



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
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Brookline, MA 02445-6899
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Linda Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Sergio Modigliani
Jonathan Simpson
Mark J. Zarrillo

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: July 9, 2015
Subject: Construct two additions and deck
Location: 255 Russett Road

Atlas Sheet:	108	Case #:	2015-0034
Block:	383	Zoning:	S-7
Lot:	06-00	Lot Area (s.f.):	±5,000

Board of Appeals Hearing: July 30, 2015, at 7:00 p.m.

SITE AND NEIGHBORHOOD

255 Russett Road is a 2 ½ story single-family dwelling on Russett Road between Ashville Road and the VFW Parkway. The dwelling has a cross gable roof with an existing gable dormer; at the basement level is a small garage accessed from the rear façade. The dwelling shares a common driveway with 257 Russett Road with paved parking in the rear yard. A small porch and steps at the rear of the dwelling would be removed with this proposal.

APPLICANT'S PROPOSAL

The applicants, William and Tracy McNeal, would like to construct a one-story rear addition and deck, as well as an infill addition at the second floor. The one-story addition would be 12.5' wide by 9' deep and located where there is currently a rear porch above the basement-level garage. The addition would serve as a mudroom and laundry room and have windows on the rear façade. Next to the first-floor addition a new deck would be constructed, extending to the dwelling's existing south wall, with stairs leading into the rear yard. The deck would be accessed either by the new addition or by way of the existing first-floor family room.

At the second floor, a new addition on the south façade, approximately 7'3" wide by 14'10" deep, would serve as a new closet and bathroom for the master bedroom. The addition would

have three new windows on the south side and one on the east, and the exterior walls would match the rest of the building.

FINDINGS

Section 5.09.2.j – Design Review: Any exterior addition for which a special permit is requested pursuant to *Section 5.22 (Exceptions to Maximum Floor Area Ratio Regulations)* requires a special permit subject to the design review standards listed under *Section 5.09.4(a-l)*. All the conditions have been met, and the most relevant sections of the design review standards are described below:

- a. Preservation of Trees and Landscape – The additions are either located at the rear where there is already paved or grassy area or within the existing footprint. Most of the site’s substantial landscaping is located at the front of the home or along the property lines and is not expected to be affected by this proposal.
- b. Relation of Buildings to Environment – The proposal is modest in size and should not result in significant shadows on neighboring properties.
- c. Relation of Buildings to the Form of the Streetscape and Neighborhood – Since the proposed additions are substantially at the rear of the property, they are not expected to be very visible from the streetscape. Additionally, the overall design of the improvements is in keeping with the style of the rest of the home.
- d. Open Space – The rear yard is substantially shaded, and the rear deck should improve the functionality of the space. The home will continue to have sufficient open space for recreation.
- e. Circulation – The site’s circulation is not expected to change with this proposal. The basement-level garage is currently too small for most vehicles and does not have good access.

Section 5.20 – Floor Area Ratio

Floor Area	Allowed	Existing	Proposed	Finding
Floor Area Ratio (% of allowed)	.35 100%	.38 109%	.43 123%	Special Permit*
Floor Area (s.f.)	1,750	1,918	2,150	

* Under **Section 5.22.3.c** the Board of Appeals may by special permit allow for an increase in floor area up to 150% of the allowed if the additional floor area is less than 350 s.f.

Section 5.70 – Rear Yard Setback

Dimensional Requirements	Required	Existing	Proposed	Relief
Rear Yard Setback (Addition)	30'	35'	26'	Special Permit**
Rear Yard Setback (Deck)	15'	N/A	19.3'	Complies

** Under **Section 5.43**, the Board of Appeals may by special permit waive yard and setback requirements if a counterbalancing amenity is provided.

Section 8.02.2 – Alteration or Extension

A special permit is required to alter a pre-existing non-conforming structure or use.

PLANNING BOARD COMMENTS

The Planning Board is supportive of this proposal for new additions and a new deck to an existing single-family dwelling. The design is appropriate for the structure, and the proposal is not expected to have a detrimental effect on neighboring properties. The Planning Board recommends the applicant improve the rear yard landscaping as a counterbalancing amenity.

Therefore, the Planning Board recommends approval of the site plan by Boston Survey Inc., dated 5/29/2015, and the plans and elevations by SOUSAdesign Architects, dated 6/17/2015 and 7/9/2015, subject to the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit final plans and elevations subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a final landscape plan indicating all counterbalancing amenities such as a fence subject to the review and approval of the Assistant Director of Regulatory Planning.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final plans and building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

lkch

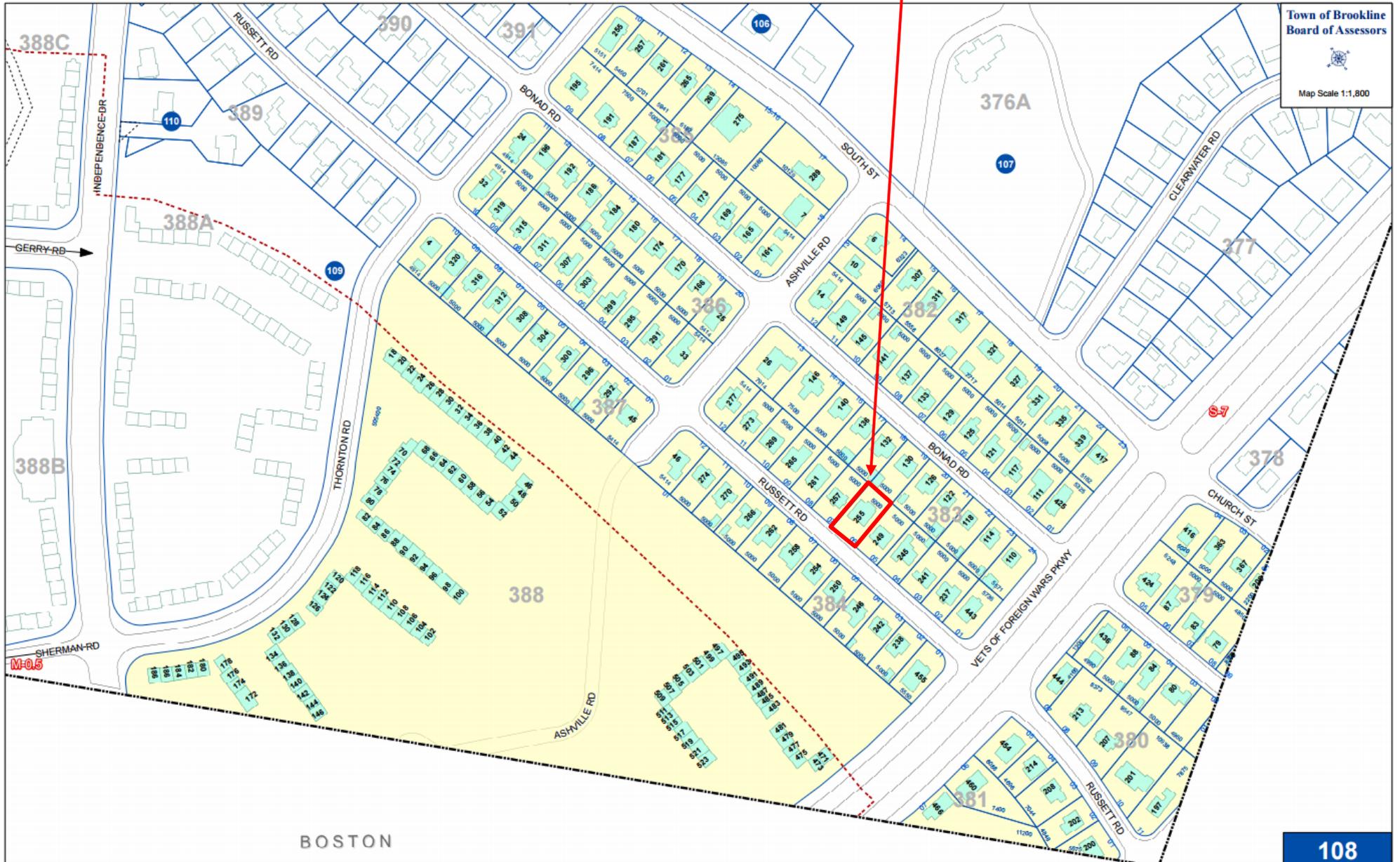


255 Russett Road



Rear views of 255 Russett Road

255 Russett Road

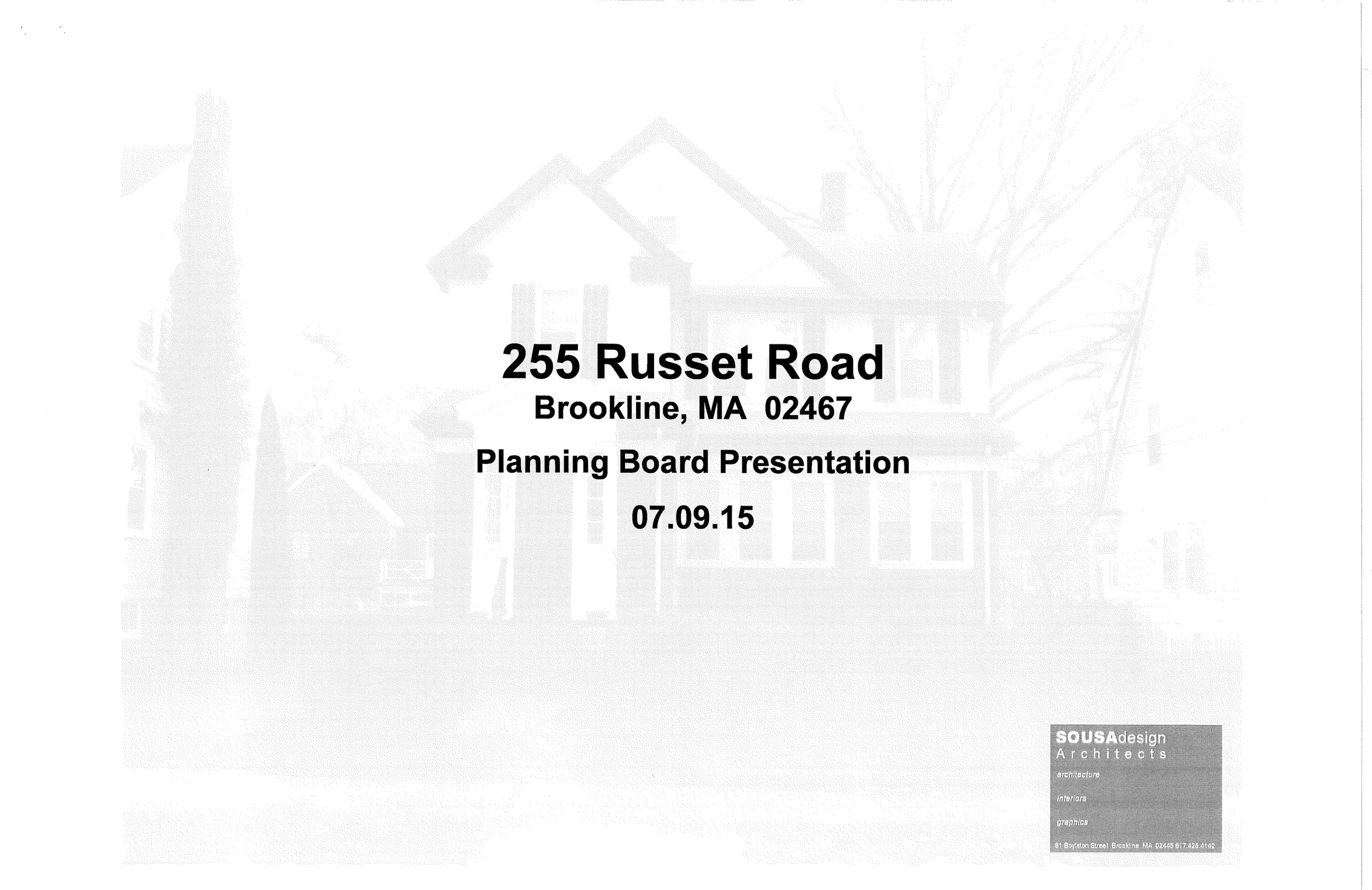


Town of Brookline
Board of Assessors
Map Scale 1:1,800

BOSTON

108

Map data updated Feb 2010 by Town of Brookline GIS and printed on 04/08/2010



255 Russet Road

Brookline, MA 02467

Planning Board Presentation

07.09.15

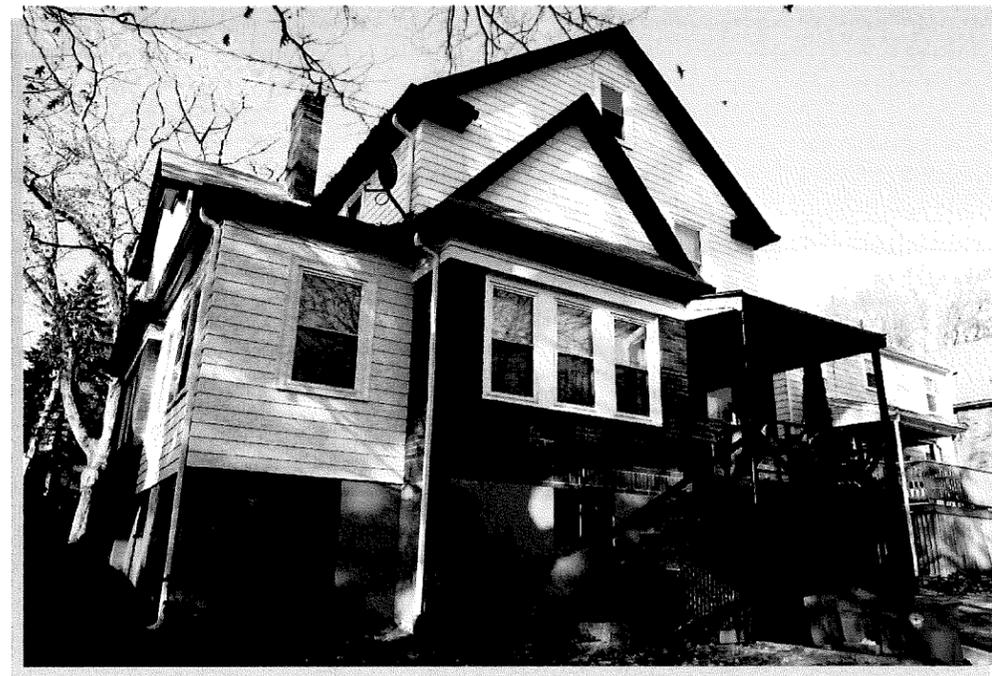
SOUSAdesign
Architects

architecture

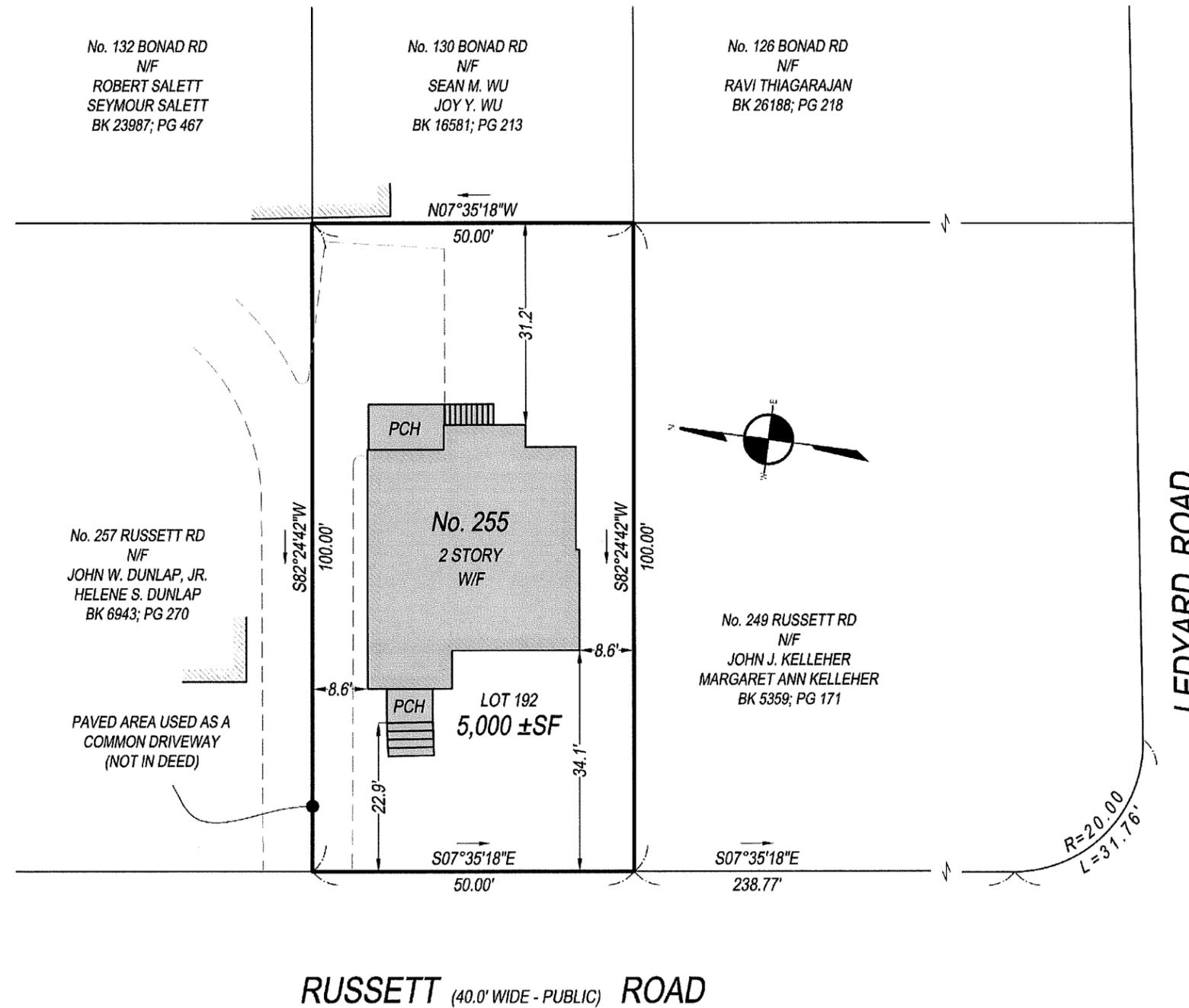
interiors

graphics

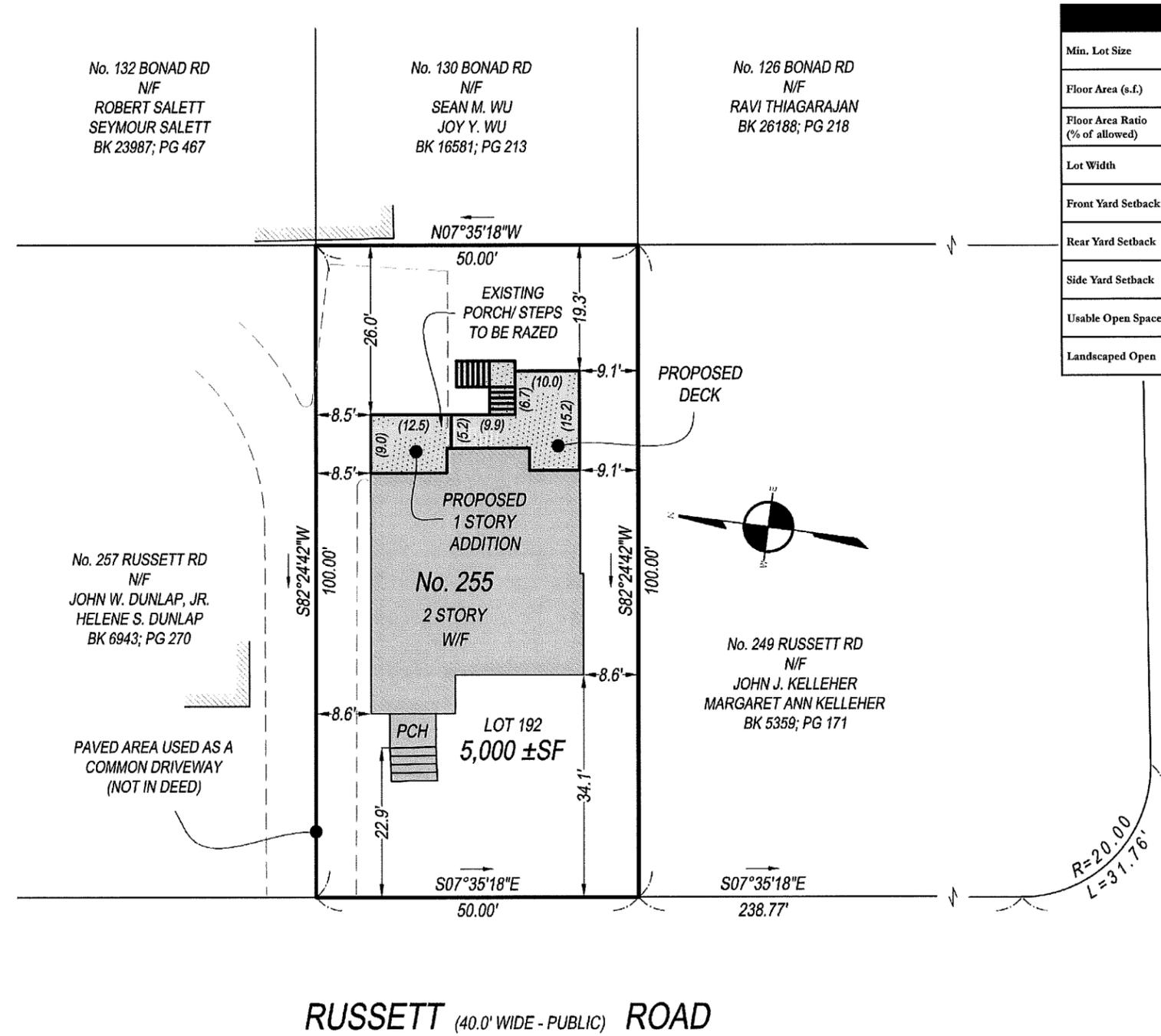
81 Boylston Street Brookline MA 02445 617.426.4142



EXISTING CONDITIONS

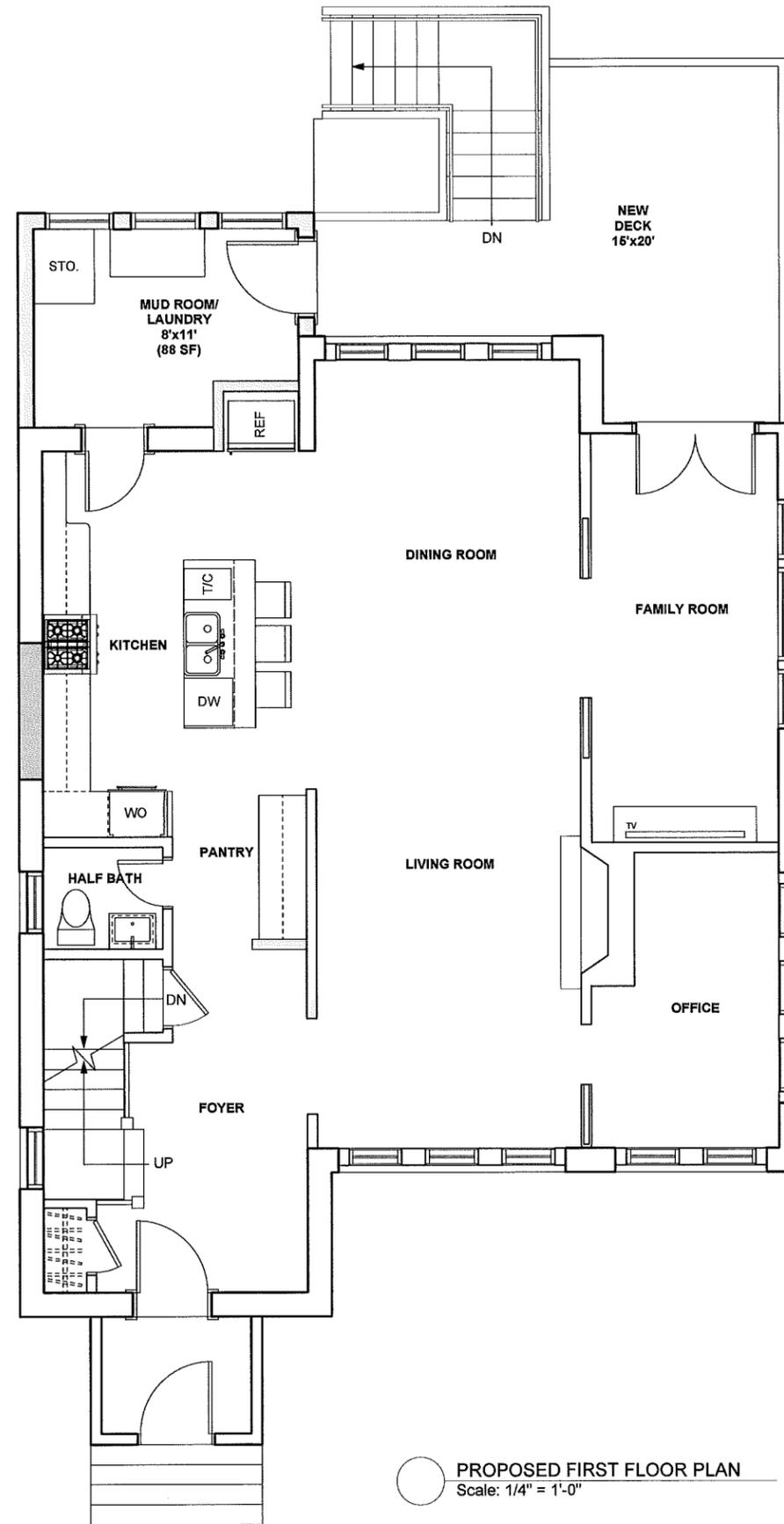
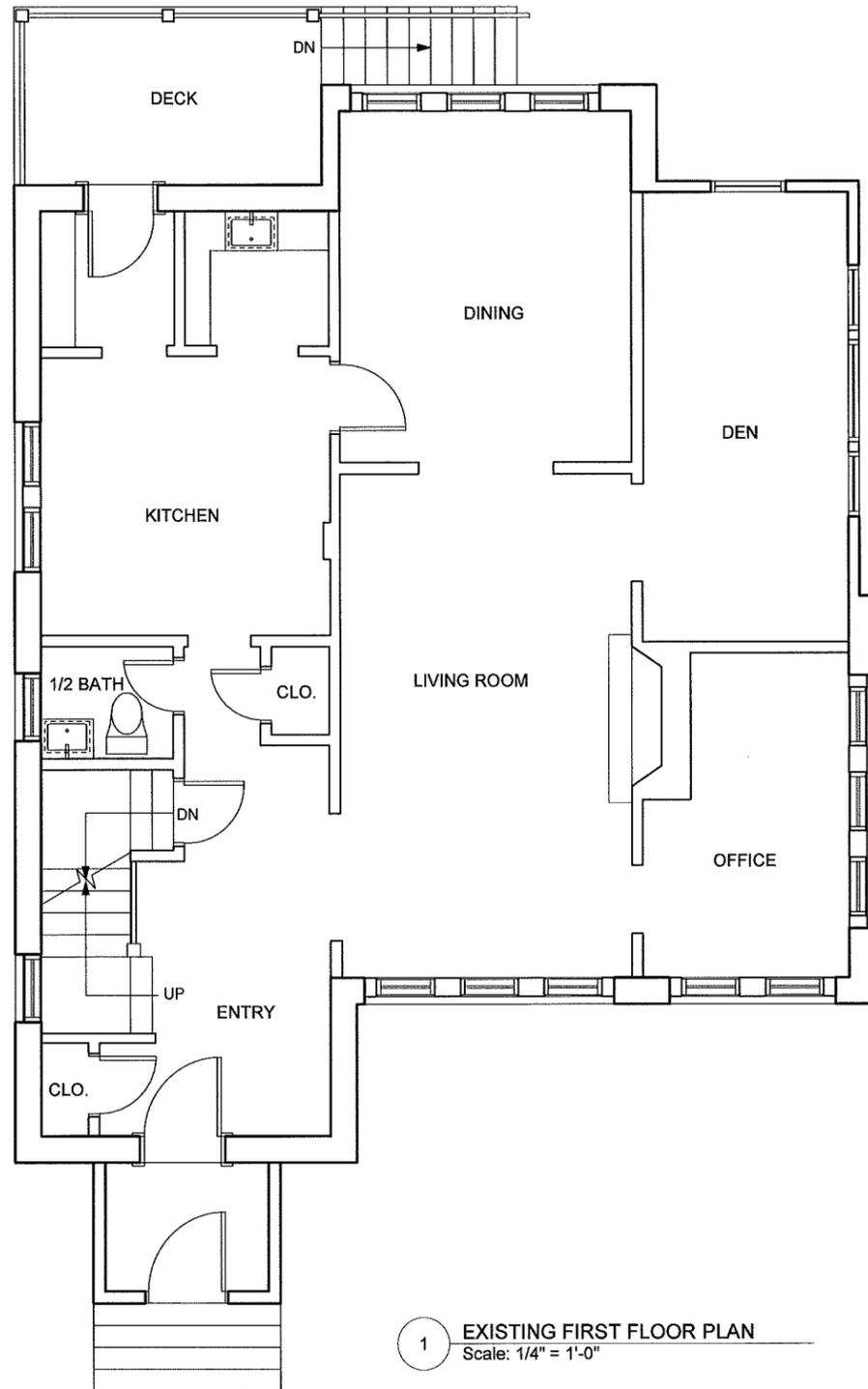


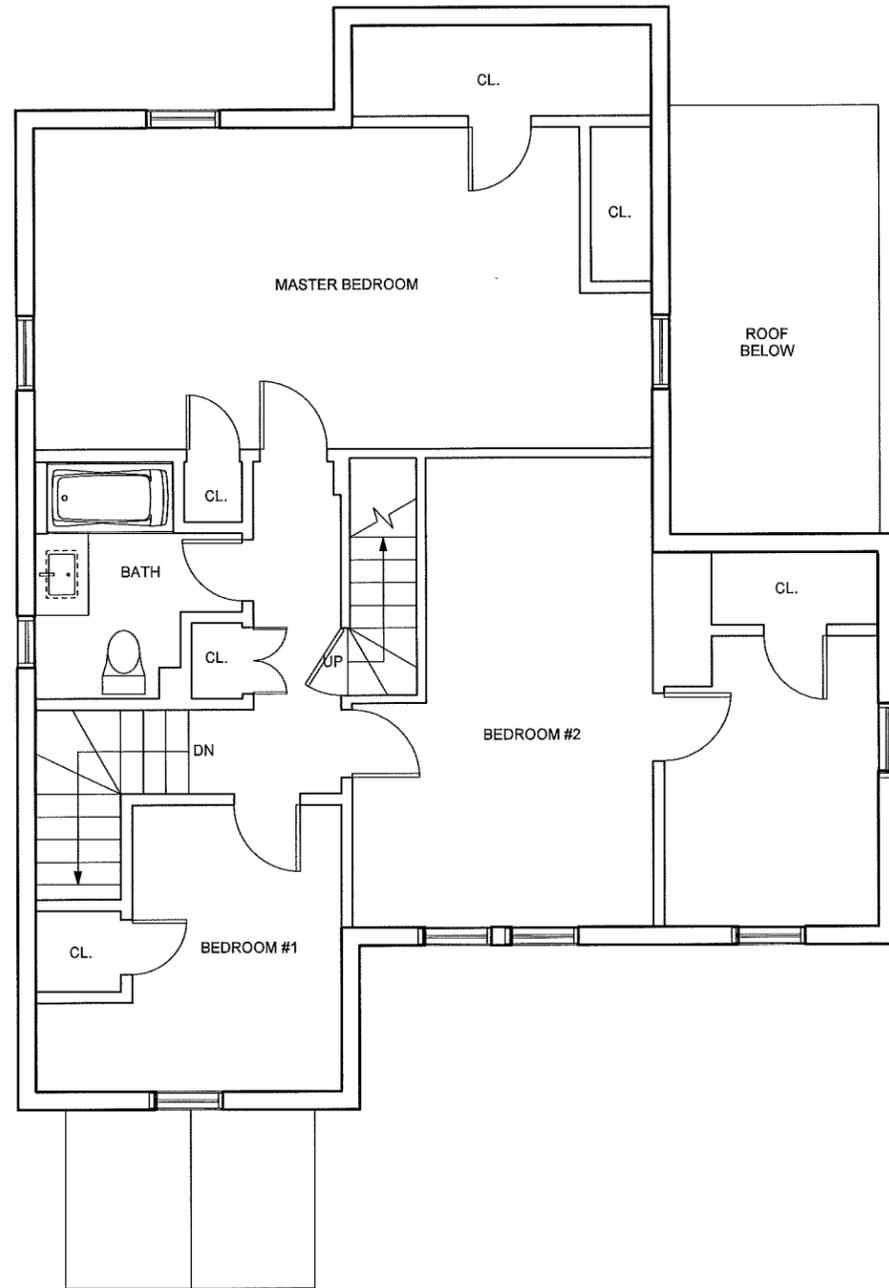
EXISTING SITE PLAN



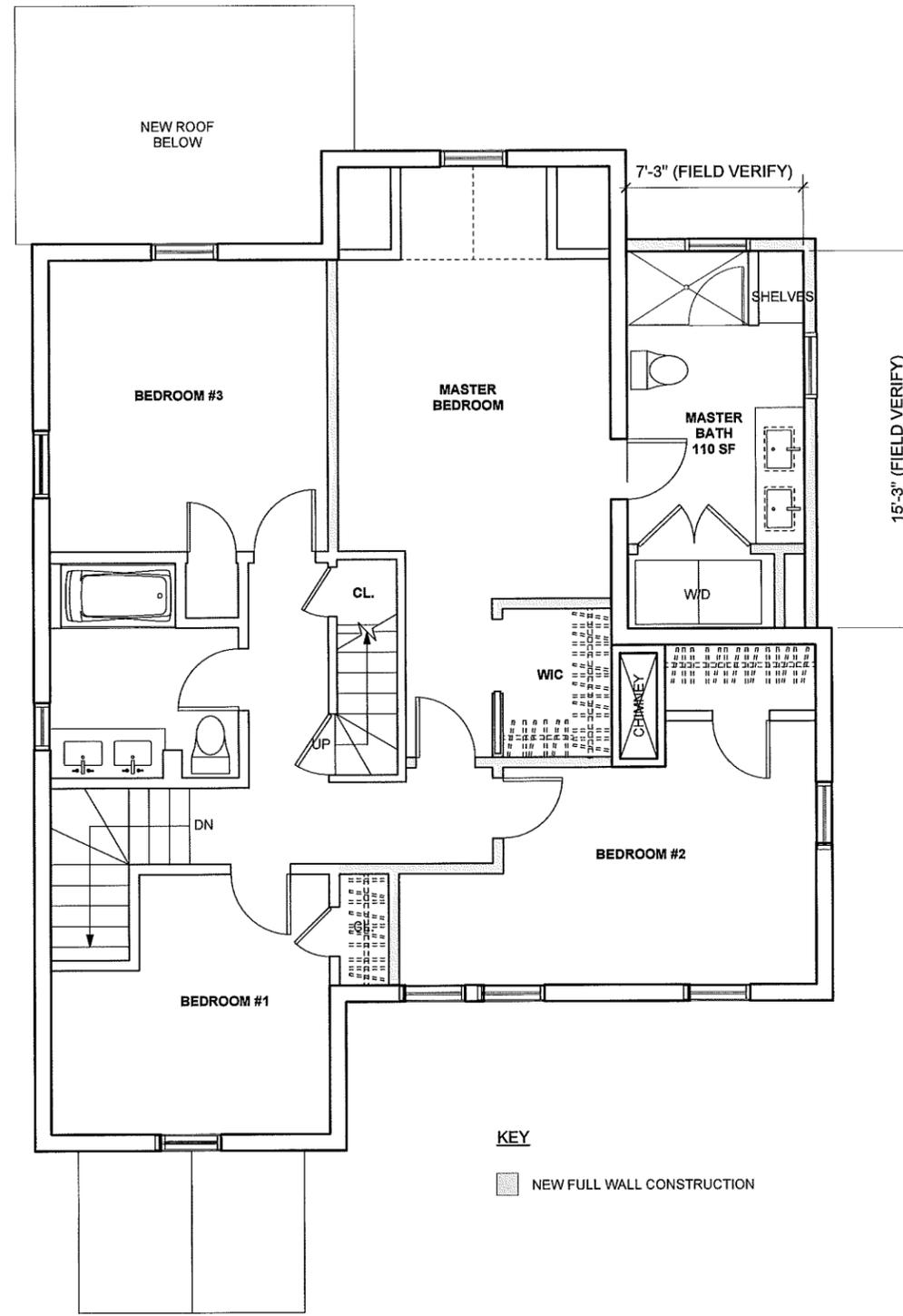
	Required	Existing	Proposed	Finding
Min. Lot Size	7,000 s.f.	5,000 s.f.	5,000 s.f.	Preexisting Non-Conforming
Floor Area (s.f.)	2,450 s.f.	1,918 s.f.	2,150 s.f.	Special Permit
Floor Area Ratio (% of allowed)	0.35 (100%)	0.38 (108%)	0.43 (123%)	
Lot Width	65 ft.	50 ft.	50 ft.	Compliant
Front Yard Setback	20 ft.	22.9 ft. - 34.1 ft.	22.9 ft. - 34.1 ft.	Compliant
Rear Yard Setback	30 ft.	27 ft. (Porch) 30 ft. (Building)	19.3 ft. (Deck) 26.0 ft. (Porch)	Special Permit
Side Yard Setback	7.5 ft.	8.5 ft. - 9.1 ft.	8.5 ft. - 9.1 ft.	Compliant
Usable Open Space	30%	48%	40%	Compliant
Landscaped Open	10%	44%	36%	Compliant

PROPOSED SITE PLAN





EXISTING SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



FRONT ELEVATION (EXISTING)
Scale: 1/4" = 1'-0"



REAR ELEVATION (EXISTING)
Scale: 1/4" = 1'-0"



REAR ELEVATION (PROPOSED)
Scale: 1/4" = 1'-0"



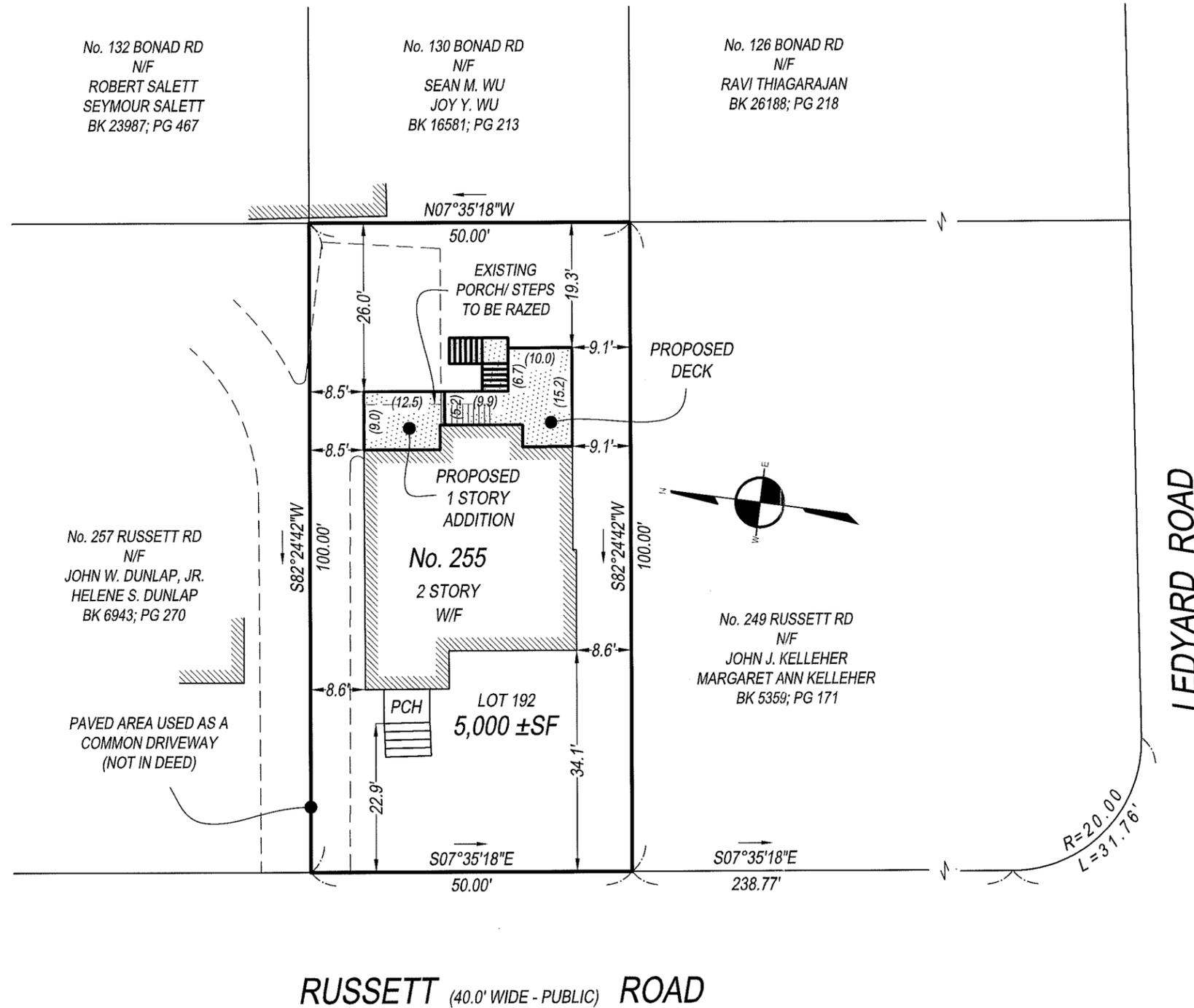
○ SIDE ELEVATION (EXISTING)
Scale: 1/4" = 1'-0"

○ SIDE ELEVATION (PROPOSED ADDITION)
Scale: 1/4" = 1'-0"



○ SIDE ELEVATION (EXISTING)
Scale: 1/4" = 1'-0"

○ SIDE ELEVATION (PROPOSED ADDITION)
Scale: 1/4" = 1'-0"



REFERENCES:
 DEED: BK 27765; PG 110
 PLAN: BK 1608; PG 202
 BK 1885; PG 481
 BK 1885; PG 461-G



FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
N/A	N/A	MO	RAP	GCC

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF MAY 26, 2015 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).
 COMMUNITY-PANEL: 25021C0042E
 EFFECTIVE DATE: UNPRINTED PANEL

PREPARED FOR:
 RUSSETT ROAD
 255 REALTY TRUST
 255 RUSSETT ROAD
 BROOKLINE, MA 02467

NOTES:
 PARCEL ID: 383-06-00
 ZONING: S-7

CERTIFIED PLOT PLAN
 SHOWING PROPOSED CONDITIONS AT
255 RUSSETT ROAD
BROOKLINE, MA
 SCALE: 1 INCH = 20 FEET DATE: MAY 29, 2015

BOSTON
SURVEY, INC.
 UNIT C-4 SHIPWAY PLACE
 CHARLESTOWN, MA 02129
 (617)242-1313