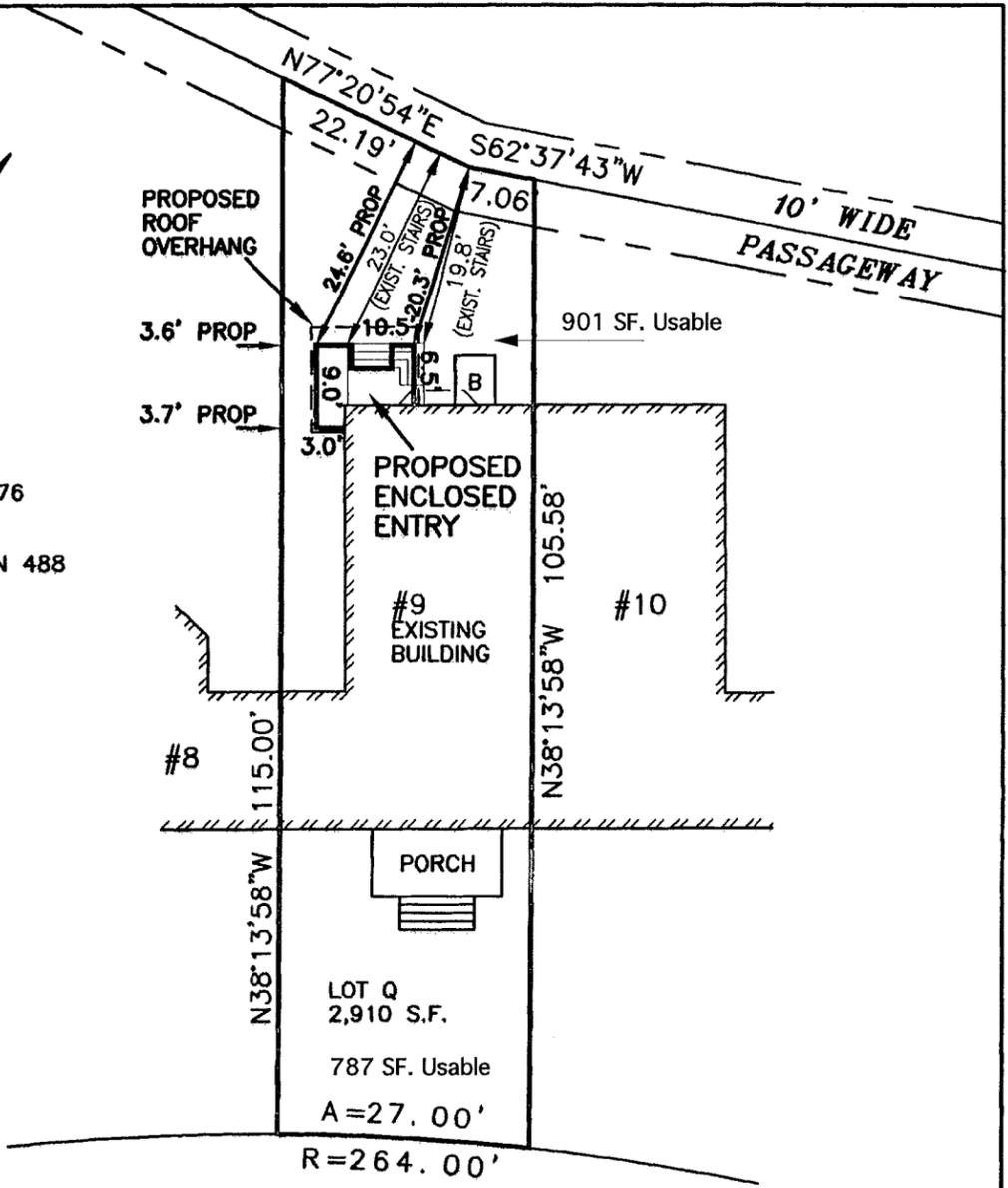


9 Griggs Terrace

GRIGGS PARK



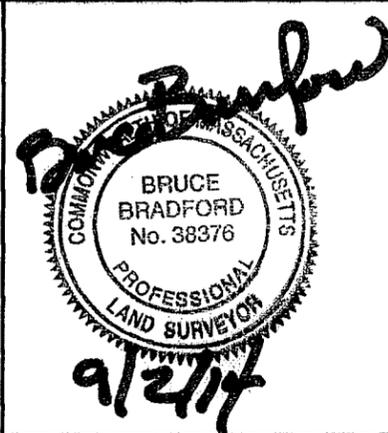
DEED REFERENCE:
BOOK 19006 PAGE 576
PLAN REFERENCE:
PLAN BOOK 131 PLAN 488



GRIGGS TERRACE

ESTABLISHED 1916
EMB
EVERETT M. BROOKS CO.
SURVEYORS & ENGINEERS
49 LEXINGTON STREET
WEST NEWTON, MA 02465

(617) 527-8750
(617) 332-1578 FAX
info@everettbrooks.com



PLAN OF LAND IN
BROOKLINE, MA
9 GRIGGS TERRACE
PROPOSED ADDITION

SCALE: 1 IN. = 20 FT.
DATE: SEPTEMBER 2, 2014
DRAWN: JF
CHECK: BB

PROJECT NO. 24491

ZONING WORK SHEET

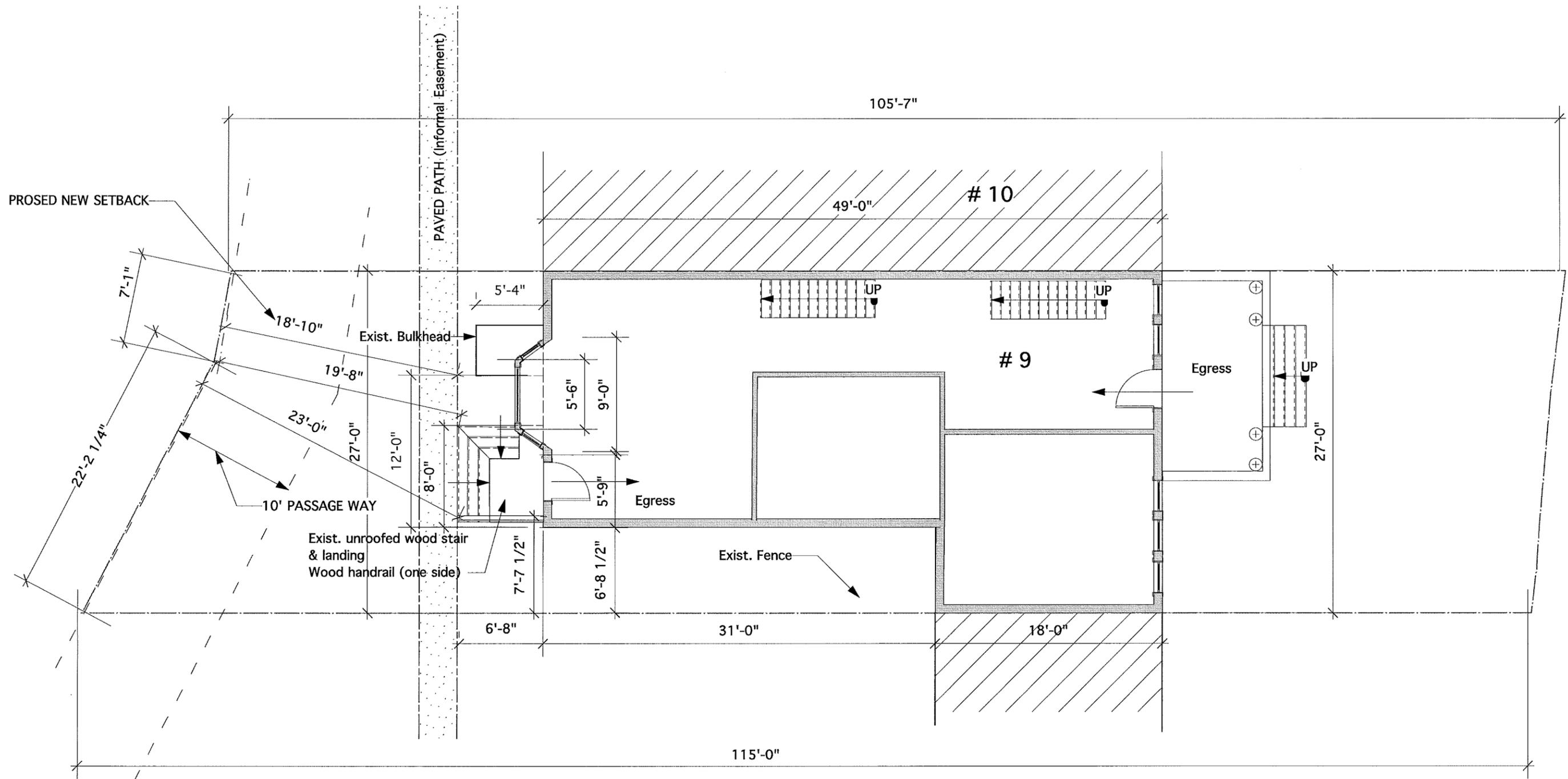
Town of BROOKLINE, Massachusetts

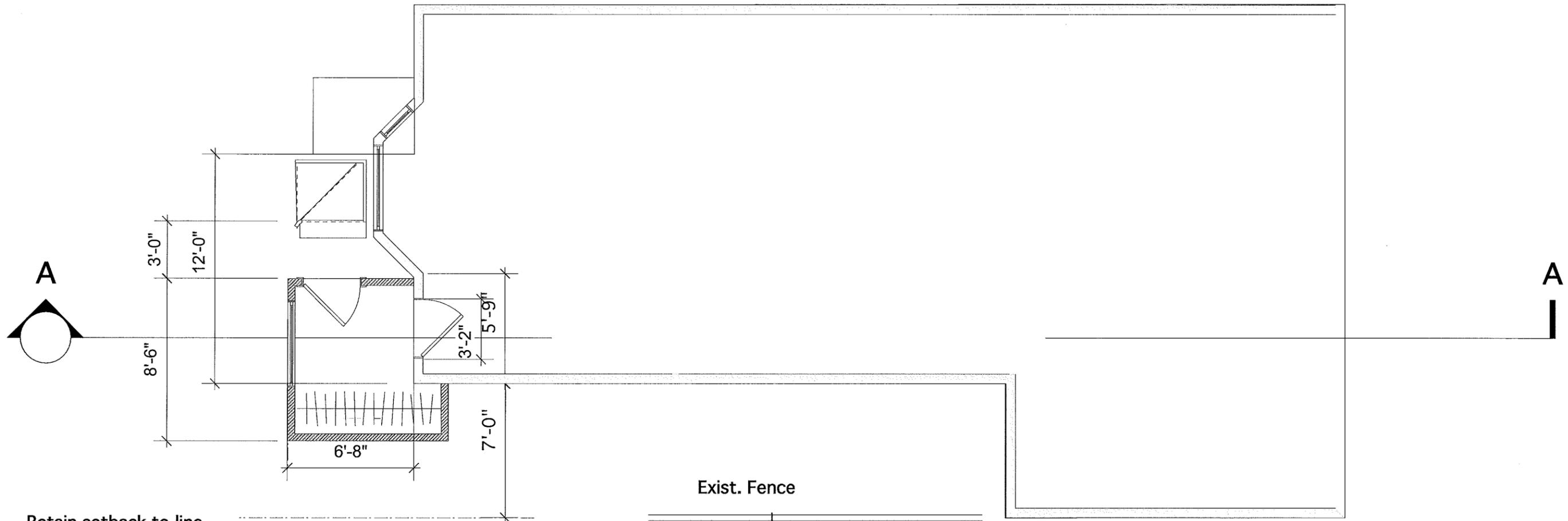
PREPARED BY: Kaj Vandkjaer, dba. K.V.DESIGN & BLDG
 PROJECT DESCRIPTION: 1) Construct Roofed Porch at Rear
 PROJECT ADDRESS : 9 Griggs Terrace, 02446
 OWNER : Ron A. Garonzik 9 Griggs Terrace Brookline MA. 02446

REVISED APRIL 9, 2015

ZONING DISTRICT: T6 (Attached Single-Family)

	Required / Allowed	Existing	Proposed	COMPLIANCE	ACTION	
USE		T 6. 1-fam./Att	T 6. 1-fam./Att	yes		
LOT AREA	3,000 Sf.	2,910 Sf.	2,910 Sf.	no	Pre-existing	
FLOOR AREA RATIO	0.75	1.02	1.04	no		
LOT WIDTH MIN. (Ft.)	25.0 Ft.	27.0 Ft.	27.0 Ft.	yes		
HEIGHT maximum	35 Ft.	30 Ft. (est.)	30 Ft. (est.)	yes		
SETBACK FRONT	15 Ft.	22 Ft.	22 Ft.	yes		
SETBACK SIDE	none	none	none	yes		
SETBACK REAR	30.0 Ft.	19.8 Ft.	18.9 Ft.	no		
OPEN SPACE LANDSCAPED	10 %	30 %	30 %	yes		
OPEN SPACE USABLE	30 %	62 %	57 %	yes		





Retain setback to line
of (Exist.) stairs
(8'-6" from face of bldg.)

1 1ST. FLOOR PROPOSED
3/16" = 1'-0"

1,113 SF. EXIST.
62 SF ADDITION
1,175 SF. INCL. IN F.A.R.

**Garonzik / Ben-Nathan
Residence**
9 Griggs Terrace
Brookline, MA. 02336

PROJECT :
ALTERATIONS TO RESIDENCE

NEW ROOFED PORCH ENTRANCE
AT REAR

DRAWING SET :
SPECIAL PERMIT APPLICATION

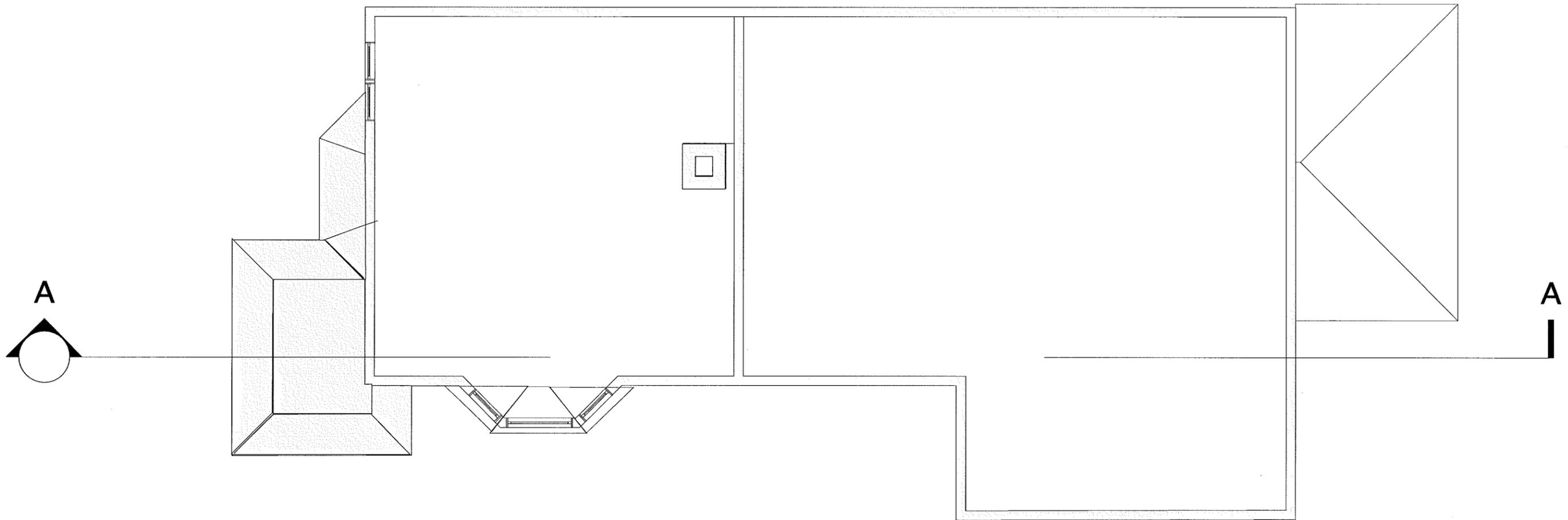
DRAWING :
1ST. FLOOR PLAN

DATE :
April 9, 2015

SCALE :
NOTED

KV DESIGN & BUILDING
Kaj Vandkjaer
300 MAIN ST. UNIT 6
WENHAM, MA 01984-1451
Tel. (617) 547-6561
e-mail : KVandkjaer@aol.com
www.http://kvdesign.info/Site/Home.html

SHEET NUMBER
4-02



1 2ND. FLOOR PLAN / ROOF PLAN PROPOSED
 3/16" = 1'-0"

1,113 SF. INCL. IN F.A.R.



Garonzik / Ben-Nathan
Residence
 9 Griggs Terrace
 Brookline, MA. 02336

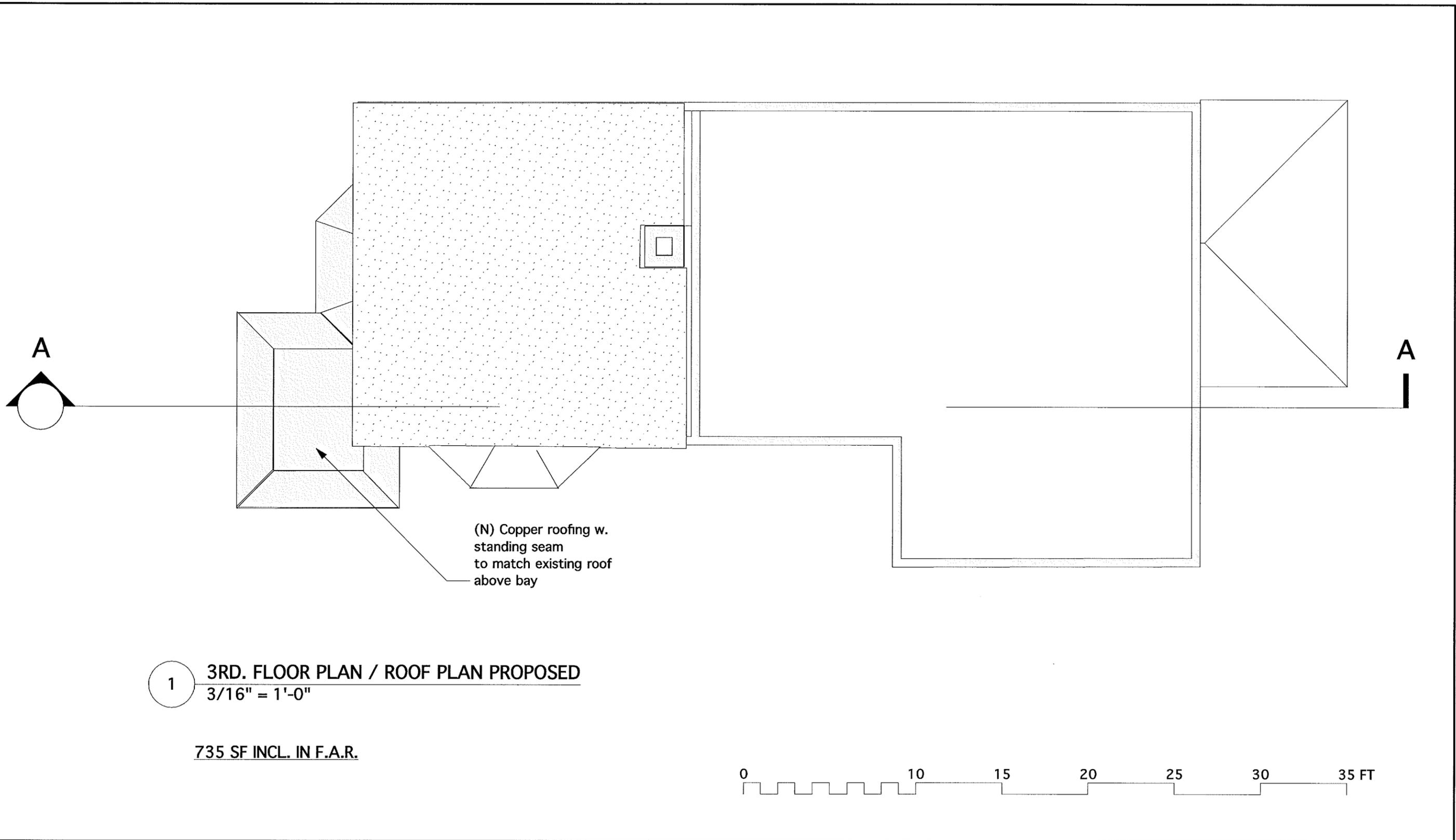
PROJECT :
 ALTERATIONS TO RESIDENCE
 NEW ROOFED PORCH ENTRANCE
 AT REAR

DRAWING SET :
 SPECIAL PERMIT APPLICATION
 DRAWING :
 2ND. FLOOR / ROOF PLAN

DATE :
 April 9, 2015
 SCALE :
 NOTED

KV DESIGN & BUILDING
 Kaj Vandkjaer
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 e-mail : KVandkjaer@aol.com
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SHEET NUMBER
4-03



Garonzik / Ben-Nathan
Residence
 9 Griggs Terrace
 Brookline, MA. 02336

PROJECT :
 ALTERATIONS TO RESIDENCE

NEW ROOFED PORCH ENTRANCE
 AT REAR

DRAWING SET :
 SPECIAL PERMIT APPLICATION

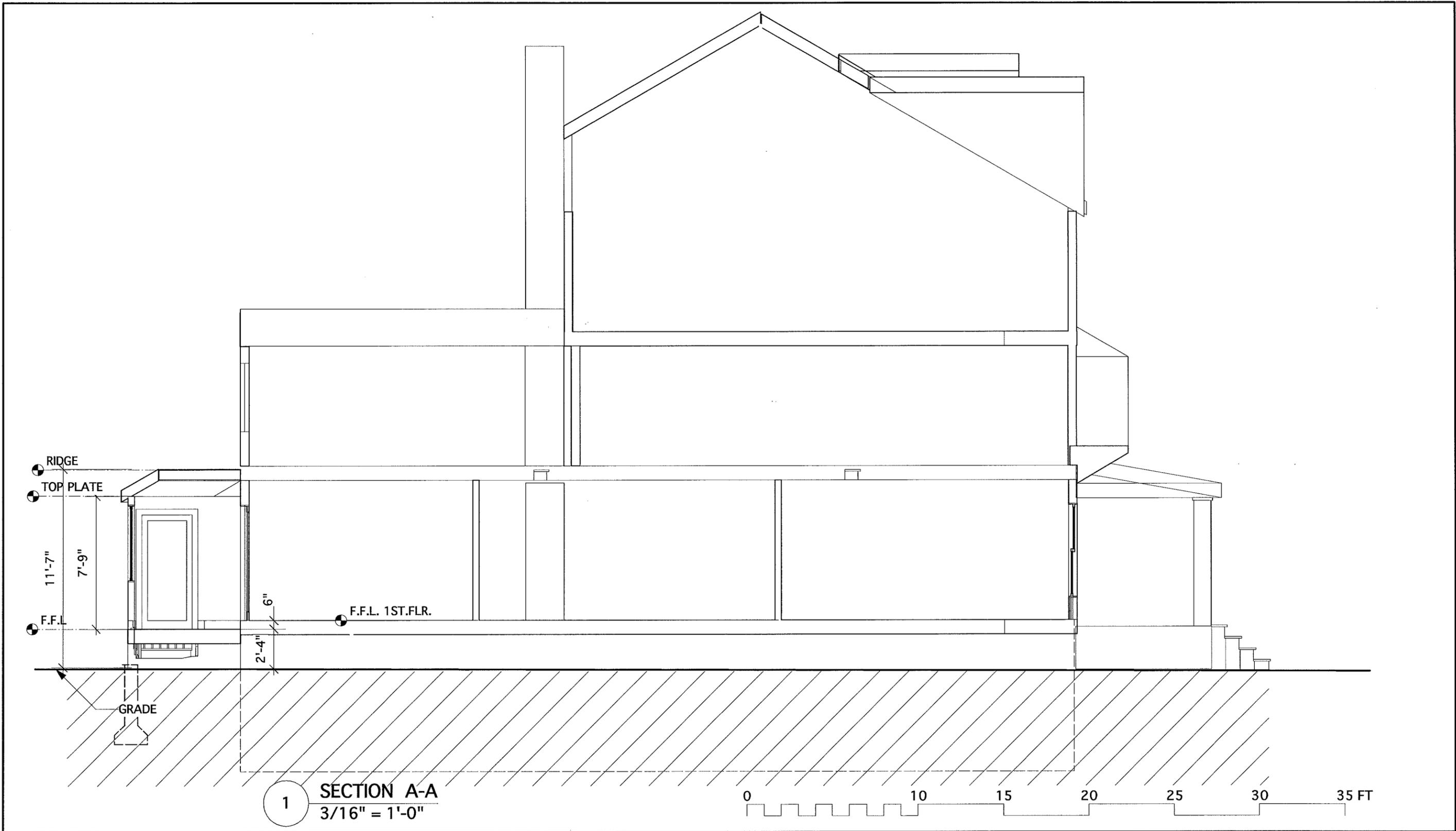
DRAWING :
 3RD. FLOOR / ROOF PLAN

DATE :
 April 9, 2015

SCALE :
 NOTED

KV DESIGN & BUILDING
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 e-mail : KVandkjaer@aol.com
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SHEET NUMBER
4-04



SECTION A-A
 3/16" = 1'-0"

**Garonzik / Ben-Nathan
 Residence**
 9 Griggs Terrace
 Brookline, MA. 02336

PROJECT :
 ALTERATIONS TO RESIDENCE

NEW ROOFED PORCH ENTRANCE
 AT REAR

DRAWING SET :
 SPECIAL PERMIT APPLICATION

DRAWING :
 SECTION A-A

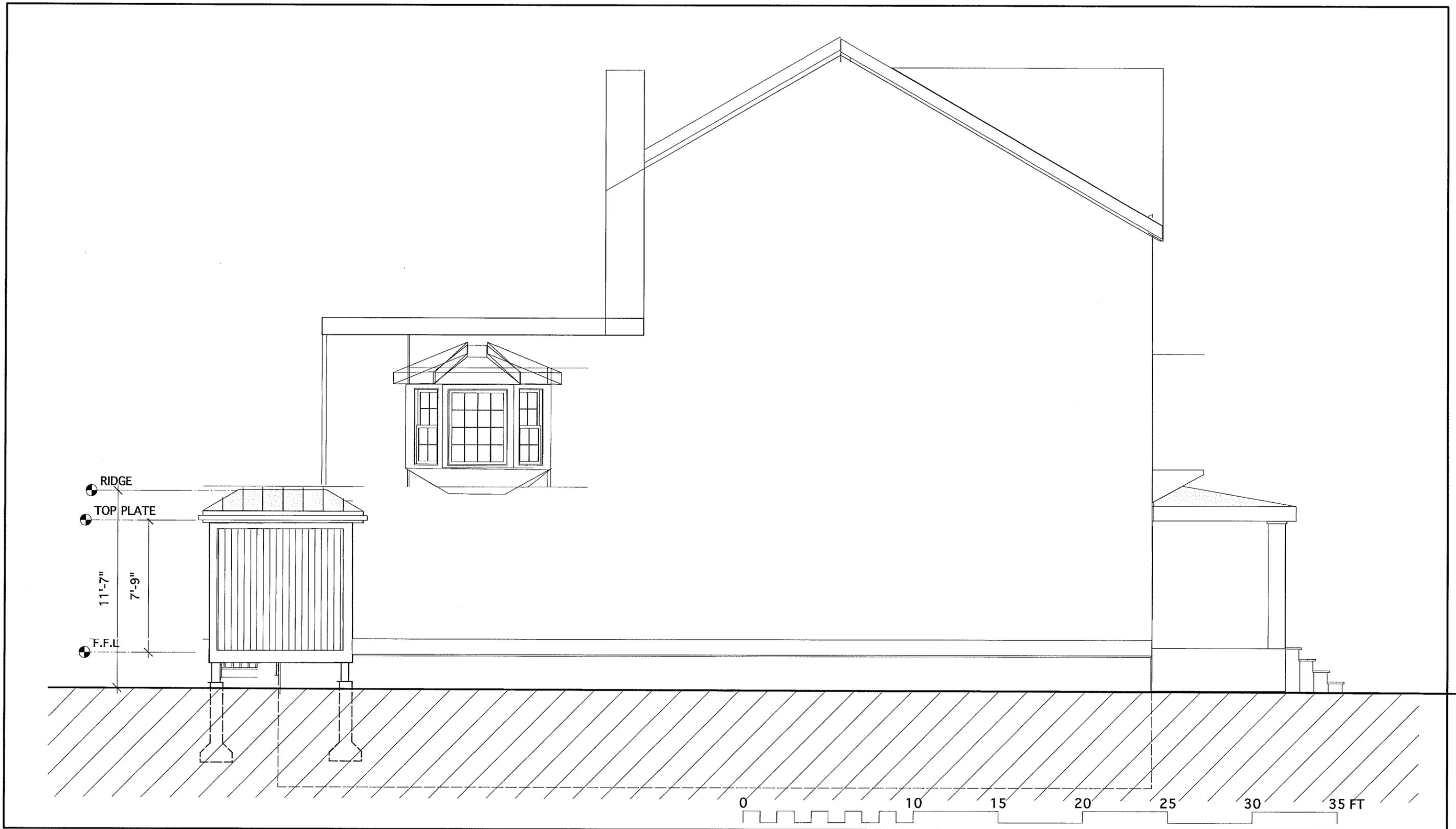
DATE :
 April 9, 2015

SCALE :
 NOTED

**KV DESIGN
 & BUILDING**

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SHEET NUMBER
4-05



**Garonzik / Ben-Nathan
Residence**

9 Griggs Terrace
Brookline, MA. 02336

PROJECT :
ALTERATIONS TO RESIDENCE

NEW ROOFED PORCH ENTRANCE
AT REAR

DRAWING SET :
SPECIAL PERMIT APPLICATION

DRAWING :

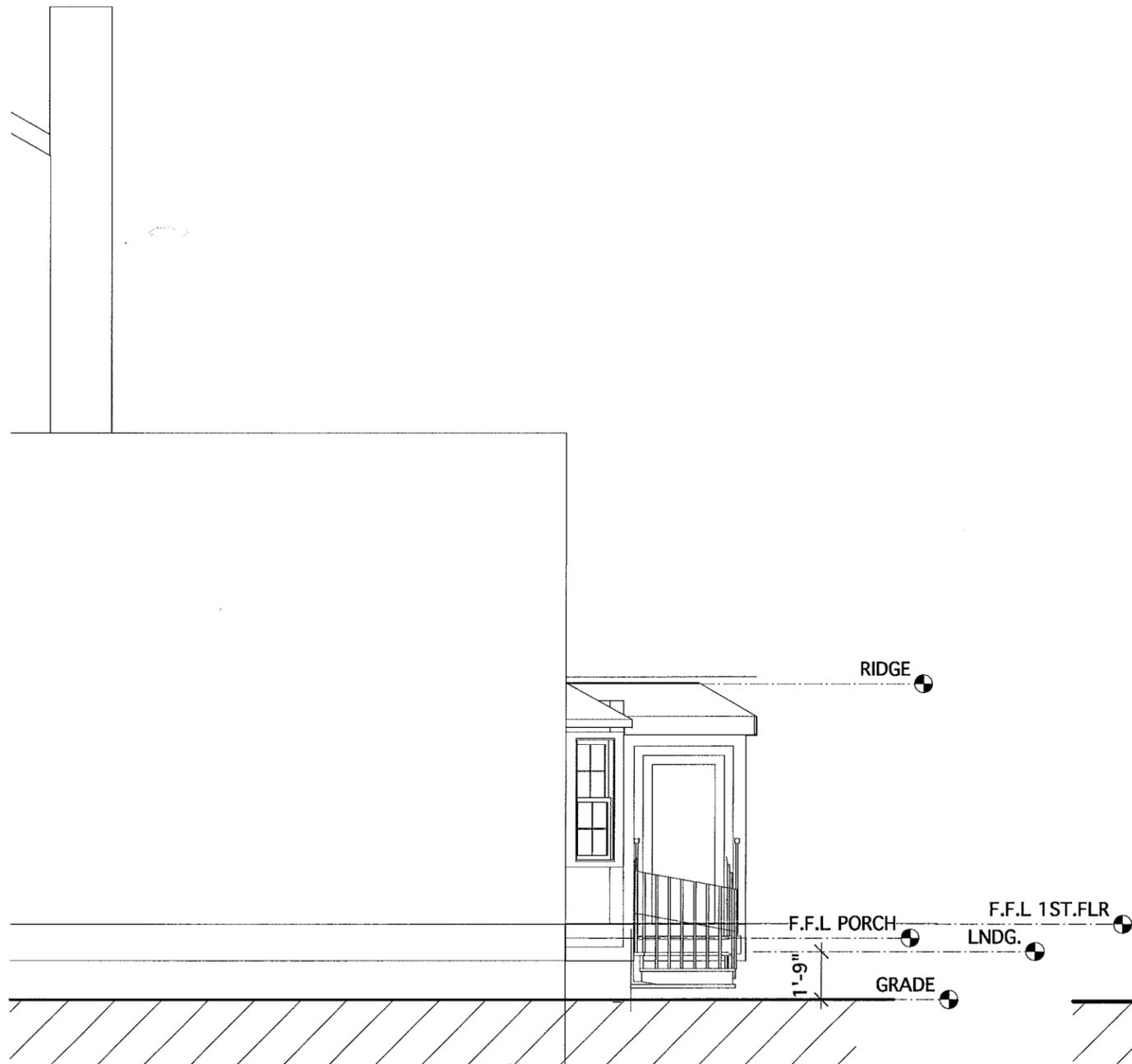
DATE :
April 9, 2015

SCALE :
NOTED

KV DESIGN & BUILDING
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 e-mail : KVandkjaer@aol.com
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SHEET NUMBER

4-06



1 ELEVATION - LEFT SIDE
3/16" = 1'-0"



2 ELEVATION - FRONT
3/16" = 1'-0"

**Garonzik / Ben-Nathan
Residence**
9 Griggs Terrace
Brookline, MA. 02336

PROJECT :
ALTERATIONS TO RESIDENCE

NEW ROOFED PORCH ENTRANCE
AT REAR

DRAWING SET :
SPECIAL PERMIT APPLICATION

DRAWING :
FRONT & LEFT SIDE ELEVATIONS

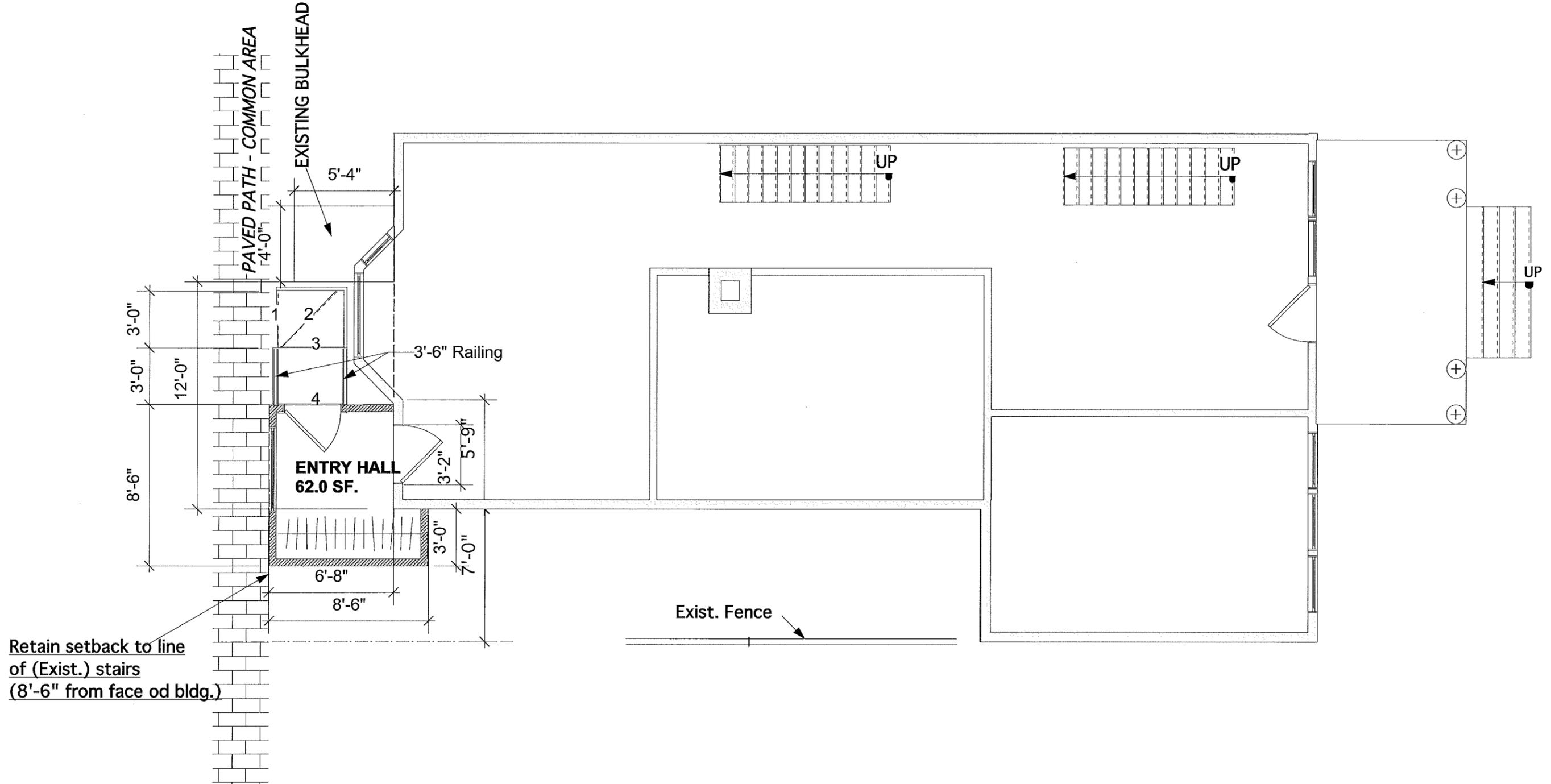
DATE :
April 9, 2015

SCALE :
NOTED

**KV DESIGN
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SHEET NUMBER
4-07



Retain setback to line
of (Exist.) stairs
(8'-6" from face of bldg.)

PAVED PATH - COMMON AREA
4'-0"

EXISTING BULKHEAD
5'-4"

3'-6" Railing

ENTRY HALL
62.0 SF.

Exist. Fence

UP

UP

UP

8'-6"
3'-0"
3'-0"
12'-0"
3'-0"

6'-8"
8'-6"
3'-0"
7'-0"
3'-2"
5'-9"

+
+
+
+

