



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Sergio Modigliani
Jonathan Simpson
Mark J. Zarrillo

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: March 12, 2015
Subject: Construct a garage for two tandem cars at ground level and two above on lifts
Location: 16 Monmouth Street

Atlas Sheet: 24	Case #: 2015-0009
Block: 116	Zoning: S-10
Lot: 03	Lot Area (s.f.): 16,678

Board of Appeals Hearing: April 9, 2015 at 7:30 pm

BACKGROUND

A parking easement in the northeast corner of the lot, adjacent to the alley, was granted to off-site users for two parking spaces. This parking area is fenced off from the subject property and faces the alleyway.

SITE AND NEIGHBORHOOD

16 Monmouth Street is a central entrance Georgian Colonial brick house. The lot is more than 50% larger than the 10,000 s.f. minimum lot size for the zoning district. Current parking for the residents is in the yard to the left side of the house. Across the street is Wheelock College and its parking lot. To the rear of the lot, runs an alleyway accessed via Hawes Street. On the opposite side of the alley are multi-family brownstones, which front on Beacon Street; some of which have parking off the alleyway.

APPLICANT'S PROPOSAL

The applicants, Jesse and Georgia Feldman, are proposing to construct a one and a half story garage for four cars; it will be approximately 44 feet long, 15 feet wide and 20 feet high. The cars will be tandem and two of the cars will be on lifts above the two tandem cars at ground level. The garage will be accessed from both Monmouth Street and the alleyway. The applicant is also proposing to install a new wrought iron fence to screen the garage from Monmouth Street.

FINDINGS

Section 4.07 – Table of Use Regulations, Use #55

A **special permit** may allow parking for non-commercial vehicles of users who live off-site. In this case, the four cars proposed for the garage will serve the occupants of the house, and the cars in the easement serve users of other lots.

Section 5.01 – Table of Use Regulations, Footnote 1 (garage entrance must be 20 feet back from street)

Section 5.43 – Exceptions to Yard and Setback Regulations

Section 5.53 – Accessory Structures in Front Yard

Section 5.62 – Fences and Terraces in Front Yard

Section 5.63 – Accessory Structures in Side Yard

Section 6.04.5.c.2 – Design of All Off-Street Parking

Section 6.04.12 – Design of All Off-Street Parking

Dimensional Requirements	Required	Existing	Proposed	Relief
Front Yard Setback (garage from alley)	20 feet+	n/a	9.8 feet	Special Permit*
Side Yard Setback (garage)	10 feet+	n/a	3.3 feet	Special Permit*

* Under **Section 5.43**, setback requirements for a structure can be waived by special permit if counterbalancing amenities are provided.

* Under **Section 6.04.12**, the setback requirements for parking can be waived to provide parking for existing buildings.

+Because the garage is over 15’ in height and is not at least 75’ from the street line, it does not qualify for the reduced side yard setback requirement for accessory buildings under **Section 5.63**, which would allow a garage under 15’ tall to be located 6’ from a side lot line. An alley is considered a “street” under the Zoning By-law.

Section 8.02.2 – Alteration or Extension

A **special permit** is required for an alteration or extension of a non-conforming structure.

PLANNING BOARD COMMENTS

The Planning Board is supportive of this proposal to construct a new garage to serve the single-family at 16 Monmouth Street. Although the garage needs setback relief, its location and design is sensitive to the side abutter, and a four car garage is allowed for a single family dwelling on a lot greater than 10,000 s.f. (See Use # 54). By using stacker technology, the garage’s footprint is relatively small in size, particularly considering the number of vehicles it serves, and it has been attractively designed and relates well to the architecture of the existing structure.

A parking easement in the northeast corner of the lot, adjacent to the rear alleyway, had been granted previously to residents of an adjacent lot. Because this easement area is fenced off from the single family lot and accessed from the alleyway, it does not appear to be part of the single family property. Parking by off-site residents is allowed by special permit.

Several neighbors were concerned, because of a previous case, about having too many construction vehicles parked on Monmouth Street between Carleton and Hawes Street, and the applicant's representative willingly met with them to work out an acceptable arrangement with them as detailed in condition #3 below.

Therefore, the Planning Board recommends approval of the proposed site plan by Boston Survey, dated 11/5/14, and plans by Colin Smith Architecture, dated 11/11/14 and last revised 11/20/2014, subject to the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit a final site plan, indicating all landscaping and fencing, subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit final elevations for the garage, indicating all materials and dimensions, subject to the review and approval of the Assistant Director of Regulatory Planning.
3. Prior to issuance of a building permit, the applicant shall submit a construction management plan subject to the review and approval of the Director of Transportation and Engineering, the Building Commissioner, and the Assistant Director of Regulatory Planning. The plan shall include the following provisions:
 - Contact Number - The applicant will provide the name and telephone number of the contractor and/or project manager.
 - Hours of Construction - Consistent with Article 8.15 of Town of Brookline Noise Control By-Law.
 - Delivery Times - Contractor will make every effort to schedule deliveries during normal working hours.
 - Worker Access and Parking - The property shall include an area for construction vehicles at all times. The Director of Transportation may not issue more than 2 commercial parking permits for construction related vehicles on Monmouth Street between Carlton Street and Hawes Street at any one time. The commercial parking permits shall be limited to a period not to exceed three days at a time, Monday through Friday.
 - Cleaning - Contractor shall monitor and clean sidewalks and roadways of any material deposited as a result of construction.
4. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

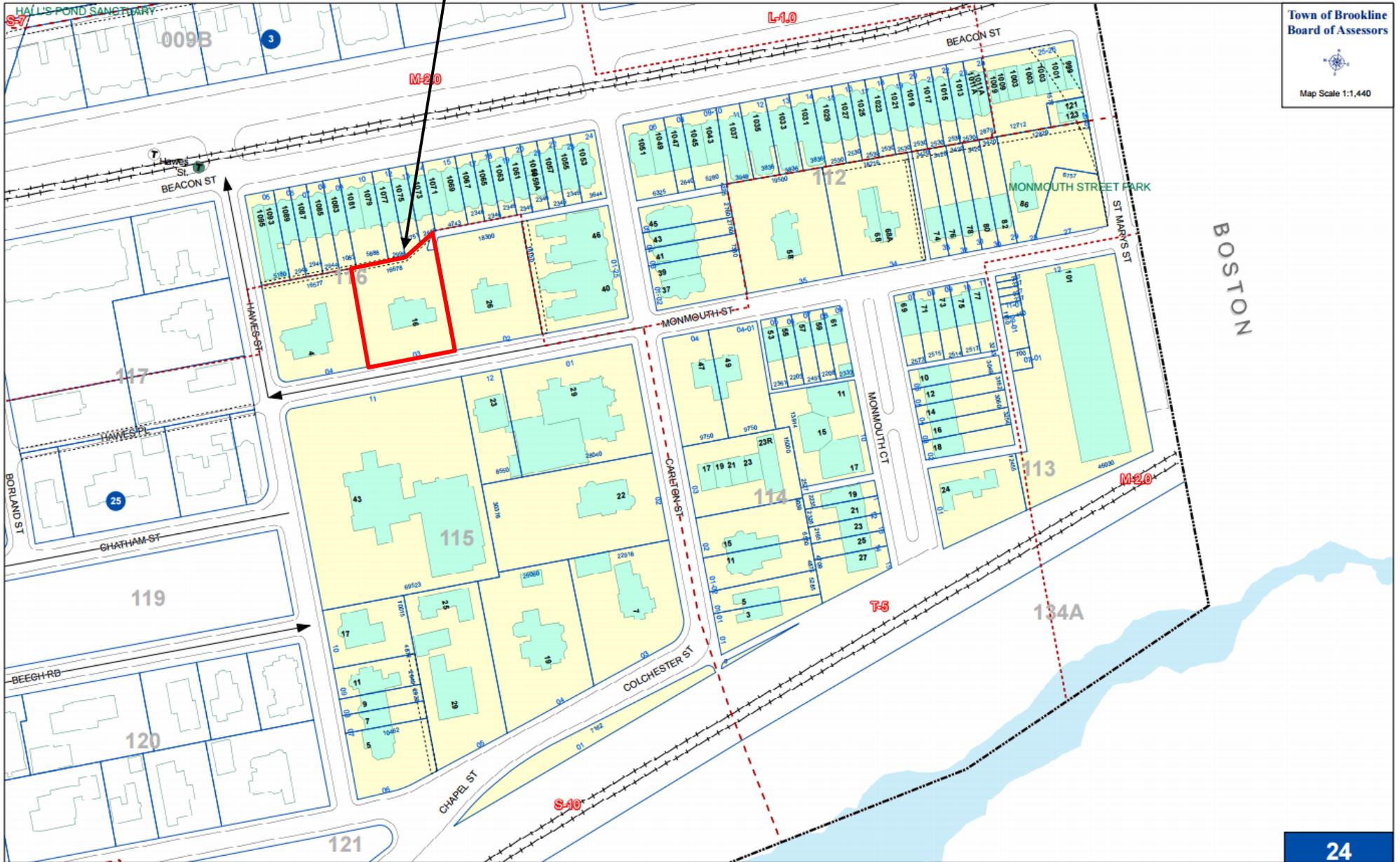
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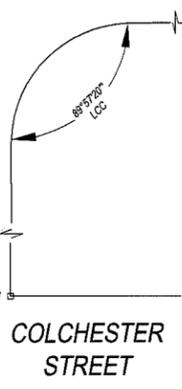
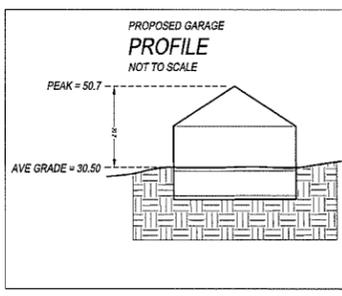
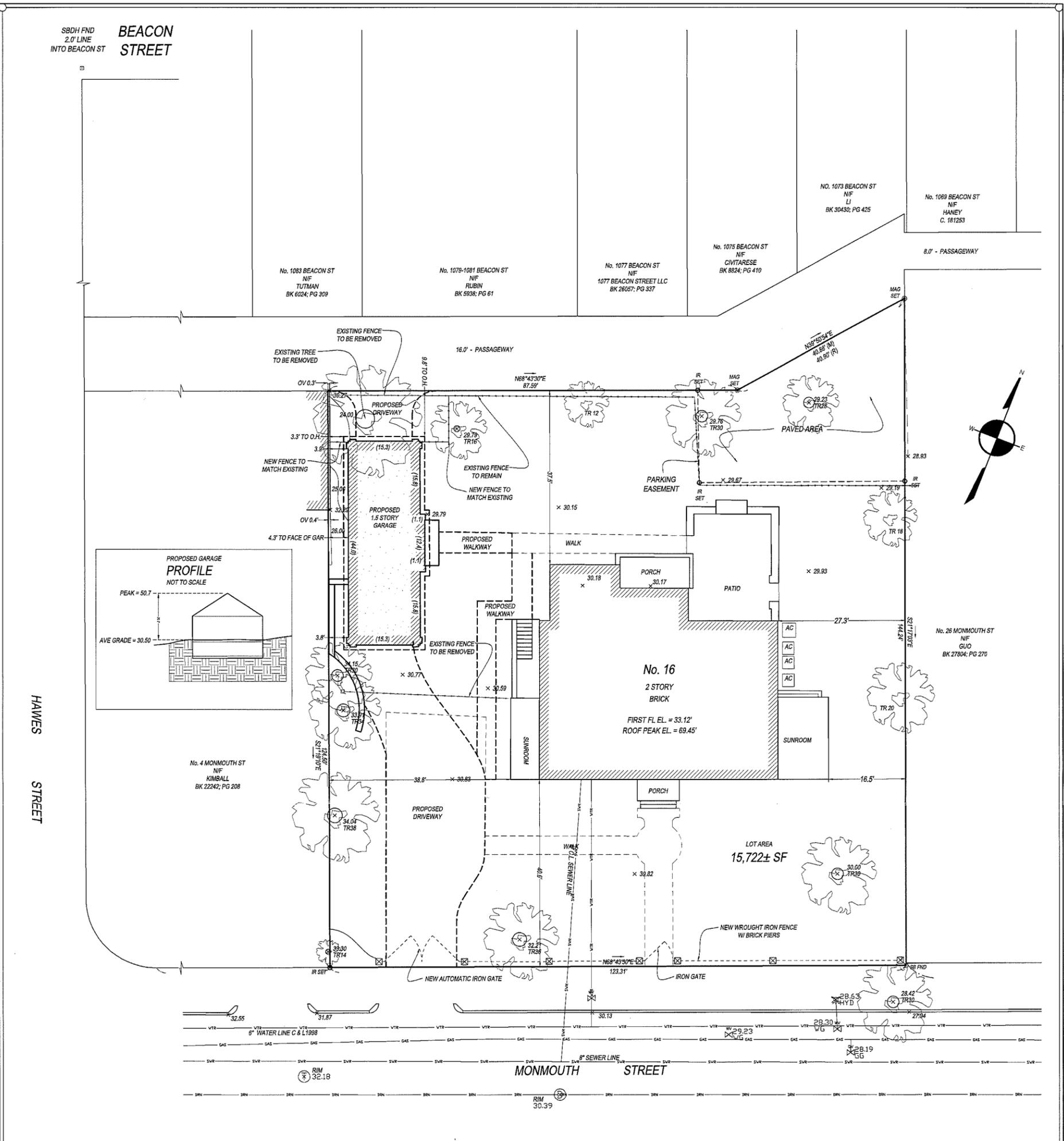
16 Monmouth Street



16 Monmouth Street



Town of Brookline
Board of Assessors
Map Scale 1:1,440



LOT COVERAGE
 EXISTING: 15.7%
 PROPOSED: 20.1%

OPEN SPACE
 LANDSCAPED
 EXISTING: 69.7%
 PROPOSED: 64.5%

USABLE
 EXISTING: 64.2%
 PROPOSED: 57.5%

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF AUGUST 13, 2013 AND SEPTEMBER 26, 2014 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).
 COMMUNITY-PANEL # 25021C0051E
 EFFECTIVE DATE: JULY 17, 2012

LEGEND:
 IR = IRON ROD
 MAG = MAG NAIL
 SB = STONE BOUND
 SBDH = STONE BOUND DRILL HOLE
 FND = FOUND

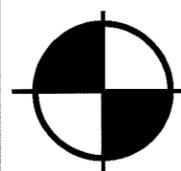
NOTES:
 PARCEL ID: 116-03-00
 VERTICAL DATUM: BROOKLINE TOWN BASE

PREPARED FOR:
 JESSE FELDMAN
 GEORGIA A. FELDMAN
 16 MONMOUTH STREET
 BROOKLINE, MA 02446

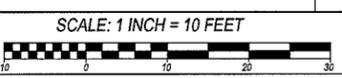
DRAWN BY:	MO	CHECKED BY:	GCC
PROPOSED GARAGE		11/05/14	
AS-BUILT		10/02/14	
CURB-CUT		05/06/14	
EASEMENT STAKOUT		04/21/14	
PROP. PARKING/PAVED		02/17/14	
UTILITY / TOPO		02/12/14	
PROPOSED CONDITIONS		10/22/13	
SITE PLAN UPDATE		09/16/13	

REFERENCES:
 DEED: BK 32423; PG 378
 PLAN: BK 963; PG 136
 BK 2532; PG 429
 LCC 7491-A

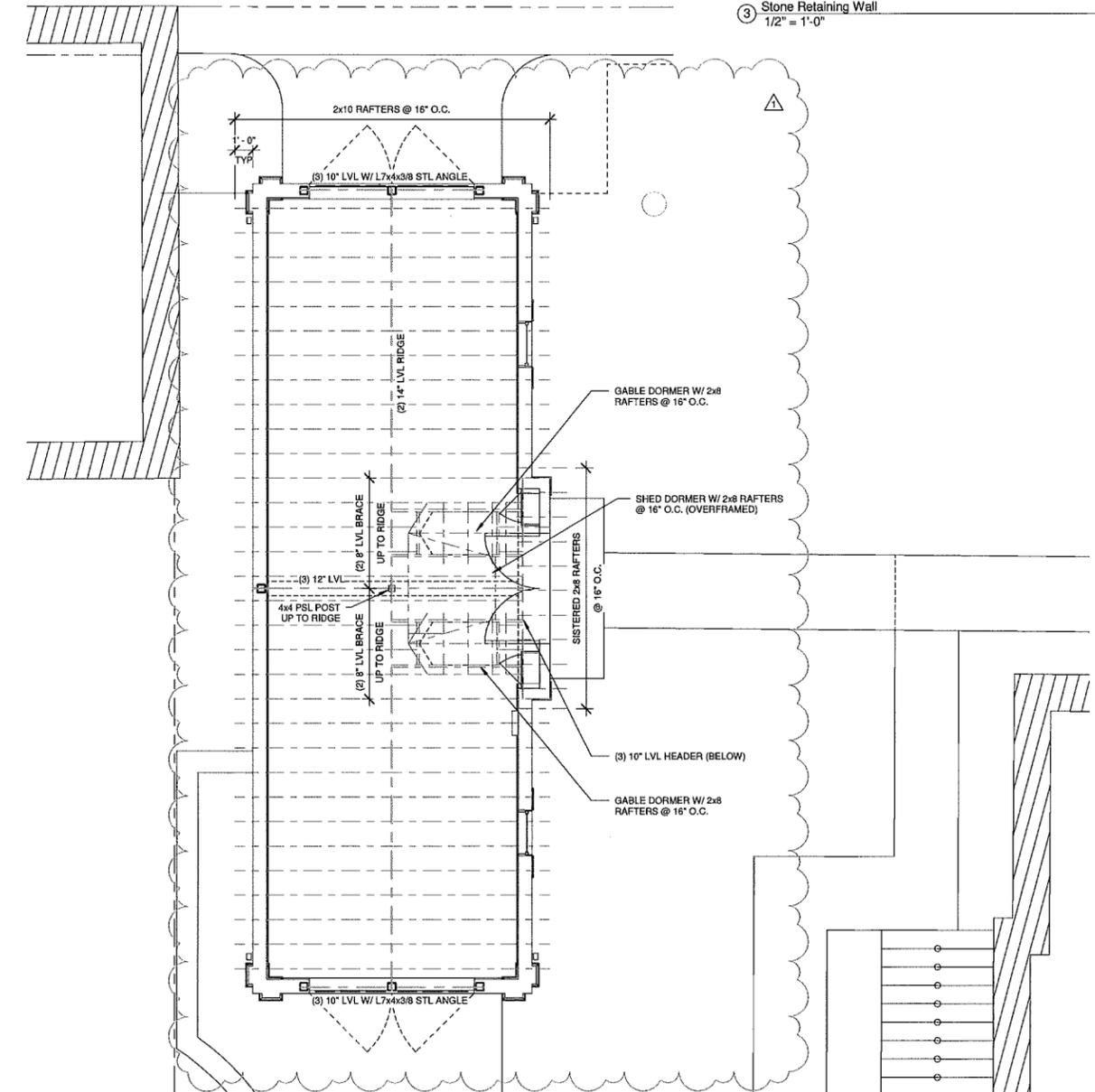
SITE PLAN
 SHOWING PROPOSED GARAGE
 LOCATED AT
 16 MONMOUTH STREET
 BROOKLINE, MA



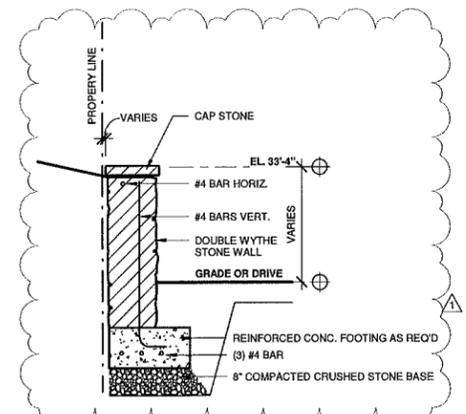
BOSTON SURVEY, INC.
 UNIT C-4 SHIPWAYS PLACE
 CHARLESTOWN, MA 02129
 (617) 242-1313



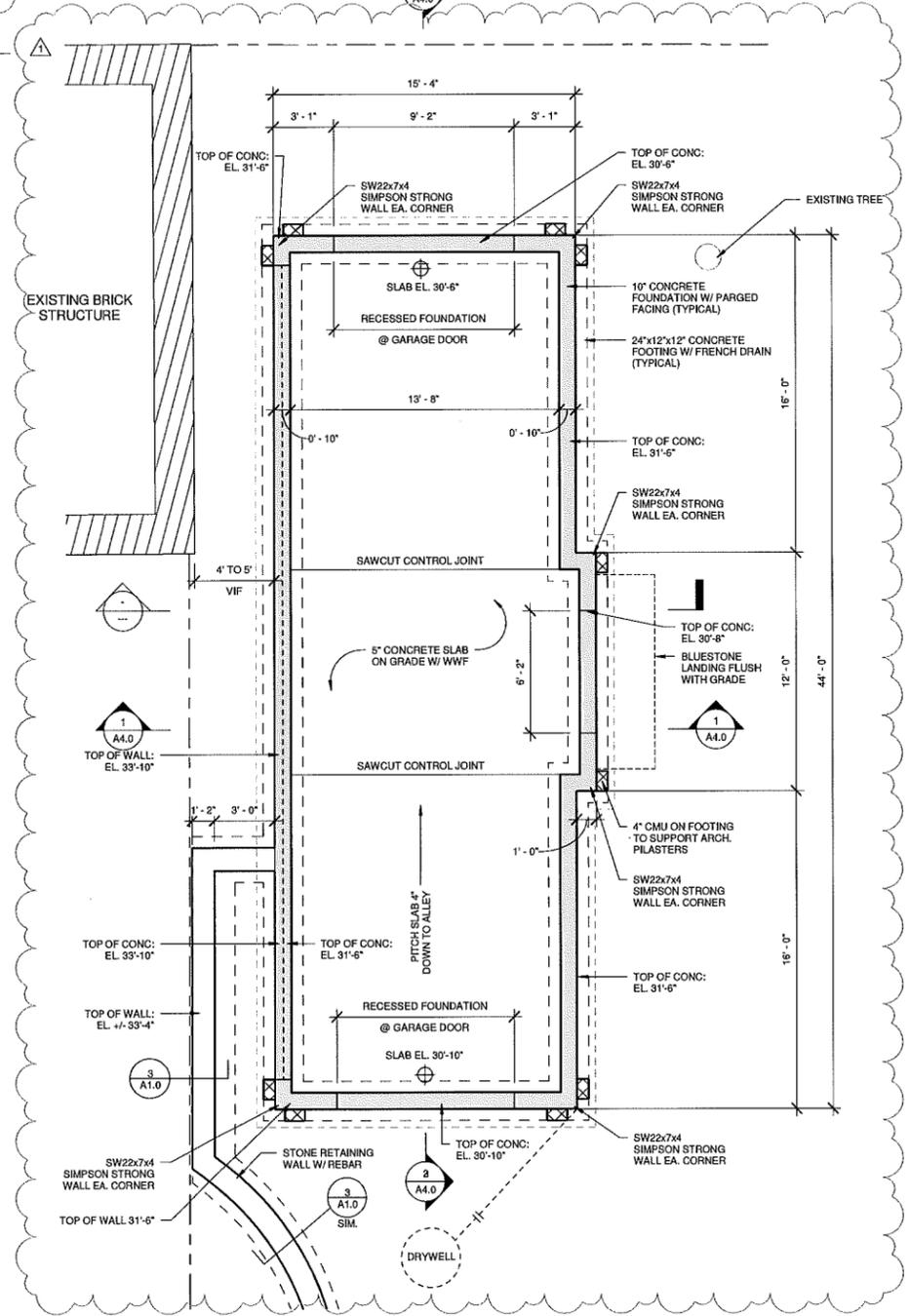
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② Roof Framing Plan
1/4" = 1'-0"



③ Stone Retaining Wall
1/2" = 1'-0"



① Foundation Plan
1/4" = 1'-0"

DIVISION 3 - CONCRETE

- CONCRETE & REINFORCING STEEL**
1. CONCRETE WORK AND REINFORCING STEEL SHALL COMPLY WITH THE BUILDING CODE FOR REINFORCED CONCRETE (ACI 318).
 2. ALL CONCRETE SHALL BE 4000 PSI AT 28 DAYS, 3/4" AGGREGATE, 4" MAXIMUM SLUMP.
 3. USE "HIT-HY 70" EPOXY ANCHORING SYSTEM FOR ATTACHING REINFORCING BARS TO EXISTING CONCRETE STRUCTURES.
 4. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 FOR BARS & A185 FOR WIRE MESH "WWF". LAP ALL REBAR 12" & WIRE TIE TO PREVENT MOVEMENT DURING POUR.
 5. PROVIDE CLEAR COVER FROM REINFORCING STEEL TO ADJACENT CONCRETE SURFACES AS FOLLOWS BOTTOM OF FOOTINGS: 3" PIERS & WALLS; 2" PROVIDE ADDITIONAL 90 DEGREE BENT BARS AT CORNERS TO MATCH HORIZONTAL STEEL.
 6. ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 55, MIN. 6" EMBEDMENT, 2" HOOK, ANCHOR SILLS TO TOP OF FOUNDATION WALL WITH 5/8" DIAMETER AT 48" ON CENTER WITH ONE EACH CORNER.
 7. DOWELS SHALL BE ASTM F1554 GRADE 55, MIN. #5 REBAR, 24" LONG WITH 8" EMBEDMENT/POWED AT 24" ON CENTER.
 8. SLAB REINFORCING SHALL BE 6X6-W1.4XW1.4 WWF, FLAT SHEETS, WITH 8" LAP & 2" COVER.
 9. DO NOT PLACE CONCRETE IN WET, PUDDLED OR FROZEN CONDITIONS. EXCAVATION SHALL BE DRY.
 10. PROVIDE ELECTRICAL GROUND TO FOOTING REBAR AS REQUIRED.
 11. PROVIDE CONTROL JOINTS IN BASEMENT SLAB, 25'X25'-1/2'.
 12. PROVIDE DAMP PROOFING AT FOUNDATION WALLS BELOW GRADE.
 13. SEE FOUNDATION DRAWINGS FOR ADDITIONAL INFORMATION.
 14. SCHEDULE REBAR & FORM WORK INSPECTIONS W/ ARCHITECT & ENGINEER.

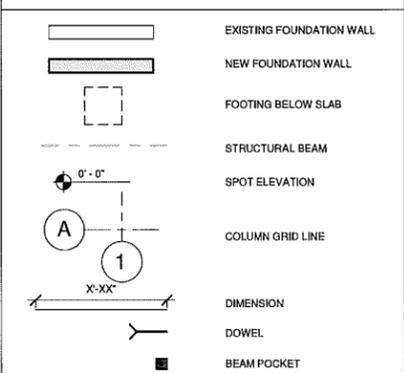
DIVISION 4 - MASONRY

1. CONCRETE MASONRY UNITS (CMU) SHALL COMPLY WITH ASTM C140 & CLAY BRICK MASONRY UNITS SHALL COMPLY WITH ASTM C215.
2. PLAN & COORDINATE WORK WITH BUILDING SYSTEMS CONTAINED WITHIN MASONRY WORK.
3. BUILT-IN MASONRY FLASHING SHALL BE COPPER UNLESS OTHERWISE NOTED.
4. COORDINATE ANY REQUIRED EXPANSION/CONTROL JOINTS W/ ARCHITECT PRIOR TO INSTALLATION.
5. MASONRY COURSES WITHIN 8" OF GRADE & BELOW SHALL HAVE FULLY GROUTED CAVITIES W/ THRU-WALL FLASHING ABOVE.
6. CHIMNEYS & FIREPLACES SHALL BE BUILT IN ACCORDANCE WITH MA STATE BUILDING CODE.
7. COORDINATE CHIMNEY CONSTRUCTION WITH FRAMING TO ENSURE REQUIRED CLEARANCES & BRACING.

DIVISION 5 - METALS

1. STRUCTURAL STEEL TO INCLUDE WF SHAPE SIZED ON DRAWINGS AND 3/16" O.D. LALLY COLUMNS WITH WELDED CAP AND BASE PLATES. FOUNDATION BASE PLATES TO BE 9"X9"X1/2" UNLESS OTHERWISE SPECIFIED. FABRICATION SHALL BE BY A QUALIFIED STRUCTURAL STEEL FABRICATOR.
2. ORNAMENTAL METALWORK SHALL COMPLY WITH THE NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURER'S STANDARDS.
3. PROVIDE MISCELLANEOUS SUPPORTS AS SHOWN ON THE ARCHITECTURAL DRAWINGS.

FOUNDATION LEGEND



PRELIMINARY PRICING - NOT FOR CONSTRUCTION

CLIENT
FELDMAN RESIDENCE
16 MONMOUTH STREET,
BROOKLINE, MA

ARCHITECT
Colin Smith Architecture, Inc.
1666 Massachusetts Ave.
Lexington, MA 02420
781.274.0955

STRUCTURAL
Michael E. Waterman, PE
Austin Kelly Lane
Southborough, MA 01772
508-229-3100

PROJECT NAME
FELDMAN RESIDENCE
16 MONMOUTH STREET,
BROOKLINE MA 02446

#	Date	Revision	Description
1	11/20/14	1	Issue for Foundation, Rebar, Form

SHEET NUMBER
Foundation Plan & Roof Framing Plan

ISSUE DATE: 11-11-14
SCALE: As Indicated
DRAWN BY: CJB

SHEET NUMBER
A1.0

DIVISION 6 - WOOD & PLASTICS

- INTERIOR FINISH CARPENTRY**
- INTERIOR WALL BASE, DOOR CASINGS, WINDOW TRIM AND DECORATIVE BEAM WORK SHALL BE INSTALLED IN ACCORDANCE WITH AWI STANDARDS FOR "CUSTOM GRADE" WOODWORK.
 - UNLESS OTHERWISE SPECIFIED, MOULDING #3 REFERENCE ANDERSON & MCGUIAD (A&M).
 - PROVIDE SHOP DRAWINGS & CUT SHEETS OF PREFABRICATED ITEMS FOR APPROVAL.
 - SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
 - INTERIOR STAIRS AND RAILINGS TO MEET MA BUILDING CODE, SEE STAIR NOTES.
 - WOOD FOR INTERIOR USE SHALL HAVE A MOISTURE CONTENT BETWEEN 5 AND 10 PERCENT, WHEN DELIVERED TO THE PROJECT.
 - ALL INTERIOR WOOD SHALL BE STORED IN CLIMATE CONTROLLED JOBSITE ROOM FOR 1 WEEK PRIOR TO INSTALLATION.

- MILLWORK**
- THE MILLWORK OR CABINET SUPPLIER SHALL TAKE FIELD MEASUREMENTS BEFORE PREPARATION OF SHOP DRAWINGS TO ENSURE PROPER FITTING OF WORK & SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
 - THE SUPPLIER IS RESPONSIBLE FOR DETAILS AND DIMENSIONS NOT CONTROLLED BY PROJECT CONDITIONS AND SHALL SHOW ON HIS SHOP DRAWINGS ALL REQUIRED FIELD MEASUREMENTS BEYOND HIS CONTROL.
 - THE CONTRACTOR SHALL ACKNOWLEDGE THE SUPPLIER'S NEED FOR ACCURATE FIELD DIMENSIONS PRIOR TO CUSTOM FABRICATION.
 - THE CONTRACTOR AND THE SUPPLIER SHALL COOPERATE TO ESTABLISH AND MAINTAIN THESE FIELD DIMENSIONS.
 - QUALITY STANDARD: PROVIDE AWI "PREMIUM GRADE" FOR WORKMANSHIP AND MATERIALS.
 - PROVIDE LARGE SCALE SHOP DRAWINGS FOR FABRICATION, INSTALLATION AND COORDINATION. PROVIDE LARGE SCALE DETAIL PLANS, ELEVATIONS, ANCHORAGES AND ACCESSORY ITEMS. PROVIDE FINISH SAMPLES FOR REVIEW AND APPROVAL.
 - MATERIAL FOR EACH MATERIAL TYPE PROVIDE PRIMARY MATERIALS WHICH ARE PRODUCT OF ONE MANUFACTURER. PROVIDE SECONDARY OR ACCESSORY MATERIALS WHICH ARE ACCEPTABLE TO MANUFACTURERS OF PRIMARY MATERIALS.
 - SOLID WOOD
 - 5/4 POPLAR (PAINTED)
 - 5/4 CLEAR WOOD IN CUT & SPECIES SPECIFIED (STAINED)
 - PLYWOOD
 - 3/4 LW MAPLE
 - 1 1/2 CLEAR WOOD IN CUT & SPECIES SPECIFIED (STAINED)
 - PRE-LAM. / LOCKE LAM
 - PREFINISHED MAPLE EDGE BAND (PAINTED)
 - DOOR CONSTRUCTION: COPE & STICK WITH PROFILE DRAWER BOX CONSTRUCTION: SOLID MAPLE DOVETAIL
 - CASEWORK JOINERY: FABRICATE CASEWORK TO HAVE FEWEST POSSIBLE SEAMS. LOCATE SEAMS ON SHOP DRAWINGS AS APPROVED BY ARCHITECT. DO NOT USE ANY EXPOSED FASTENERS OR CONNECTORS. USE CONCEALED BOLTS TO HOLD SEAMS AND JOINTS HAIRLINE AND LIGHTPROOF TIGHT.
 - PREPARATION FOR RELATED WORK: PREPARE WORK FOR ALL RELATED APPLIANCES AND PLUMBING WORK. CUT HOLES TO FIT TEMPLATES OF APPLIANCES AND FIXTURES. TRIM OPENINGS SO THAT ALL CORE MATERIALS ARE COVERED WITH EDGEBANDING.
 - COMPLETE FABRICATION, INCLUDING ASSEMBLY, FINISHING AND OTHER CONSTRUCTION, BEFORE SHIPMENT TO PROJECT SITE TO MAXIMUM EXTENT POSSIBLE. DISASSEMBLE COMPONENTS ONLY AS NECESSARY FOR FITTING AT SITE. PROVIDE AMPLE ALLOWANCE FOR SCRIBING, TRIMMING AND FITTING.
 - INSTALL CABINET PANELS AND HARDWARE ONTO PANEL READY APPLIANCES AS APPLICABLE.
 - CABINET HARDWARE: SHOP PREP FOR HARDWARE, SEE SCHEDULE.
 - DRAWER BOXES - BLUM WITH BUMOTION OR EQUAL.
 - HINGES - BLUM CONCEALED SOFT CLOSE OR EQUAL.
 - SHELVING - ADJUSTABLE UNLESS NOTED OTHERWISE.
 - SHELVING PINS - HAFELE METAL PINS.
 - KNOBBS & PULLS TO BE SUPPLIED BY OWNER AND INSTALLED BY GC.
 - PAINTED FINISH: SHOP SPRAY SHERWIN WILLIAMS SHER-WOOD DEMVAR PLUS SURFACER BASE COAT AND THREE FINISH COATS SHER-WOOD CONVERSION VARNISH, FINAL COAT HAND APPLIED TO MEET KCMR STANDARDS. ALL EXTERIOR AND INTERIOR PANELS, FRONTS, CABINETS UNDERSIDES AND CARCASE INTERIOR.
 - STAINED FINISH: CUSTOM TINT WITH THREE FINISH COATS CLEAR VARNISH, FINISH COAT HAND APPLIED TO MEET KCMR STANDARDS. ALL EXTERIOR AND INTERIOR PANELS, FRONTS, CABINETS UNDERSIDES AND CARCASE INTERIOR.
 - REPAIR MINOR DAMAGE TO ELIMINATE ALL EVIDENCE OF REPAIR, REMOVE AND REPLACE WORK WHICH CANNOT BE SATISFACTORILY REPAIRED.
 - PROVIDE TEMPORARY PROTECTION TO ENSURE WORK BEING WITHOUT DAMAGE OR DETERIORATION AT TIME OF FINAL ACCEPTANCE. REMOVE PROTECTIONS AND RECLEAN AS NECESSARY IMMEDIATELY BEFORE FINAL ACCEPTANCE.

CLIENT
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781.274.0555

STRUCTURAL
Michael E. Waterman, PE.
Austin Kelly Lane
Southborough, MA 01772
508.225.3100

PROJECT NAME
FELDMAN RESIDENCE
16 MONMOUTH STREET,
BROOKLINE MA 02446

#	Date	Description
1	11-20-14	Final Foundation, Permit, Soil
2	11-20-14	Final
3		
4		
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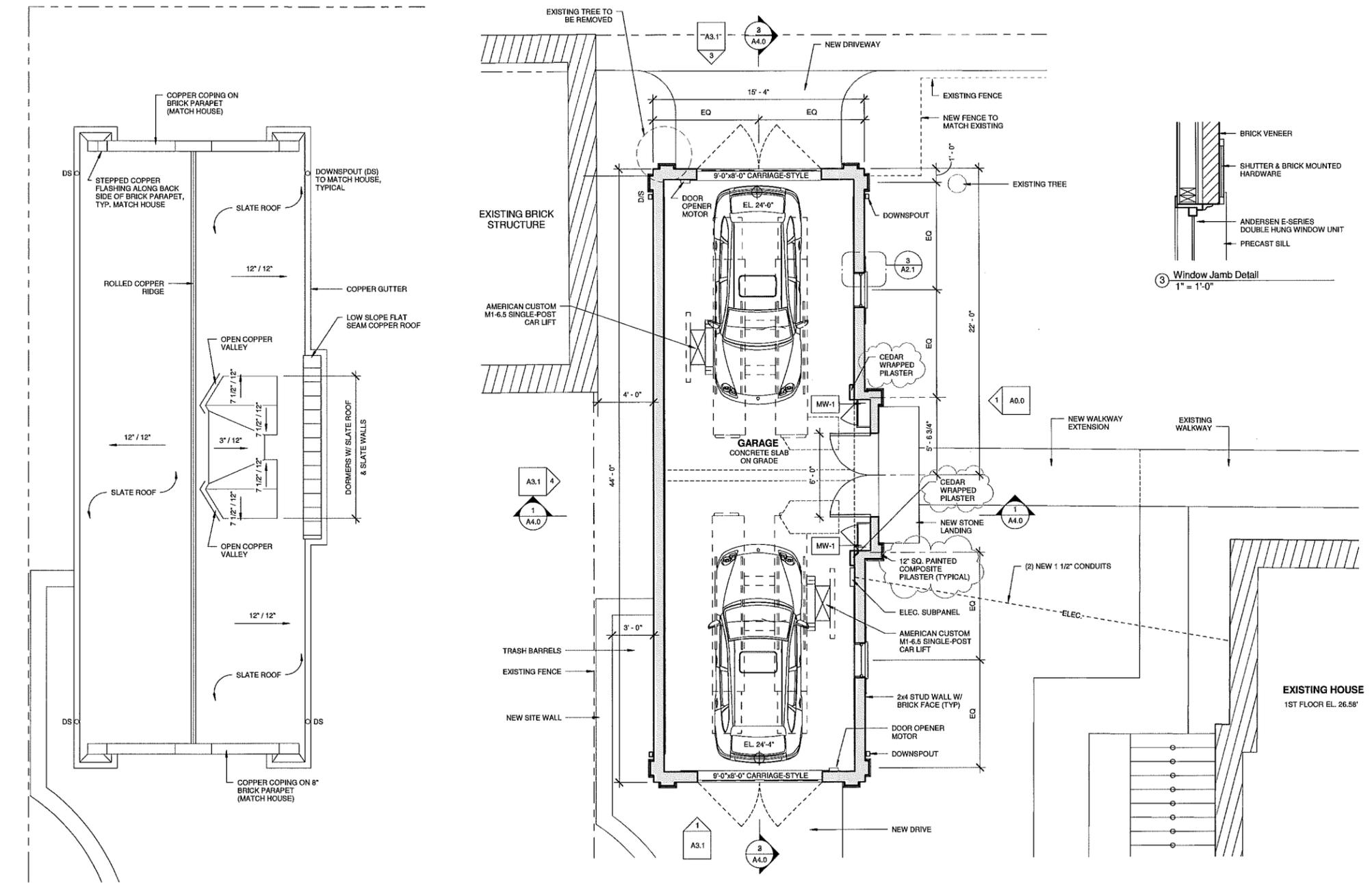
SEAL

SHEET NAME
Level One Floor Plan, Roof Plan & Detail

ISSUE DATE: 11-11-14
SCALE: As indicated
DRAWN BY: CJB

SHEET NUMBER
A2.1

PRELIMINARY PRICING - NOT FOR CONSTRUCTION



2 Roof Plan
1/4" = 1'-0"

1 First Floor Plan
1/4" = 1'-0"

11/20/2014 4:35:38 PM

DIVISION 6 - WOOD & PLASTICS

EXTERIOR FINISH CARPENTRY
 1. WOOD FOR EXTERIOR USE SHALL HAVE A MOISTURE CONTENT BETWEEN 9 TO 15 PERCENT, WHEN DELIVERED TO THE PROJECT.
 2. REFER TO OWNER'S STAIN/PAIN SCHEDULE.

CLIENT
 FELDMAN RESIDENCE
 16 MONMOUTH STREET,
 BROOKLINE, MA

ARCHITECT
 Colin Smith Architecture, Inc.
 1666 Massachusetts Ave.
 Lexington, MA 02420
 781.274.0955

STRUCTURAL
 Michael E. Waterman, PE.
 Austin Kelly Lane
 Southborough, MA 01772
 508-229-5100

PROJECT NAME
FELDMAN RESIDENCE
 16 MONMOUTH STREET,
 BROOKLINE MA 02446

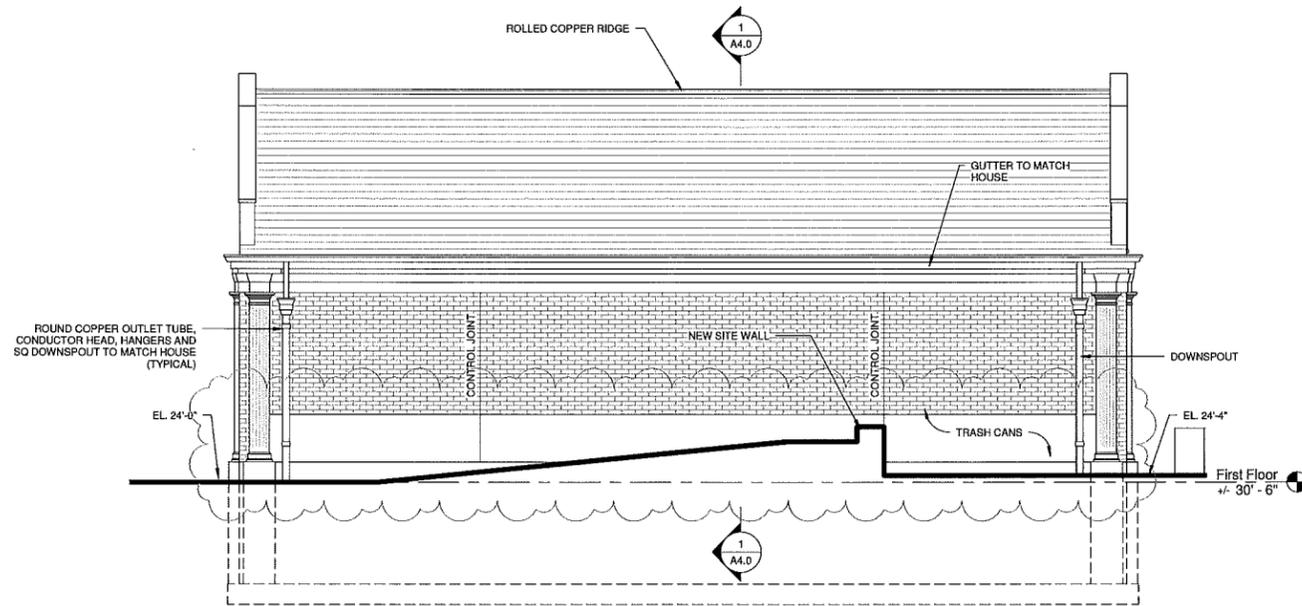
#	Date	Description
1	11/25/14	Issued for Construction, Revised, Detail Changes

SEAL

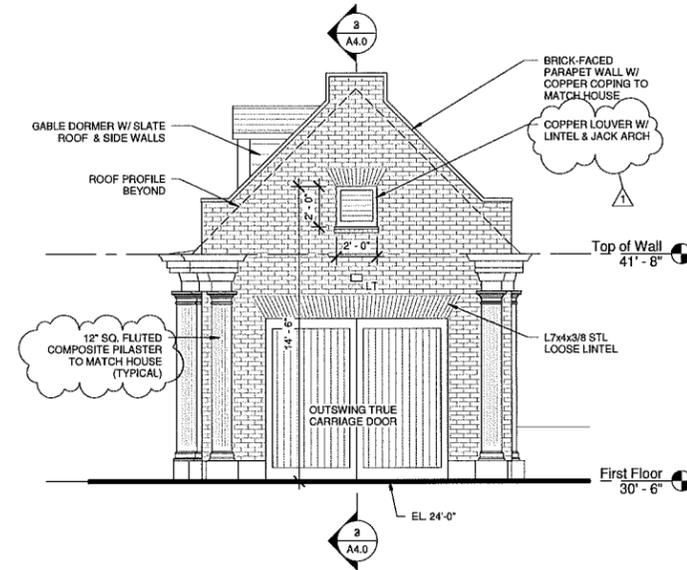
Exterior Elevations

ISSUE DATE: 11-11-14
 SCALE: As indicated
 DRAWN BY: CJB

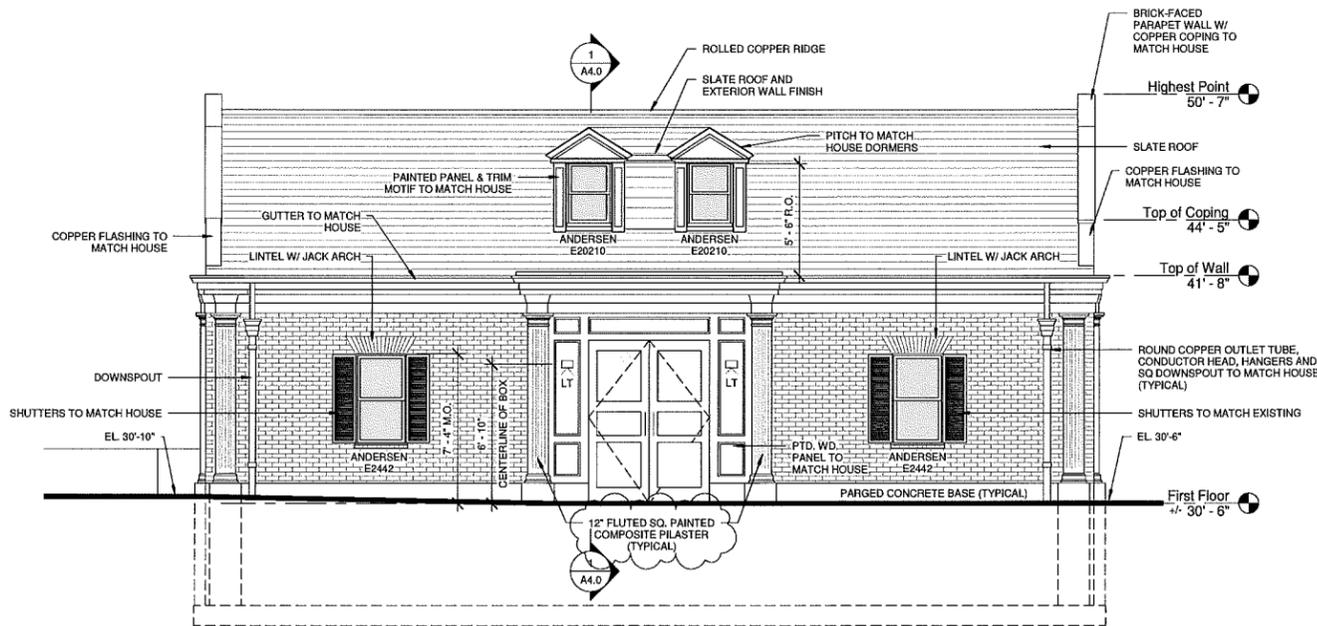
SHEET NUMBER
A3.1



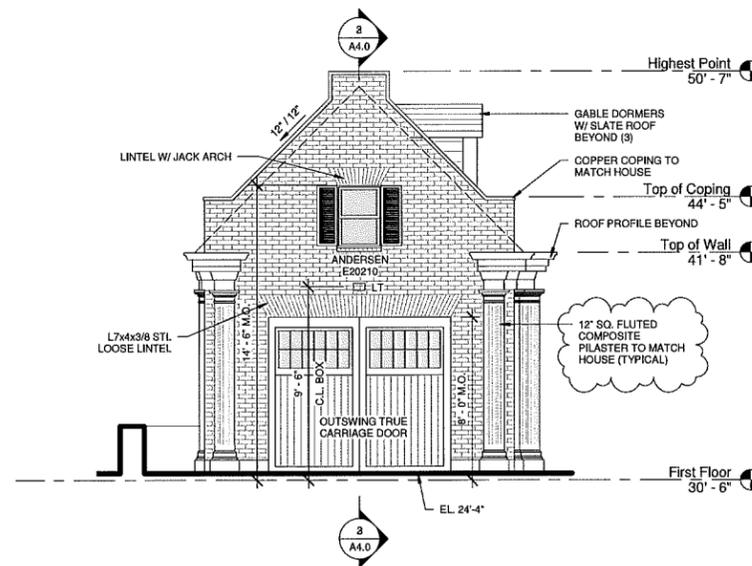
4 West Elevation
 1/4" = 1'-0"



3 Alley Elevation
 1/4" = 1'-0"



2 East Elevation
 1/4" = 1'-0"

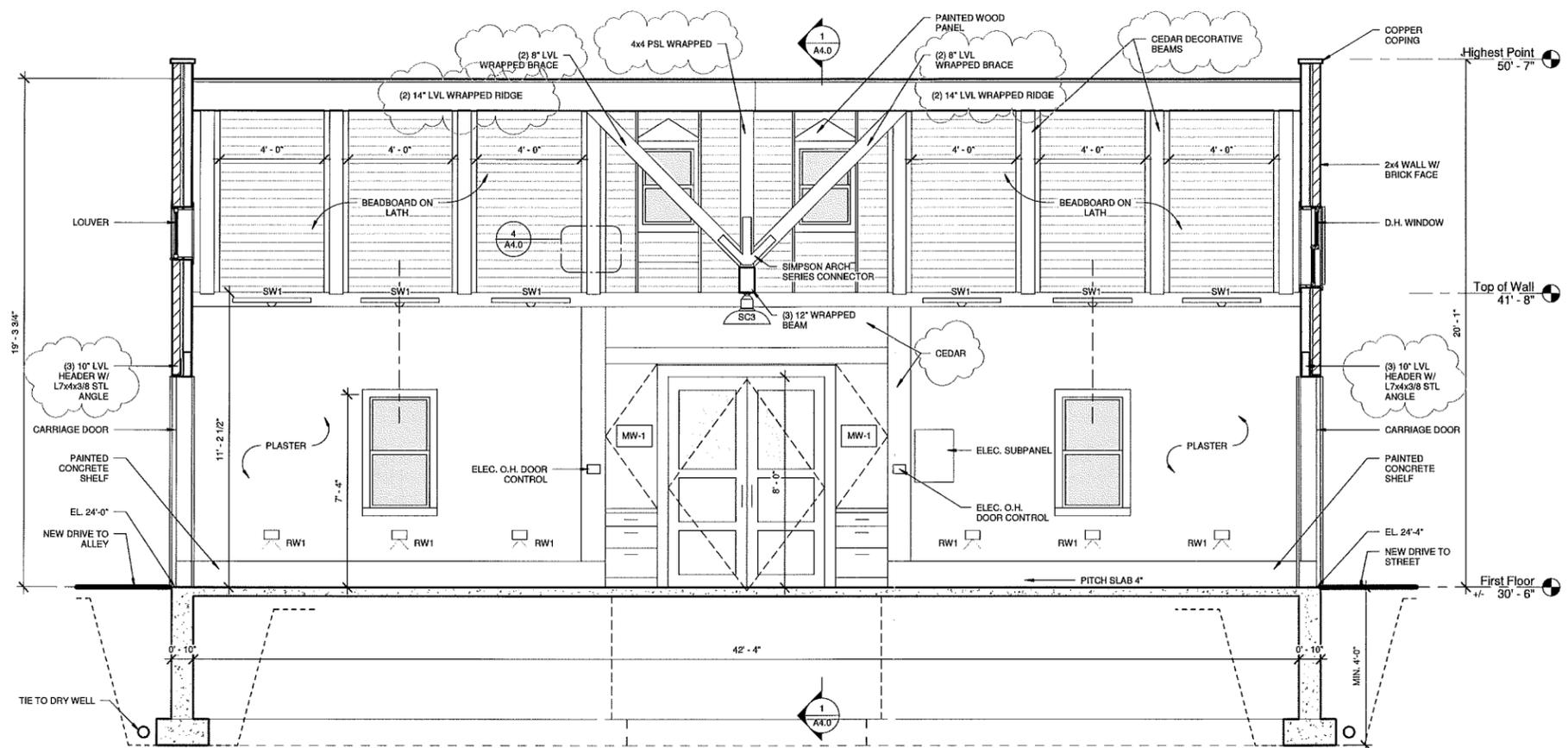


1 Monmouth St. Elevation
 1/4" = 1'-0"

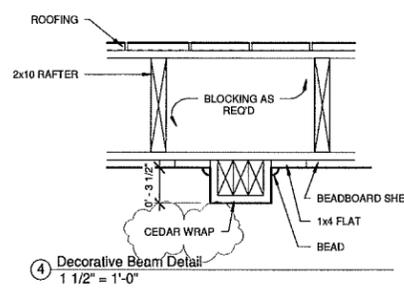
ELEVATION LEGEND

(XX) E (EGRESS) T (TEMPERED)	WINDOW TAG
X'-X"	DIMENSION
PLACEMENT ON SHEET SHEET NUMBER	BUILDING SECTION
PLACEMENT ON SHEET SHEET NUMBER	DETAIL
XXX 0'-0"	LEVEL
0'-0"	SPOT ELEVATION
(cloud symbol)	REVISION

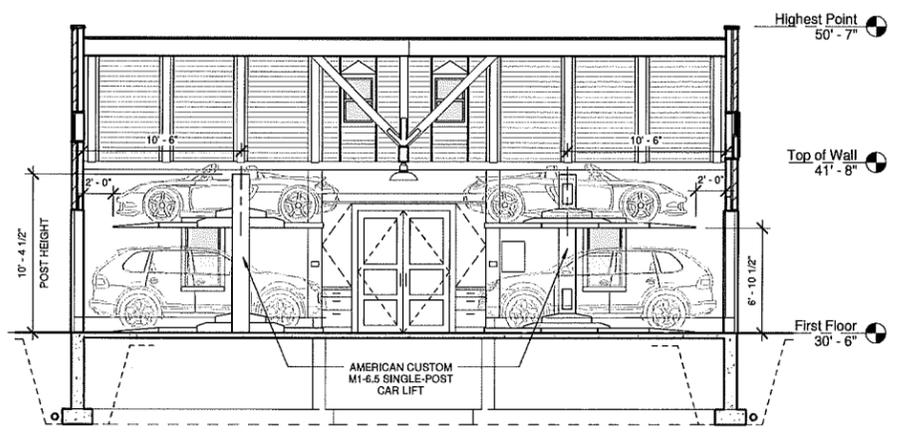
PRELIMINARY PRICING - NOT FOR CONSTRUCTION



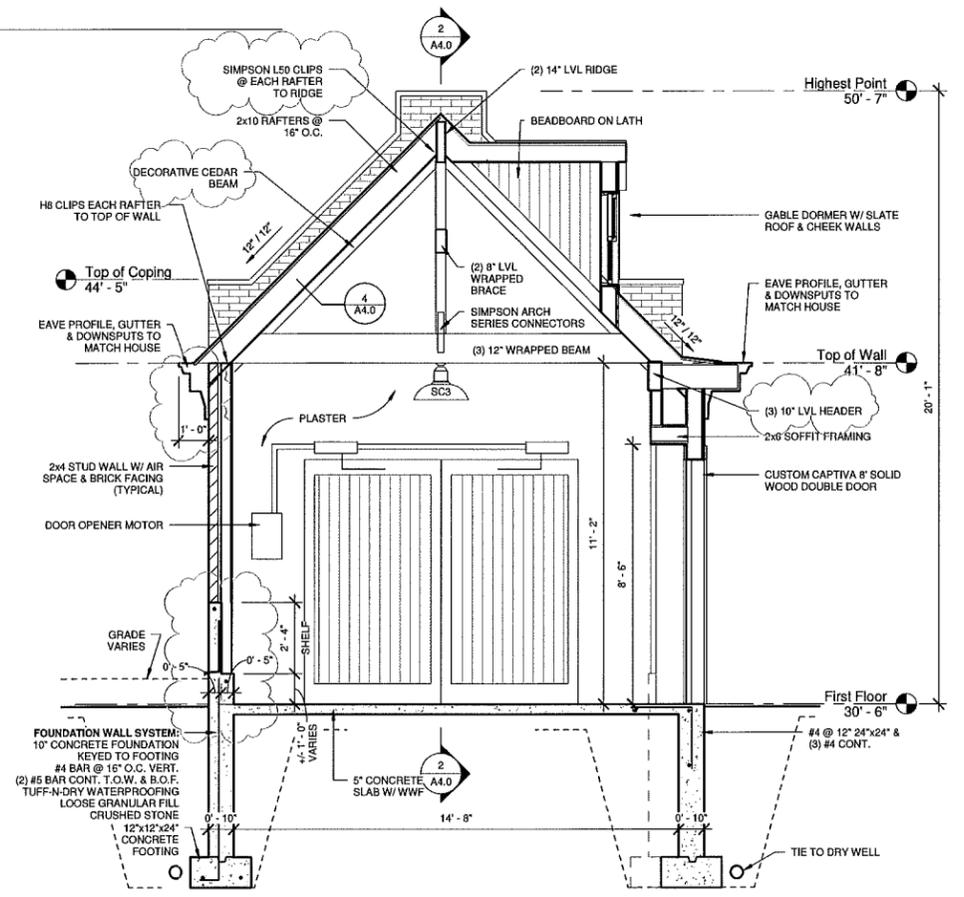
2 Garage Section 'B'
3/8" = 1'-0"



4 Decorative Beam Detail
1 1/2" = 1'-0"



3 Car Lift Diagram
3/16" = 1'-0"



1 Garage Section 'A'
3/8" = 1'-0"

DIVISION 6 - WOOD & PLASTICS

- STAIR NOTES**
1. VERIFY DIMENSIONAL OPENING FOR STAIR PRIOR TO CONSTRUCTION OF FLOOR FRAMING.
 2. STAIRWAYS SHALL BE NOT LESS THAN 36" WIDE AT ALL POINTS ABOVE THE HANDRAIL AND BELOW THE REQUIRED HEADROOM.
 3. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIR AND SHALL NOT REDUCE THE STAIR WIDTH TO LESS THAN 31.5" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND NOT LESS THAN 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
 4. RISERS SHALL NOT EXCEED 8.25".
 5. THE MINIMUM TREAD DEPTH SHALL BE NOT LESS THAN 9".
 6. RISER HEIGHTS WITHIN A RUN SHALL BE EXACTLY THE SAME.
 7. THE MINIMUM HEADROOM AT ALL PARTS OF THE STAIRWAY SHALL BE 6' 8".
 8. HANDRAILS SHALL HAVE A HEIGHT OF 34" - 38" FROM TREAD NOSING.
 9. HANDRAILS AT WALLS SHALL HAVE A CLEAR DIMENSION OF 1.5" MIN. FROM WALL.
 10. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
 11. OPEN SIDES OF STAIRS SHALL HAVE GUARDS NOT LESS THAN 34" ABOVE THE NOSING.
 12. WHERE GUARDS ARE REQUIRED, INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES SHALL BE PROVIDED THAT DO NOT ALLOW A PASSAGE OF A 4" SPHERE. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.
 13. THE TRIANGULAR SPACE FORMED BY THE TREAD AND RISER OF THE STAIR SHALL BE SUCH THAT A 6" SPHERE SHALL NOT PASS.
 14. IF THE ENCLOSED SPACE BELOW A STAIR IS TO BE USED, PROVIDE 5/8" TYPE X GYPSUM BOARD ALL AROUND STAIR ENCLOSURE.
 15. PRE-MANUFACTURED SPIRAL STAIRS SHALL COMPLY WITH IRC R314.5. MINIMUM WIDTH SHALL BE 26" W/ EACH TREAD HAVING A 7 1/2" MIN. TREAD AT 12" FROM THE NARROWER EDGE. ALL TREADS SHALL BE IDENTICAL, AND THE RISE SHALL BE NO MORE THAN 9 1/2". A MIN. HEADROOM OF 6'-0" SHALL BE PROVIDED.
 16. HANDRAILS MUST MEET MA CODE GRIP SIZE I OR II.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

- DAMP-PROOFING**
1. FOUNDATION WALL DAMP-PROOFING SHALL BE TUFF-N-DRY, OR APPROVED EQUAL.
 2. APPLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, BUT IN NO CASE AT TEMPERATURES BELOW 40 DEGREES F DURING OR WITHIN 24 HOURS OF APPLICATION.
- AIR BARRIER, INSULATION & VAPOR BARRIER**
1. AIR BARRIER: INSTALL IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 2. R VALUES: SEE "BUILDING ENVELOPE" DETAIL/SPECS.
 3. BATT INSULATION: FIBERGLASS BATTS BY OWENS CORNING OR APPROVED EQUAL.
 4. LOOSE-FILL INSULATION: PINK BY OWENS CORNING OR APPROVED EQUAL.
 5. BELOW SLAB RIGID INSULATION TO BE 2" THICK 60PSF DECKMATE BY STYROFOAM OR EQUAL, WITH 6 MIL POLY VAPOR BARRIER, LAP JOINTS 8".
 6. PROVIDE BATT INSULATION AT ALL BATHROOMS AND LAUNDRY ROOM.
 7. FOAM INSULATION MAY NOT BE EXPOSED IN AN ATTIC SPACE. USED FOR STORAGE OR HABITABLE SPACE AND SHALL COMPLY WITH IRC.

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16 MONMOUTH STREET,
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FELDMAN RESIDENCE
16 MONMOUTH STREET,
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#	Date	Description
1	11/23/14	Issued for Foundation, Footing, Roof Overlaid

SEAL

Building Sections

ISSUE DATE: 11-11-14
SCALE: As Indicated
DRAWN BY: CJB

SHEET NUMBER
A4.0

PRELIMINARY PRICING -
NOT FOR CONSTRUCTION