



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Sergio Modigliani
Jonathan Simpson
Mark J. Zarrillo

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: March 12, 2015
Subject: Finish basement area and add interior elevator for two-family dwelling
Location: **281 Mason Terrace**

Atlas Sheet:	18	Case #:	2015-0004
Block:	085	Zoning:	S-7
Lot:	89	Lot Area (s.f.):	8,220

Board of Appeals Hearing: April 2, 2015 at 7:15 pm

BACKGROUND

December 5, 2013: The Board of Appeals allowed the applicant to withdraw without prejudice an application to finish basement space in the existing two-family dwelling. The current proposal is the same as the revised 2013 proposal.

Spring 2014: The applicant submitted a warrant article (#20) to Town Meeting seeking to rezone 273, 277, and 281 Mason Terrace from S-7 to T-6. Town Meeting voted "No Action" on this warrant article.

SITE AND NEIGHBORHOOD

281 Mason Terrace is a two-family dwelling that was built in 1920. The property is located in a single-family district north of Beacon Street, off of Summit Avenue near Brighton. There is a two-car garage located to the rear of the property. Each of the units is designated one parking space within the garage, and there is another parking space immediately behind the building. The parking is accessed by a common driveway shared with 277 Mason Terrace. Surrounding uses are residential, mainly single- and two-family dwellings.

APPLICANT'S PROPOSAL

The applicant, Dan Simkovitz and Juliette Landesman, are proposing to finish the basement and

construct an interior elevator. The proposal will increase the total floor area of the building by 1,335 square feet in the basement by finishing existing space. New windows will be constructed along the west elevation along with a new window well that stretches the length of the building. Glass walls will be constructed at the rear at the basement level.

FINDINGS

Section 5.20 – Floor Area Ratio

Floor Area	Allowed	Existing	Proposed	Finding
Floor Area Ratio (% of allowed)	.35 (100%)	.62 (177%)	.78 (224%)	Variance
Floor Area (s.f.)	2,877	5,107 s.f.	6,442 s.f.	

Section 8.02.1 and 8.02.2 – Alteration or Extension

A special permit is required to extend this non-conforming use (two-family in an S-7 zoning district) and alter this non-conforming structure.

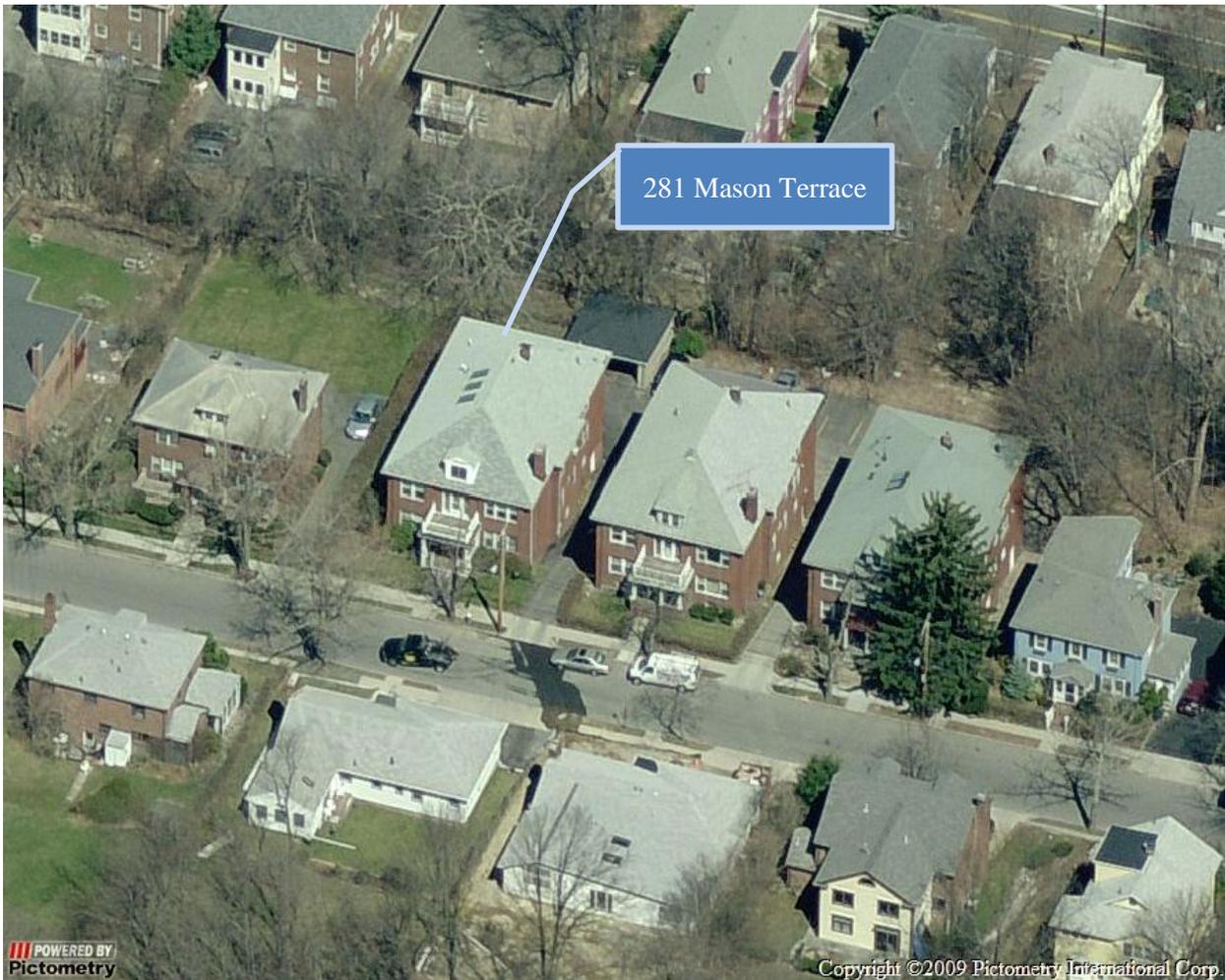
PLANNING BOARD COMMENTS

The Planning Board is not opposed to the proposal to increase the floor area in the existing two-family dwelling. The structure has extensive basement-level space that can be finished with relatively little impact on neighboring structures. However, the long retaining wall along the building's west façade would be rather close to the property's side yard. Significant screening landscaping should be planted along this setback. The Board was pleased to see that the applicant has worked extensively with the neighborhood, who has indicated strong support for the proposal.

Therefore, should the Board of Appeals find that the proposal meets the statutory requirement for a variance, the Planning Board recommends approval of the plans by Innovative Collaborations, Inc., dated 10/13/14, and the site plan by Peter Nolan & Associates, dated 11/26/13, subject to the following conditions:

1. Prior to the issuance of a building permit, a final site plan and final floor plan shall be submitted subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, final elevations shall be submitted subject to the review and approval of the Assistant Director of Regulatory Planning.
3. Prior to the issuance of a building permit, a final landscaping plan showing the installation of screening landscaping along the new retaining wall shall be submitted subject to the review and approval of the Assistant Director of Regulatory Planning.
4. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

lkch





281 Mason Terrace

ZONING LEGEND			
ZONING DISTRICT: SINGLE RESIDENCE S-7			
	REQUIRED	EXISTING	COMPLIANCE
MIN. AREA	7,000 S.F.	8,220 S.F.	YES
LOT WIDTH	65'	54.8'	EXISTING NON CONFORMING
MIN. YARD FRONT	30.0'	9.7'	EXISTING NON CONFORMING
SIDE	20.0'	7.7'	EXISTING NON CONFORMING
	40.0'	72.1'	YES
MIN. LANDS. OPEN SPACE	30%	41.7±%	YES
MIN. USABLE. OPEN SPACE	NONE	49.6±%	YES
SPACE WITH ANY DIMENSION LESS THAN 15' NOT INCLUDED IN USEABLE OPEN SPACE			

RESERVED FOR REGISTRY USE

REFERENCES:

NORFOLK COUNTY REGISTRY OF DEEDS
 DEED BOOK 10072 PAGE 662 (LOCUS)
 PLAN REFERENCE BOOK 1589 PAGE 383 (LOCUS PLAN)

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

PETER NOLAN, P.L.S. B.Sc. DATE

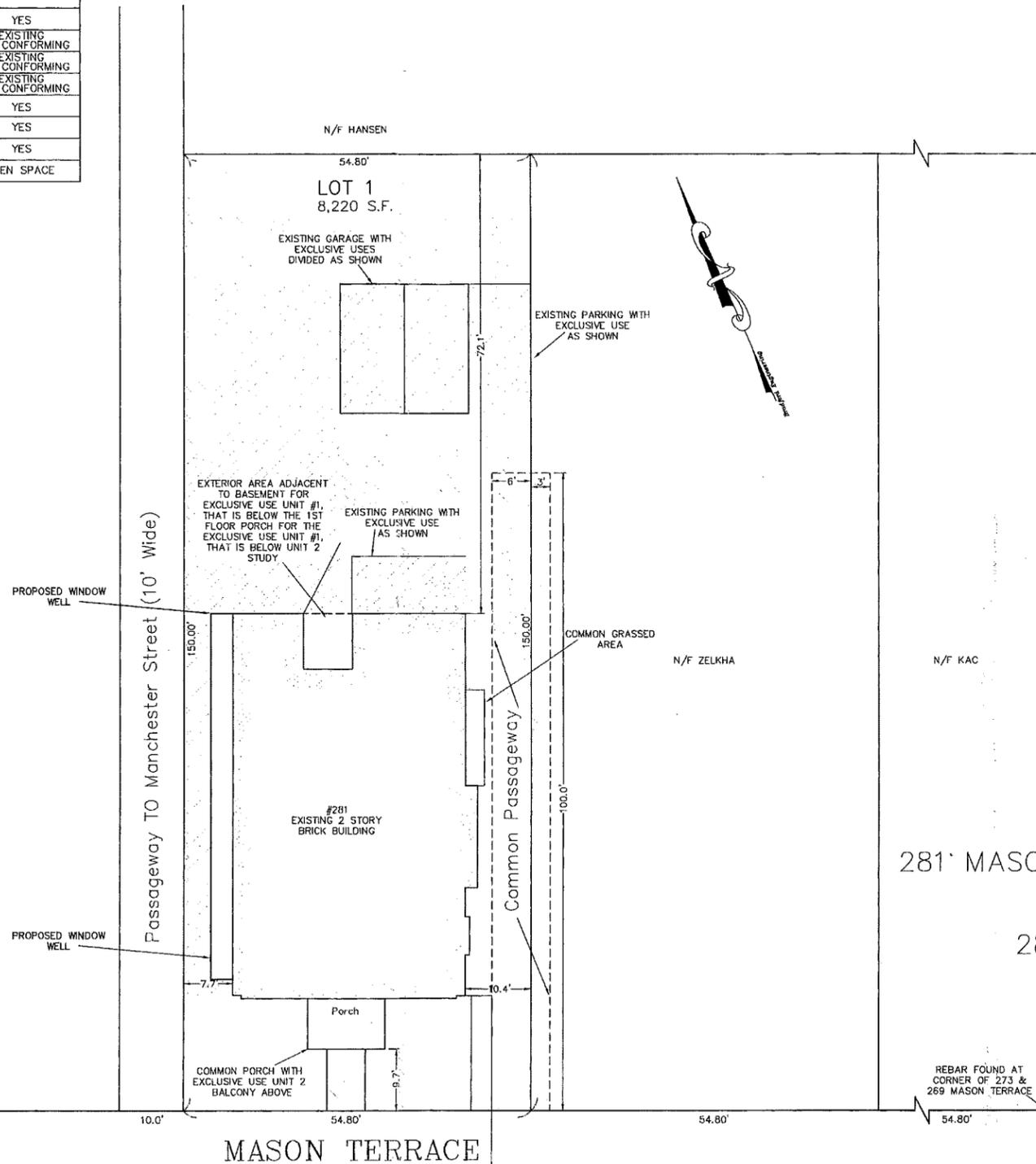
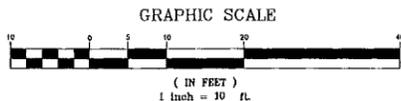
I CERTIFY THAT THE PROPERTY LINES SHOWN HEREON ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THE BUILDING CONTAINS 1 THROUGH 2 INCLUSIVE.

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE BUILDING AS-BUILT AND FULLY LISTS THE UNITS CONTAINED THEREIN, AND FURTHER FULLY AND ACCURATELY DEPICTS, LOCATES, AND PROVIDES THE DIMENSIONS OF ALL LIMITED OR EXCLUSIVE USE COMMON AREAS AND FACILITIES OF THE CONDOMINIUM OUTSIDE OF ANY BUILDING.



PETER J. NOLAN, P.L.S. DATE 10/09/14



- EXCLUSIVE USE UNIT 1
- EXCLUSIVE USE UNIT 2
- COMMON AREA

281 MASON TERRACE CONDOMINIUM

281 MASON TERRACE
 BROOKLINE, MA

SCALE: 1"=10'
 DATE: 11/26/13

SITE PLAN
 OF LAND

PREPARED BY
 PETER NOLAN & ASSOCIATES LLC

697 CAMBRIDGE STREET, SUITE 103
 BRIGHTON, MA
 TEL: 857-891-7478/617-782-1533
 EMAIL: pnolan@pnasurveyors.com

281 MASON TERRACE

VIEWS AND ELEVATIONS

10 JUNE 2014



PROJECT DESCRIPTION

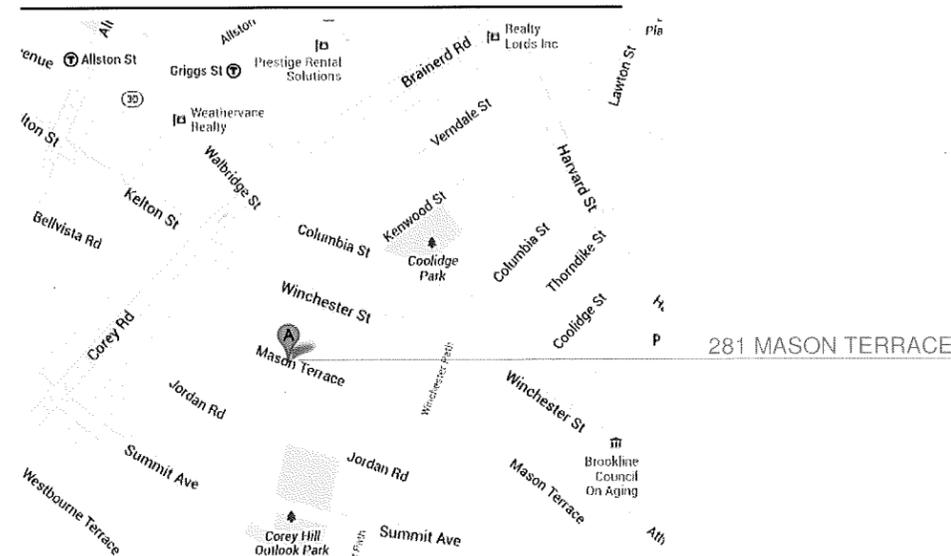
1) BASEMENT

- CONVERT 1,335 SF EXIST. BASEMENT TO ACCESSIBLE LIVING FOR ELDERLY PARENTS AND BLIND, SENIOR OWNER
- ADD 1 BEDROOM AND CLOSETS
- ADD BATHROOM
- ADD OFFICE AND FAMILY AREA
- ADD INTERIOR STAIRCASE
- ADD DOMESTIC ELEVATOR

2) FIRST FLOOR

- RENOVATE KITCHEN
- REVISE LIVING LAYOUT
- SUBTRACT FLOOR BEDROOM, CONVERT FOR INTERIOR STAIRWELL AND ELEVATOR

VICINITY MAP



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COVER / CODE SHEET

13 October 2014

Drawn by: DdS

Checked by: DdS

A0.0

Scale

**281 MASON
TERRACE**
BROOKLINE

Innovative Collaborations, Inc.

Award Winning Architecture + Design

369 Congress Street

Boston MA 02210

Office: 617-695-3777 Fax: 866-828-9943

www.innovative-c.com

Index of Drawings

- A0.0 COVER / CODE SHEET
- A1.0 R PROPOSED BASEMENT PLAN R1
- A2.1 SOUTH ELEVATION EXISTING
- A2.2 SOUTH ELEVATION PROPOSED
- A2.3 NORTH ELEVATION EXISTING
- A2.4 NORTH ELEVATION PROPOSED
- A2.5 WEST ELEVATION EXISTING
- A2.6 WEST ELEVATION PROPOSED
- A2.7 EAST ELEVATION EXISTING
- A3.1 WINDOW WELL DETAIL
- A10.1 RENDERINGS

EXISTING SITE AND BUILDING DATA

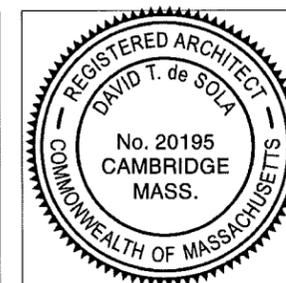
ZONING DISTRICT:	S-7
LOT SIZE:	8,220 SF
BUILDING MEAN HEIGHT	<35 FT
LOT WIDTH / FRONTAGE	54 SF + 3' ROW
IMPERVIOUS SURFACE	4,174 SF = 51%
LANDSCAPED OPEN SPACE	4,046 SF = 49%
TOTAL GROSS BUILDING AREA	5,107 SF
ALLOWABLE GROSS AREA BY RIGHT	4,315 SF
FAR EXISTING	.62

CITY OF BROOKLINE

ZONING DISTRICT:	S-7
PARCEL NUMBER:	085 8900
MINIMUM LOT SIZE:	7000 SF
MAXIMUM HEIGHT:	35 FT
F.A.R.:	0.35; 1.5X
FRONT YARD SETBACK:	20 FT
SIDE YARD SETBACK:	7.5 FT
REAR YARD SETBACK:	30 FT
MIN % USABLE OPEN SPACE	30%
MIN % LANDSCAPED OPEN SPACE	10%
MIN. LOT WIDTH	65 FT

ARCHITECT'S CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECTION

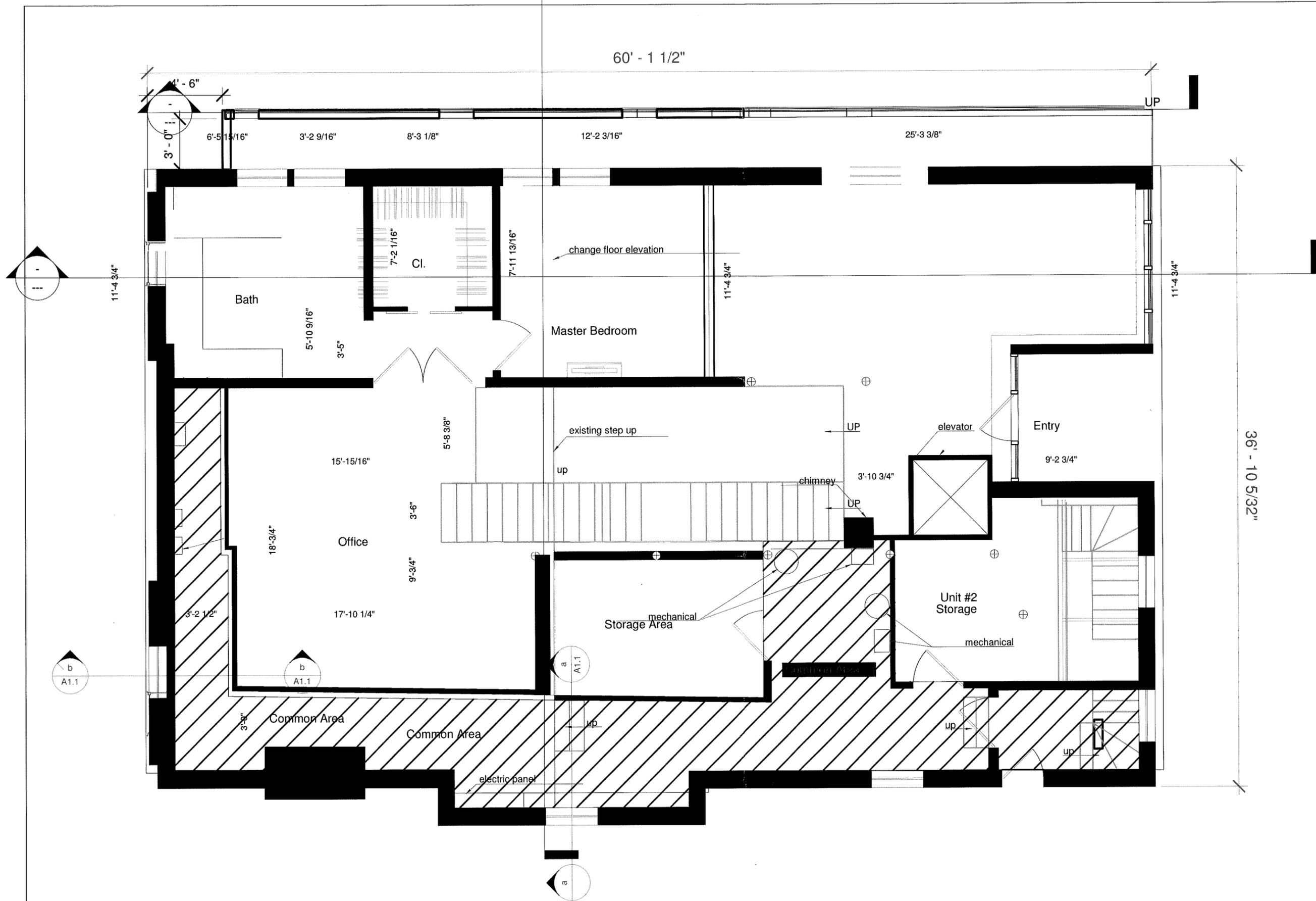


SIGNED:  ARCHITECT

MA REGISTRATION NO.: 20195

DATE: 10/13/2014.

LICENSE EXPIRATION DATE: 8/31/2015.



60' - 1 1/2"

36' - 10 5/32"

1 BASEMENT
3/16" = 1'-0"

PROPOSED BASEMENT PLAN R1	
13 October 2014	A1.0 R
Author	Checker
	Scale 3/16" = 1'-0"

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1 SOUTH - FRONT existing
3/16" = 1'-0"

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SOUTH ELEVATION EXISTING

13 October 2014

Author

Checker

A2.1

Scale 3/16" = 1'-0"



1 SOUTH - FRONT
3/16" = 1'-0"

SOUTH ELEVATION PROPOSED

13 October 2014

Author

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A2.2

Scale 3/16" = 1'-0"

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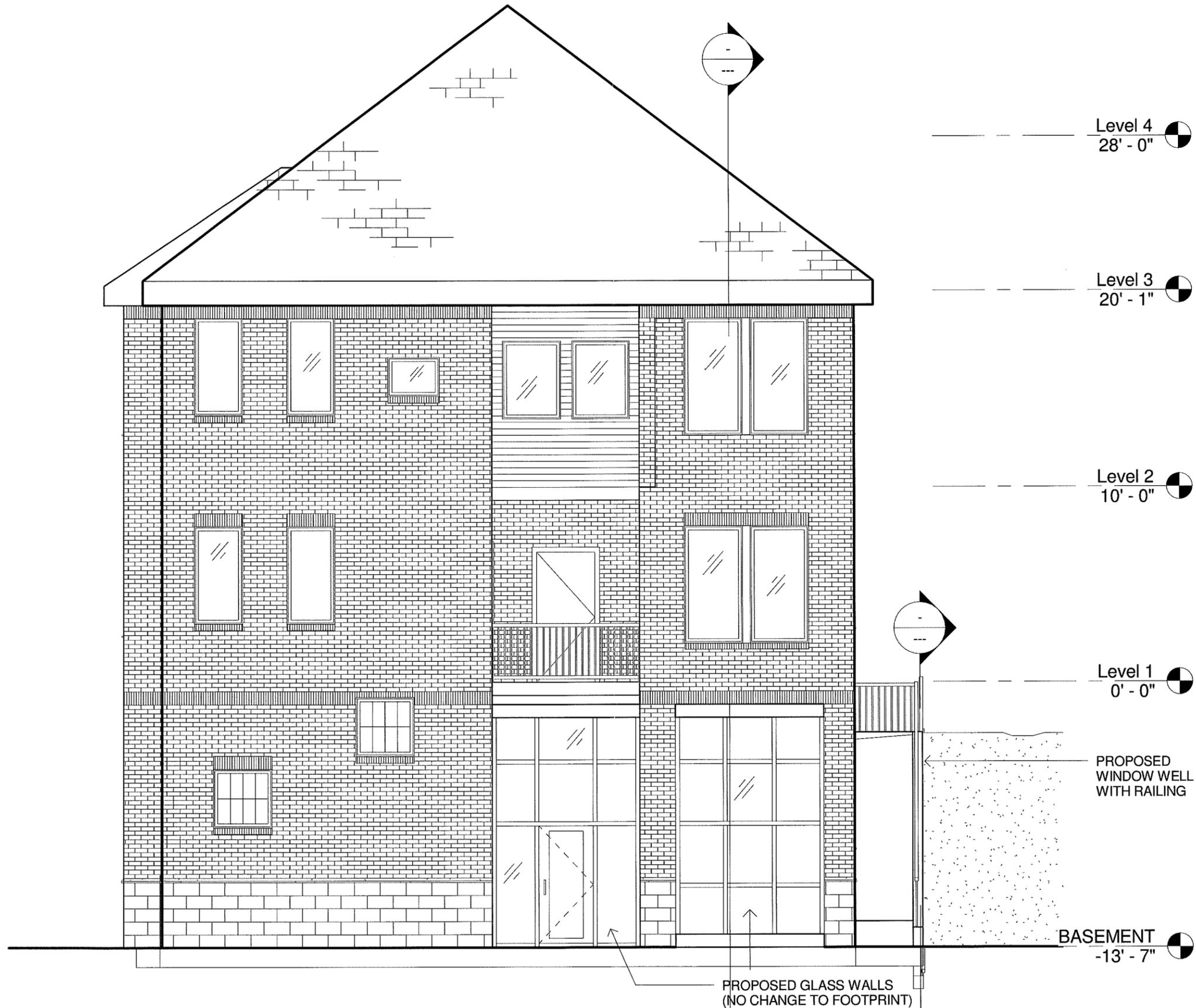
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1 NORTH
3/16" = 1'-0"

NORTH ELEVATION PROPOSED

13 October 2014

Author

Checker

A2.4

Scale 3/16" = 1'-0"

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1 WEST - SIDE
3/16" = 1'-0"

WEST ELEVATION PROPOSED	
13 October 2014	A2.6
Author	Checker
	Scale 3/16" = 1'-0"

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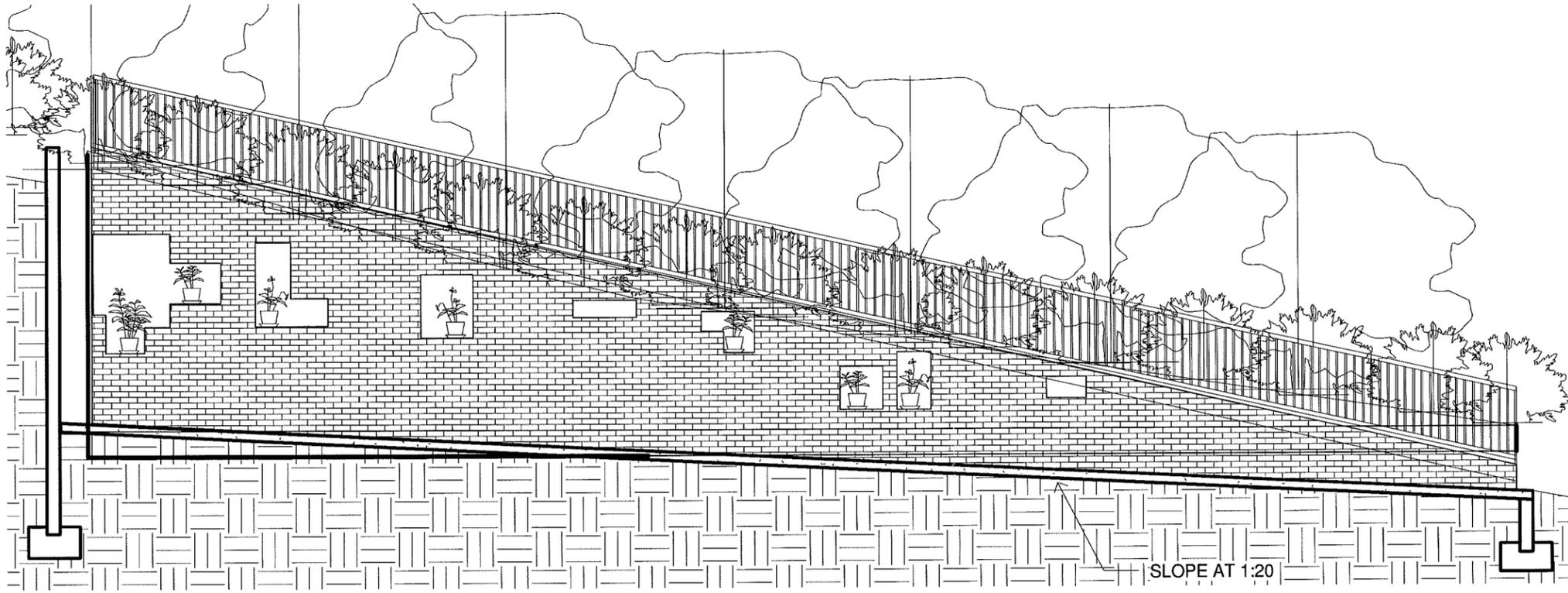
1 EAST
3/16" = 1'-0"

EAST ELEVATION EXISTING	
13 October 2014	A2.7
Author	Checker
	Scale 3/16" = 1'-0"

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SLOPE AT 1:20

1 Window Well
3/16" = 1'-0"

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WINDOW WELL DETAIL

13 October 2014

Author

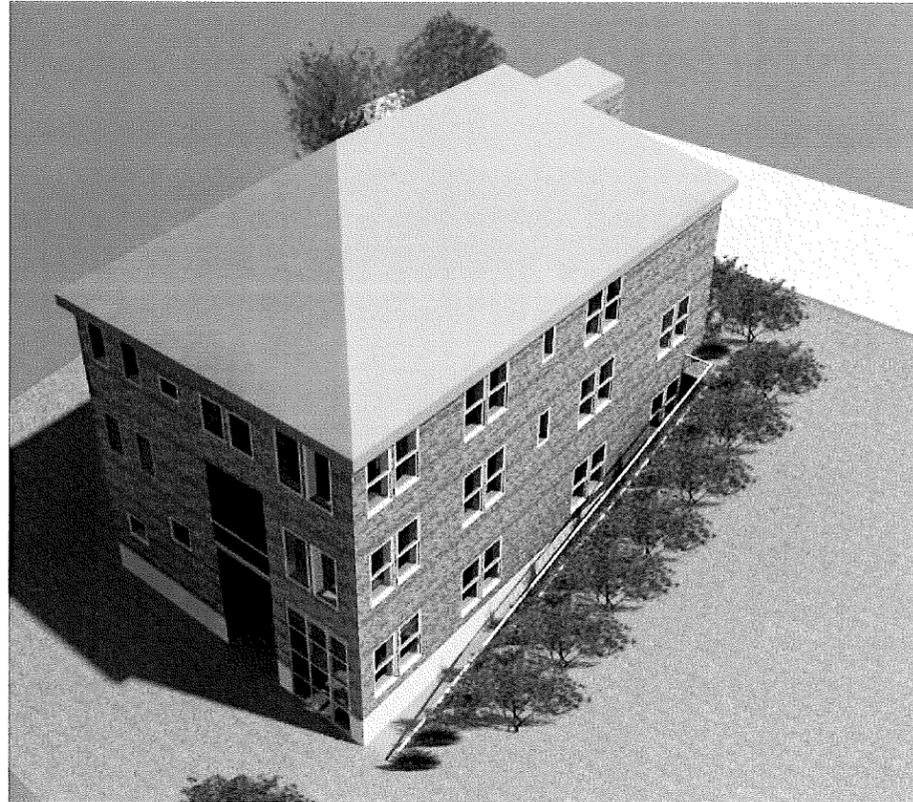
Checker

A3.1

Scale 3/16" = 1'-0"



② Corner Views from Street
12" = 1'-0"



① Aerial Perspective
12" = 1'-0"



③ View from Bottom of Hill
12" = 1'-0"

RENDERINGS

13 October 2014

By: DdS

Checker: DdS

A10.1

Scale 12" = 1'-0"

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