



# Town of Brookline

## Massachusetts

### PLANNING BOARD

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Mark J. Zarrillo, Chairman  
Linda K. Hamlin, Clerk  
Robert Cook  
Steven Heikin  
Steven Kanes  
Jonathan Simpson  
Mark Zarrillo

To: Brookline Board of Appeals

From: Brookline Planning Board

Date: March 12, 2015

Subject: **Expand front porch**

Location: 21 Loveland Road

Atlas Sheet:	62	Case #:	2014-0075
Block:	269	Zoning:	T-5
Lot:	05-13	Lot Area (s.f.):	±5,349

Board of Appeals Hearing: April 9, 2015 at 7:15 p.m.

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### **BACKGROUND**

July 26, 2011 – Symon Realty Trust submitted an ANR Subdivision Plan application to subdivide the existing parcel on 29 Loveland Road into three lots. The Planning Board endorsed the subdivision plan as approval is not required (8/5/2011).

BOA Case 2013-0020, May 21, 2013 – The Zoning Board of Appeals granted special permit relief to construct an 80 square foot garden shed within required side and rear-yards.

### **SITE AND NEIGHBORHOOD**

21 Loveland Road is a single-family dwelling that was constructed in 2011. The Preservation Commission imposed a one year stay of demolition on four buildings that were on the now subdivided lot. After June 10, 2010, the owner applied to the Building Department for permits for demolition. The buildings have since been demolished and new dwellings have been constructed on the three new lots. Loveland Road is part of an area in Brookline known as the *Settlement*, because of its origins as a neighborhood settled by Irish immigrants, which began in the 1840s. The area was developed with modest single-family cottages. The Settlement can be accessed from Boylston Street, and is largely comprised of T-5 zoning. A 50' wide subsurface

easement for the Dorchester Tunnel runs directly beneath the lot, and under the dwelling.

**APPLICANT’S PROPOSAL**

The applicant is proposing to construct an attached covered porch at the front of the home. The porch will extend from the existing front entryway toward the side property line to the east. Porch materials will match the existing rear deck, constructed of ipe wood, and the shingled overhang above the existing entryway. The porch extension is approximately 6’ x 8’-7 ¼” and is set back approximately 10.5 feet from the front property line.

**FINDINGS**

**Section 5.43 – Exceptions to Yard and Setback Regulations**

**Section 5.50 – Front Yard Requirements**

Dimensional Requirements	Required	Proposed	Relief
<b>Front Yard Setback</b>	15 feet	10’ 6”	Special Permit*
<b>Side Yard Setback (east)</b>	7.5 feet	10’ 4” feet	Complies

\*Under *Section 5.43*, the Board of Appeals may waive yard and setback requirements if counterbalancing amenities are provided.

**Modification, as required, of BOA case #2013-0020, May 20, 2012**

A special permit is required to modify BOA case #2013-0020. The applicant is seeking additional relief from dimensional requirements.

**PLANNING BOARD COMMENTS**

The Planning Board is supportive of the proposal to construct a covered front porch at 21 Loveland Road. The porch is minimal in size (approx. 50 s.f.), and is not expected to detract from the neighborhood. Dwellings at 23-25 and 27-29 Loveland Road maintain small front porches that are similar in design to this proposal. These abutting dwellings were constructed following the same parcel subdivision in 2011.

Abutting residents have expressed formal support for this front-porch proposal however no counterbalancing amenities for front-yard setback relief have been identified by the applicant. The Planning Board also noted that submitted site and floor plans are inconsistent regarding a gap between the proposed porch extension and existing front stairs. These plans should be updated prior to the ZBA hearing scheduled for April 9, 2015 in order to reconcile all discrepancies.

**Therefore, the Planning Board recommends approval of plans submitted by Sousa Design, dated 3/12/15, and the site plan submitted by Peter Nolan, dated 3/4/15, subject to the following conditions:**

1. Prior to the issuance of a building permit, the applicant shall submit a final site plan, floor plans, and elevations, subject to review and approval by the Assistant Director of Regulatory Planning.

2. Prior to the issuance of a building permit, the applicant shall submit a final landscaping plan indicating all counterbalancing amenities, subject to review and approval by the Assistant Director for Regulatory Planning.
3. Prior to issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval to ensure conformance to the Board of Appeals decision: 1) final floor plans and elevations, stamped and signed by a registered architect; 2) a final site plan, stamped and signed by a registered engineer or land surveyor; and 3) evidence the Board of Appeals decision has been recorded at the Registry of Deeds.

*jr*



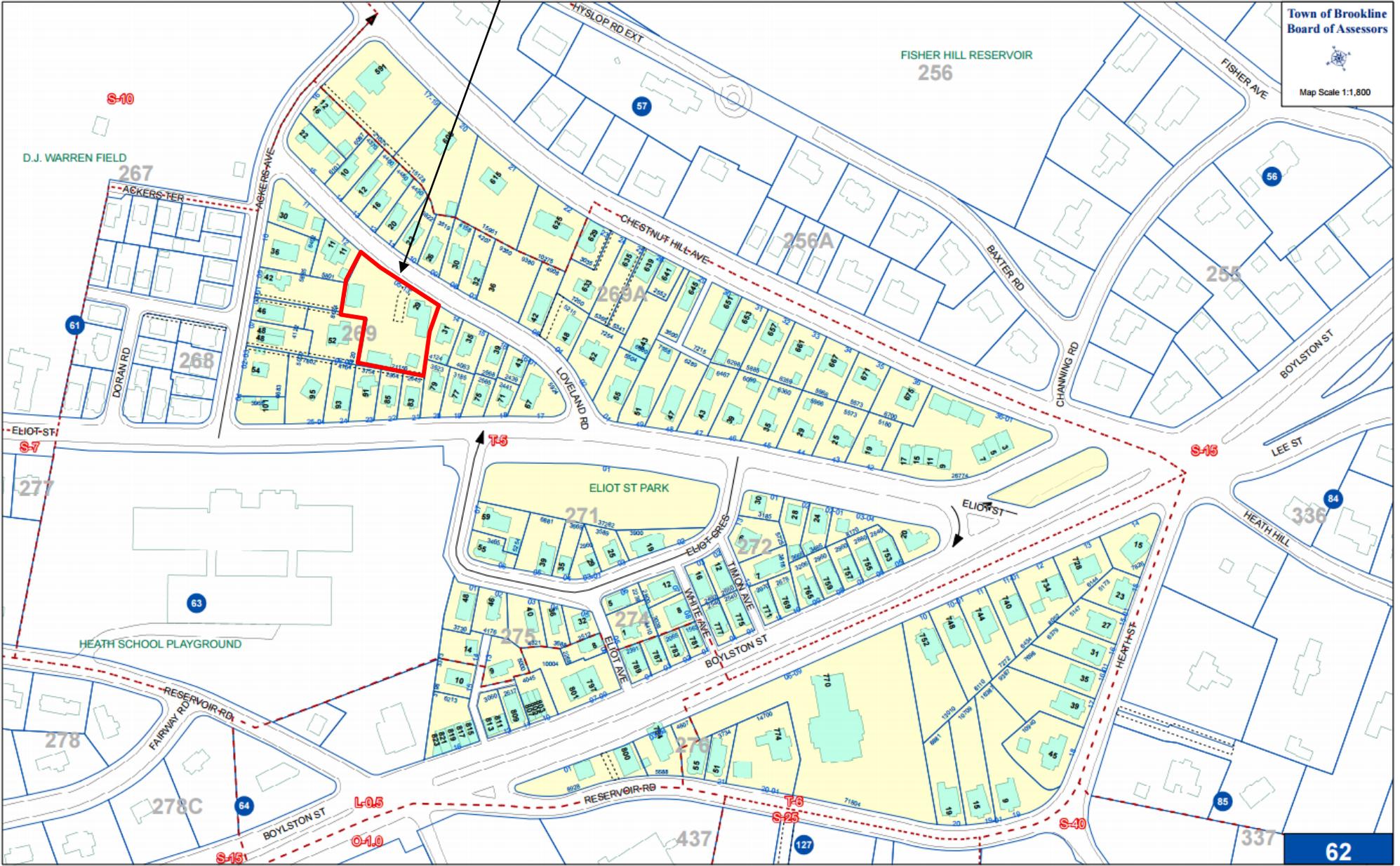
21 Loveland Road front façade

21 Loveland Road—Prior to 2011 Subdivision

Town of Brookline  
Board of Assessors



Map Scale 1:1,800



Map data updated Feb 2010 by Town of Brookline GIS and printed on 04/08/2010

**21 Loveland Road**

Brookline, MA 02445

ALL DRAWINGS, SPECIFICATIONS AND ARCHITECTURAL DESIGNS ARE THE PROPERTY OF SOUSA DESIGN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON THIS OR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK AND SHALL ACCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT.

EACH CONTRACTOR SHALL SUBMIT TO SOUSA DESIGN ARCHITECTS FOR APPROVAL SHOP DRAWINGS, SAMPLES, CUTS OF ALL THE ITEMS OF WORK PRIOR TO THEIR INCLUSION IN THE CONSTRUCTION. ALL ITEMS TO BE INCLUDED SHALL BE APPROVED FOR USE IN THE TOWN OF BROOKLINE AND SHALL HAVE AN ASTM AND UL NUMBER WHEN SUCH ITEMS REQUIRE THIS DESIGNATION. EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS.

THE QUALITY OF WORKMANSHIP AND MATERIALS USED SHALL COMPLY WITH ALL TOWN OF BROOKLINE AND MA STATE BUILDING CODES. DRAWINGS SUBJECT TO APPROVAL BY ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION ALL NEW CONSTRUCTION TO COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY LAWS.

**ISSUED FOR:**

**SOUSA design Architects**

81 Boylston St., 2nd Floor  
Brookline, MA, 02445  
617.739.8108  
www.sousadesign.com

Job # 1502

Drawn by P.W. Ckd by S.A.S.

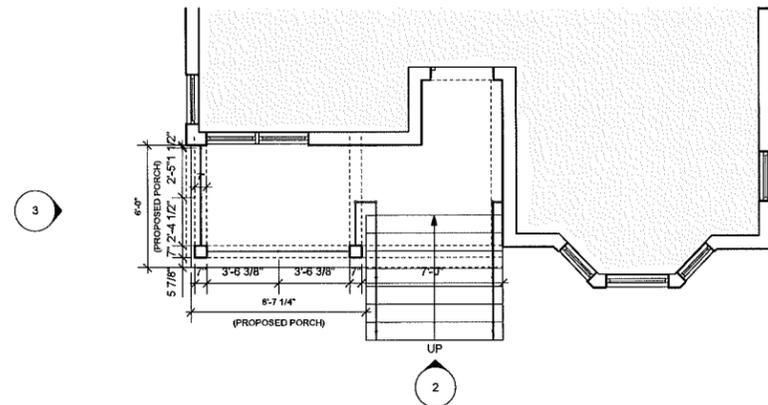
Date 03.12.2015

**Revisions**

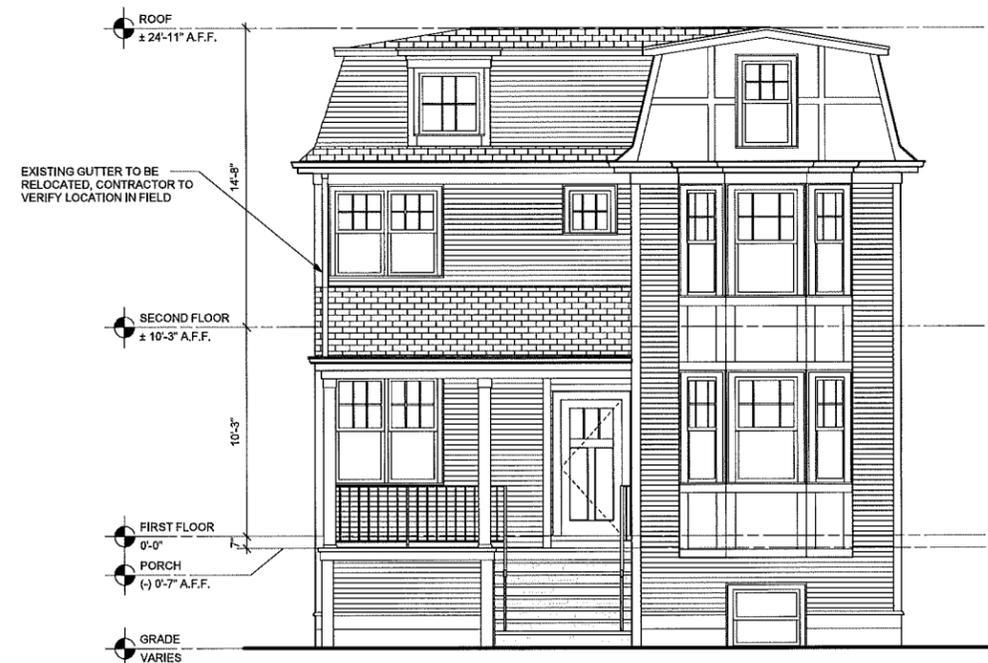
No.	Description

**EXTERIOR ELEVATIONS**

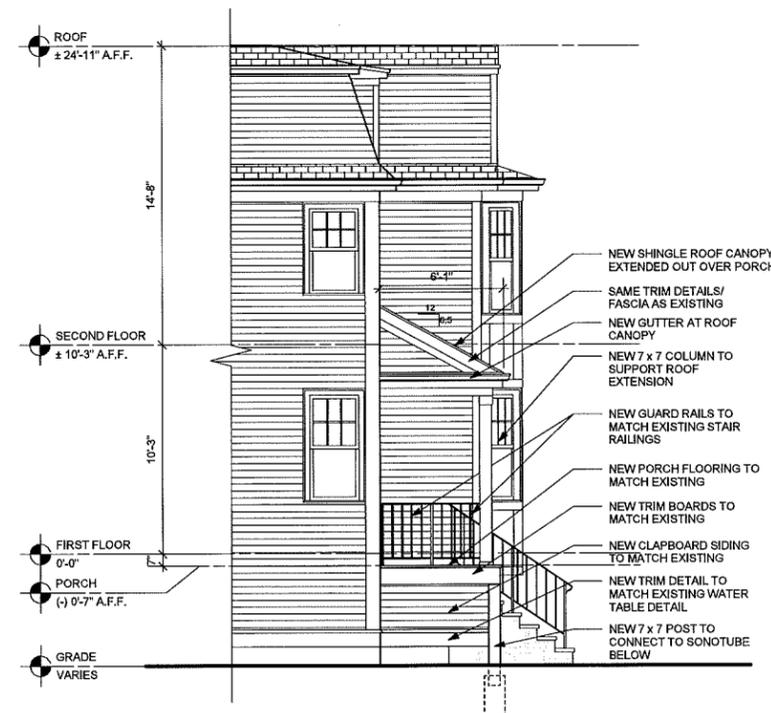
**A-2.1**



**1 PROPOSED PORCH PLAN**  
Scale: 1/4" = 1'-0"



**2 FRONT EXTERIOR ELEVATION**  
Scale: 1/4" = 1'-0"

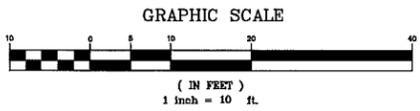


**3 SIDE EXTERIOR ELEVATION**  
Scale: 1/4" = 1'-0"

ZONING LEGEND			
ZONING DISTRICT: T 5 - ONE FAMILY DETACHED DWELLING			
	REQUIRED	PROPOSED	COMPLIANCE
MIN. AREA	4,000 S.F.	5,349± S.F.	YES
MIN. YARD FRONT	15'	10.6'	BY VARIANCE
SIDE	7.5'	10.4'	YES
REAR	30'	30.9'	YES
MIN. OPEN SPACE <small>USABLE</small>	30%	57%	YES
MIN. OPEN SPACE <small>LANDSCAPE</small>	10%	54%	YES
MIN. LOT WIDTH	40'	46'	YES
MAX. BLDG. HEIGHT	35'	25'±	YES

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 03-02-15.
2. DEED REFERENCE BOOK 29814 PAGE 480, NORFOLK DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25021C0034E, PANEL NUMBER 0034E, COMMUNITY NUMBER: 250234, DATED JULY 17, 2012.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.



LOVELAND ROAD  
(PUBLIC WAY- 40' WIDE)

SCALE 1"=10'			
DATE 03/04/15	REV	DATE	REVISION
SHEET 1	21 LOVELAND ROAD BROOKLINE MASSACHUSETTS		
PLAN NO. 1 OF 1	PROPOSED PLOT PLAN		
CLIENT: LAURA EHLERS			
DRAWN BY IK	SHEET NO. <b>1</b>		
CHKD BY P.J.N.	<b>PETER NOLAN &amp; ASSOCIATES LLC</b> LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com		
APPD BY P.J.N.			