



# *Town of Brookline*

## *Massachusetts*

### **PLANNING BOARD**

Town Hall, 3<sup>rd</sup> Floor  
333 Washington Street  
Brookline, MA 02445-6899  
(617) 730-2130 Fax (617) 730-2442

Linda Hamlin, Chairman  
Steven Heikin, Clerk  
Robert Cook  
Sergio Modigliani  
Jonathan Simpson  
Mark J. Zarrillo

To: Brookline Board of Appeals  
From: Brookline Planning Board  
Date: August 13, 2015  
Subject: Raise and reconfigure roof above the garage to create a master bedroom suite  
Location: 362 Clyde Street

Atlas Sheet:	88B	Case #:	2015-0035
Block:	344	Zoning:	S-15
Lot:	11	Lot Area (s.f.):	±13,696

Board of Appeals Hearing: August 27, 2015, at 7:00 p.m.

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### **SITE AND NEIGHBORHOOD**

362 Clyde Street is a single-family residential structure located in close proximity to the intersection of Clyde Street and Newton Street. The property borders a T-5 zoning district to the north and is located directly across the street from the Brookline Country Club. The Dutch Colonial style home was constructed of wood shingle and brick in 1940. The lot itself is comparable in size to various lots within the S-15 district to the south, but is significantly larger than neighboring lots located within the T-5 district to the north.

### **APPLICANT'S PROPOSAL**

The Applicant, Eileen Ennis, is proposing to raise and reconfigure the existing roof above the garage in order to repair damage sustained during the winter and construct a master bedroom suite. The existing area above the garage (approx. 411 square feet) is finished space that is included in gross floor area calculations. The asymmetrical roof above the garage will be raised by approximately 3 feet at the front and 7.5 feet at the rear. The ridgeline will be moved away from the front lot line and extended to the south to meet the ridgeline of the existing home. These alterations will effectively reconfigure the garage roof from a saltbox style to a gable style. Front and rear garage facades will be converted to shingle siding to match the existing home, and the northern façade (left side elevation) will remain as brick veneer.

## **FINDINGS**

### **Section 5.43 – Exceptions to Yard and Setback Regulations**

### **Section 5.60 – Side Yard Requirements**

<b>Dimensional Requirements</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Relief Required</b>
<b>Side- Yard Setback</b>	15'	7.3'	7.3'	Special Permit*

*\* Under Section 5.43, the Board of Appeals may waive yard and/or setback requirements if counterbalancing amenity is provided.*

### **Section 8.02.1 – Alteration or Extension**

A special permit is required to extend the pre-existing non-conforming side-yard setback.

## **PLANNING BOARD COMMENTS**

The Planning Board supports proposed roof alterations to construct a master bedroom suite above the garage at 362 Clyde Street. The proposed structure will extend the pre-existing non-conforming side-yard setback, but will not create any new zoning non-conformities. Abutting residents are not opposed to these alterations and the height/massing of the as-built structure is not inconsistent with various residential structures along Clyde Street. Additionally, these roof alterations improve the structural condition and interior functionality of the home. The installation of landscape features along the side lot line is not feasible as a result of limited space and light, but window planter boxes or side-yard fence repair would serve as potential counterbalancing amenity for the required setback relief.

**Therefore, the Planning Board recommends approval of the plans by Gary Vinciguerra, dated 5/18/2015 and 7/31/2015, and the site plan by William McGovern, dated 5/18/2015, subject to the following conditions:**

1. Prior to the issuance of a building permit, the applicant shall submit a final site plan, floor plans, and elevations, subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a landscaping plan indicating all counterbalancing amenities, subject to the review and approval of the Assistant Director of Regulatory Planning.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final floor plans and elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

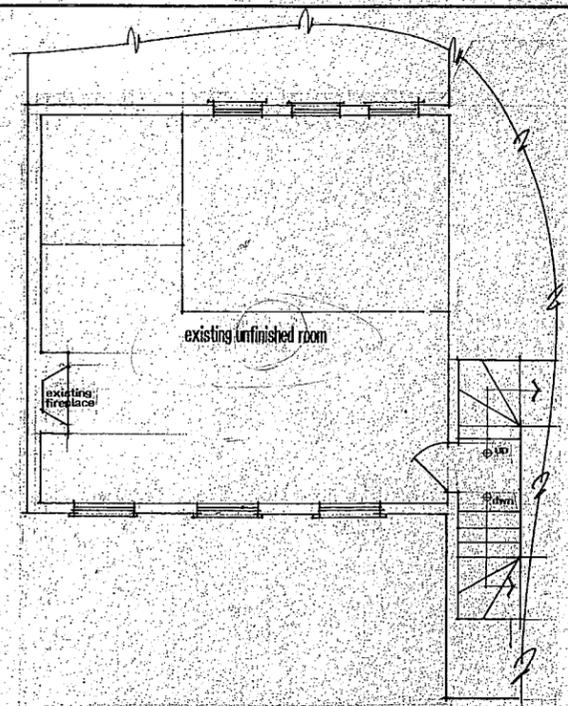
*jr*



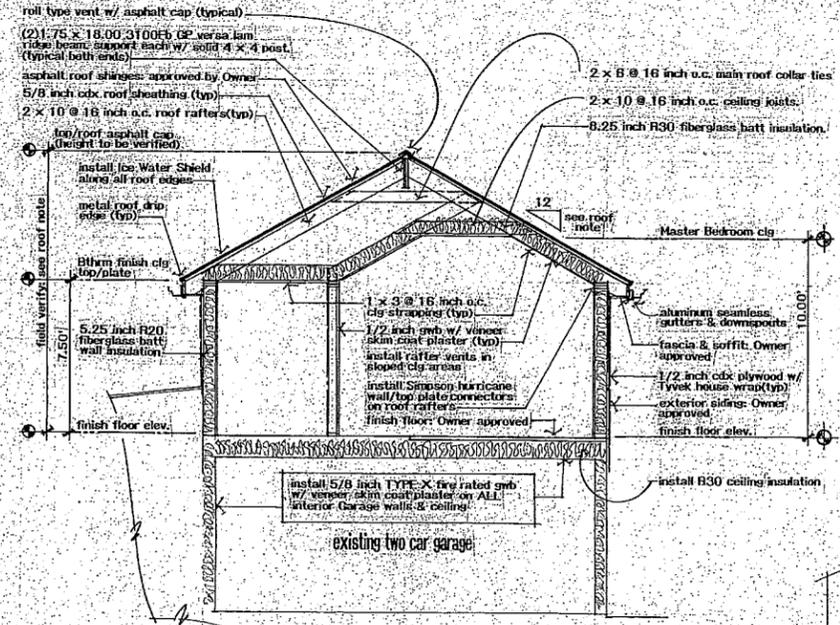
Garage View from 356 Clyde Street



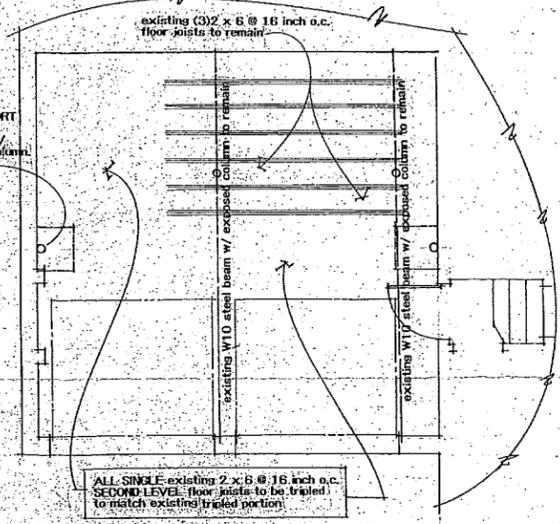
Streetscape



existing second floor part plan  
1/4 inch equals 1 ft.

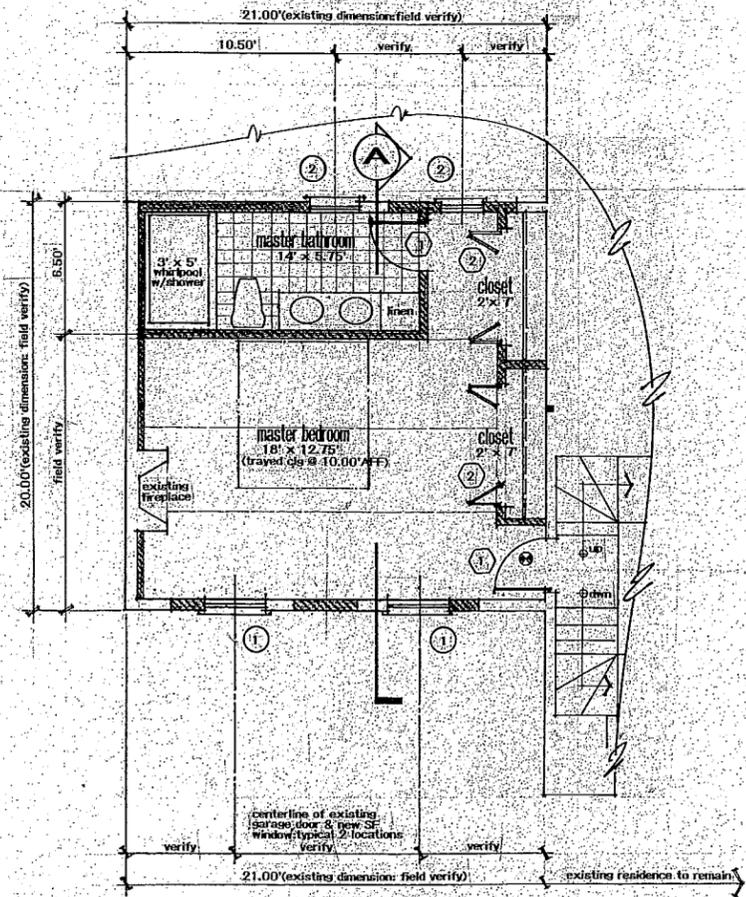


cross section  
1/4 inch equals 1 ft.

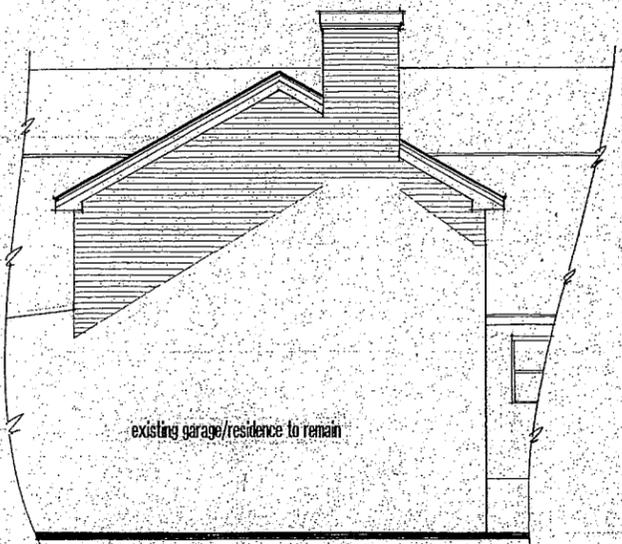


existing garage plan  
1/4 inch equals 1 ft.

- GENERAL NOTES:**
- All work shall be performed in accordance with all applicable current Local and/or State Building Code Regulations and Requirements.
  - All construction and demolition debris shall be properly removed from the site in accordance with applicable Regulations.
  - The Scope of Work outlined on these drawings is intended to represent a completed habitable renovation project. Any deviations or alterations as a result of design revisions approved by the Owner, existing conditions or field conflicts shall be brought to the attention of GEV Design, Inc. prior to the execution of such work.
  - Upgrade and/or modify existing Heating System to accommodate new SF Area. Coordinate specifications with Owner prior to installation.
  - All interior walls to be 1/2" gwb with veneer skim coat plaster - smooth finish, painted (3) coats: (1) primer & (2) finish coats.
  - All ceilings to be 1/2" gwb with veneer skim coat plaster, painted (2) coats: (1) primer & (1) finish coat. Consult Owner for texture finish.
  - All plumbing fixtures to be F.O.I.C.
  - Install hard-wired smoke detection devices as shown on floor plans.
  - Exterior siding specifications to be coordinated with Owner prior to installation.
  - All Closet components to be F.O.I.C.
  - Coordinate SF finish flooring specifications with Owner prior to installation.
  - All interior baseboard, window and door trim to be coordinated with Owner.
  - Existing Garage ceiling and all walls to include installation of 5/8" FIRE-RATED GWB w/ veneer skim coat plaster.
  - Garage entry passage door shall be replaced with required Fire-Rated Unit.
  - Garage passage entry into house shall include 4" high (min.) step as required.
  - Upgrade/modify existing electrical service as required to accommodate renovation Scope of Work.
  - All exterior fascia, soffit and gable trim to be white Azek or Owner approved equal.
  - Window No. 01 shall be Anderson 400 Series (or Owner approved equal), Model No. TW2642, rough opening 2'-8 1/8" x 4'-4 7/8", Low E glazing, insect screen. Coordinate approved grille pattern/material w/ Owner.
  - Window No. 02 shall be Anderson 400 Series (or Owner approved equal), Model No. TW2456, rough opening 2'-6 1/8" x 3'-8 7/8", Low E glazing, insect screen. Coordinate approved grille pattern/material w/ Owner.
  - Door No. 01 shall be Colomat (or Owner approved equal), 2'-6" x 6'-8", rough opening 2'-8 1/2" x 6'-11", 6 panel semi-solid or Owner approved equal.
  - Door No. 02 shall be Colomat (or Owner approved equal), (4) 1'-6" x 6'-8", rough opening 6'-2 1/2" x 6'-11", 3 panel semi-solid bi-fold or Owner approved equal.
  - Install additional SF joists as noted on Existing Garage Plan on drawing.
  - Additional red brick veneer shall be coordinated with Owner and shall be properly secured to existing/new exterior walls. Chimney shall be extended as required to be raised 3'-0" (min.) above new roof ridge.



proposed second floor part plan  
1/4 inch equals 1 ft.



left side elevation  
1/4 inch equals 1 ft.



street elevation  
1/4 inch equals 1 ft.

architect stamp

DATE	5/7/15
SCALE	NOTED
DRAWN	GEV
CONTRACT	040215

upper level renovation for single family residence  
367 Olive Street  
Providence, RI 02945

plans/elevations  
cross section/notes

GEV Design, Inc.  
Architecture • Planning • Interiors

455 Wickford Street  
Cohasset, MA 02011  
Tel: Fax: (781) 828-5500  
gevd@gevd.com

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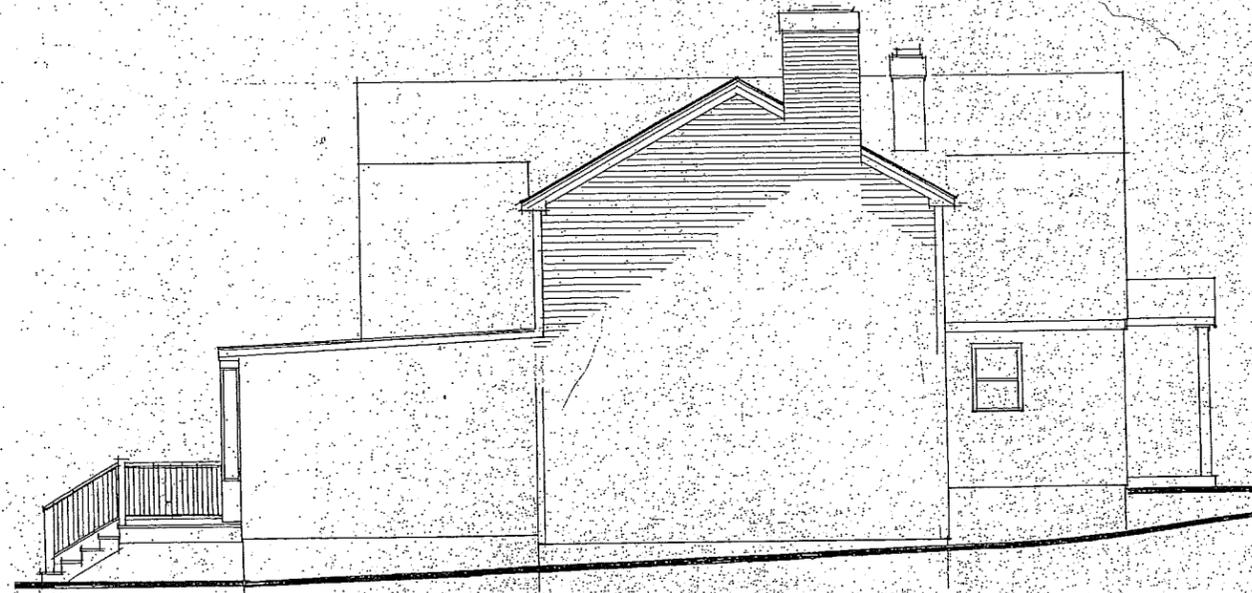
**proposed rear elevation**

1/4 inch equals 1 ft.



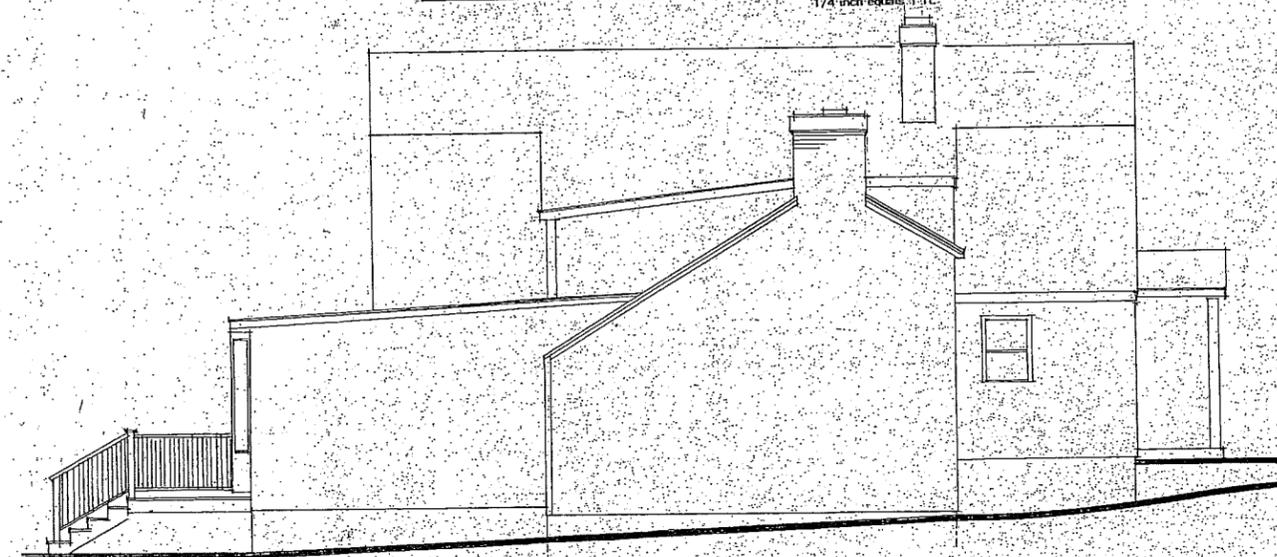
**existing rear elevation**

1/4 inch equals 1 ft.



**proposed left side elevation**

1/4 inch equals 1 ft.



**existing left side elevation**

1/4 inch equals 1 ft.



**existing street elevation**

1/4 inch equals 1 ft.

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DATE:	07/31/15
SCALE:	NOTED
DRAWN:	GEV
CONTRACT:	040215

Upper level renovation for  
single family residence  
352 Olive Street  
Brookline, MA 02445

**GEV** Design, Inc.  
Architects • Planners • Interiors

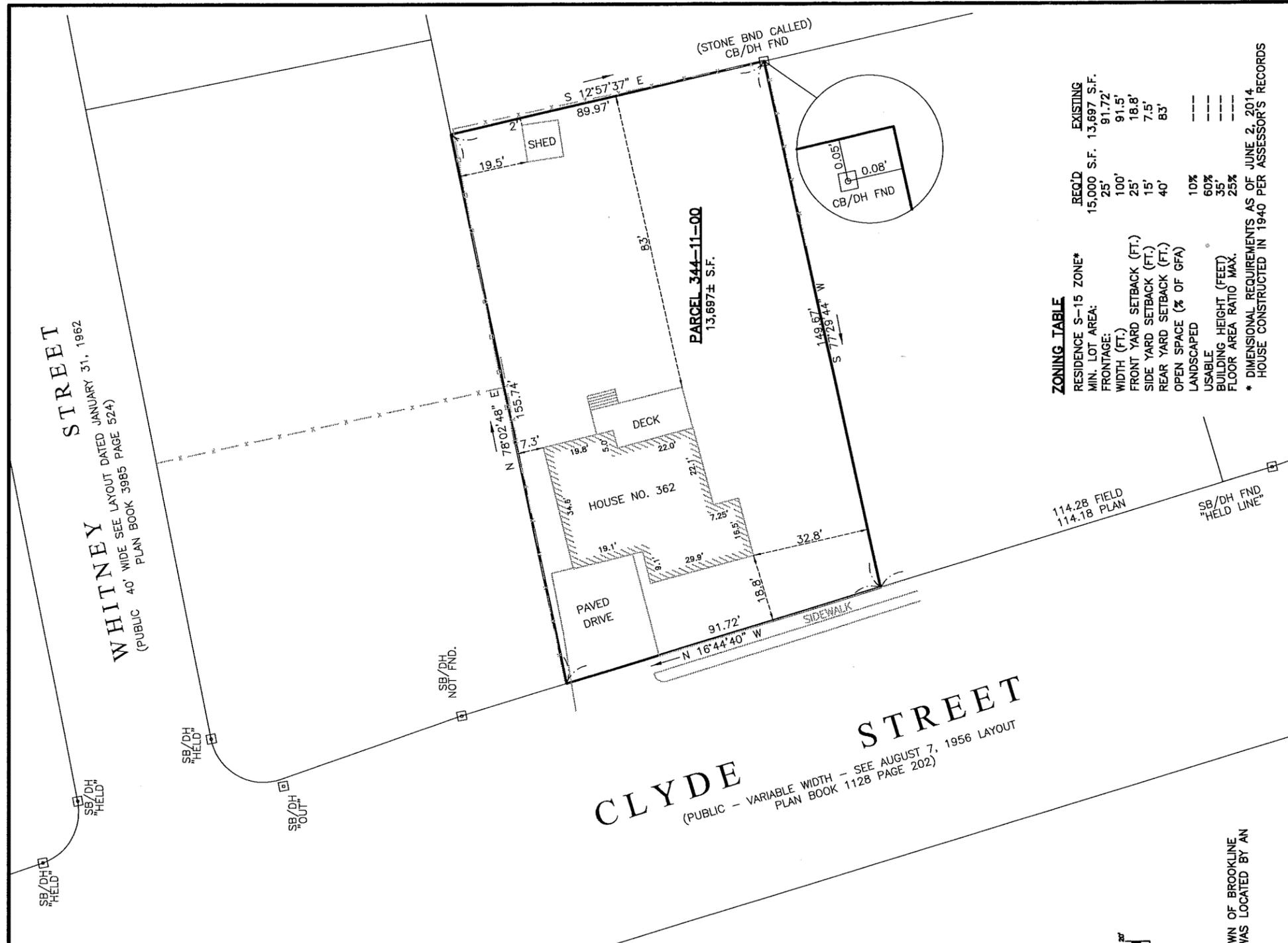
433 Walpole Street  
Canton, Massachusetts 01071  
617-552-8888  
gdesign@comcast.net

**existing/proposed elevations**

**A2.0**



**SITE LOCUS**  
NOT TO SCALE



**PARCEL 344-11-00**  
13,697± S.F.

**ZONING TABLE**

REQ'D	EXISTING
RESIDENCE S-15 ZONE*	15,000 S.F. 13,697 S.F.
MIN. LOT AREA:	25' 91.72'
FRONTAGE:	100' 91.5'
WIDTH (FT.)	25' 18.8'
FRONT YARD SETBACK (FT.)	15' 7.5'
SIDE YARD SETBACK (FT.)	40' 83'
REAR YARD SETBACK (FT.)	---
OPEN SPACE (% OF GFA)	10% ---
LANDSCAPED	60% ---
USABLE	35' ---
BUILDING HEIGHT (FEET)	25% ---
FLOOR AREA RATIO MAX.	---

\* DIMENSIONAL REQUIREMENTS AS OF JUNE 2, 2014  
HOUSE CONSTRUCTED IN 1940 PER ASSESSOR'S RECORDS

**GRAPHIC SCALE**



I CERTIFY TO EILEEN ENNIS AND THE TOWN OF BROOKLINE THAT THE HOUSE LOCATION AS SHOWN WAS LOCATED BY AN INSTRUMENT SURVEY.

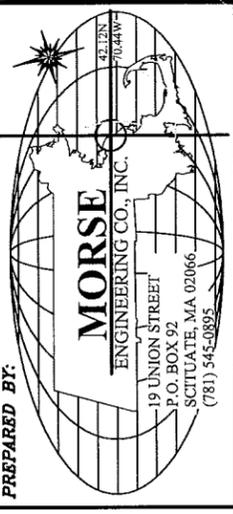
*William McEwen*  
REGISTERED LAND SURVEYOR  
MAY 18, 2015  
DATE



**GENERAL NOTES**

1. ZONING: RESIDENCE S-15 ZONE (SEE TABLE ABOVE)
2. DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS BOOK 7246 PAGE 360.
3. PLAN REFERENCES:
  - PLAN BOOK 117 PAGE 501
  - PLAN BOOK 202 PAGE 1128
  - PLAN BOOK 448 PAGE 407
  - PLAN BOOK 2998 PAGE 2
  - PLAN BOOK 3412 PAGE 144
  - PLAN BOOK 3985 PAGE 524
4. FLOOD ZONE NOTE: LOCUS IS LOCATED IN FLOOD ZONE X AS SHOWN ON F.I.R.M. MAP 25021C-0042E DATED JULY 17, 2012. ZONE X IS DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD. (PANEL NOT PRINTED, REFER TO THE FEMA INTERACTIVE MAP FOR DETAILS).

**PREPARED BY:**



**PROJECT:** PLAN SHOWING EXISTING HOUSE  
362 CLYDE STREET  
(ASSESSOR'S MAP 344-11-00)

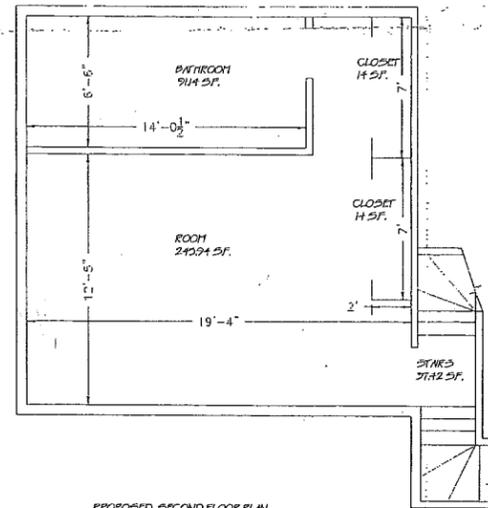
**BROOKLINE, MASSACHUSETTS**

**DRAWN FOR:** EILEEN ENNIS

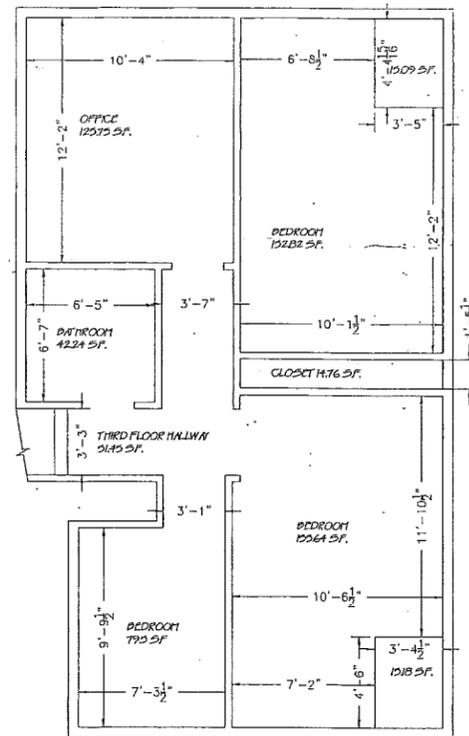
**PLAN TITLE:** LOCATION PLAN

**DRAWN:** WJM  
**JOB NO:** 15-212  
**DATE:** 5/18/15  
**REV:** -

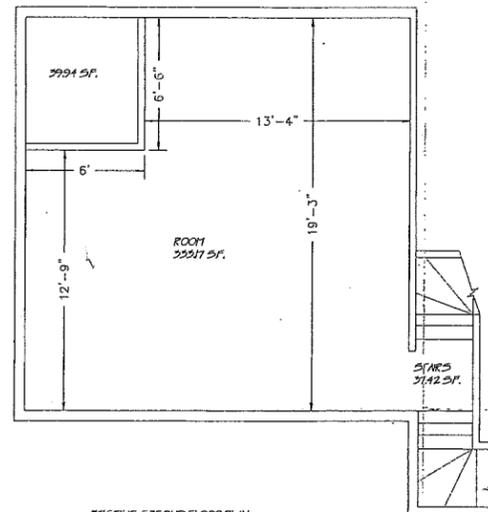
**SHEET:** 1 OF 1



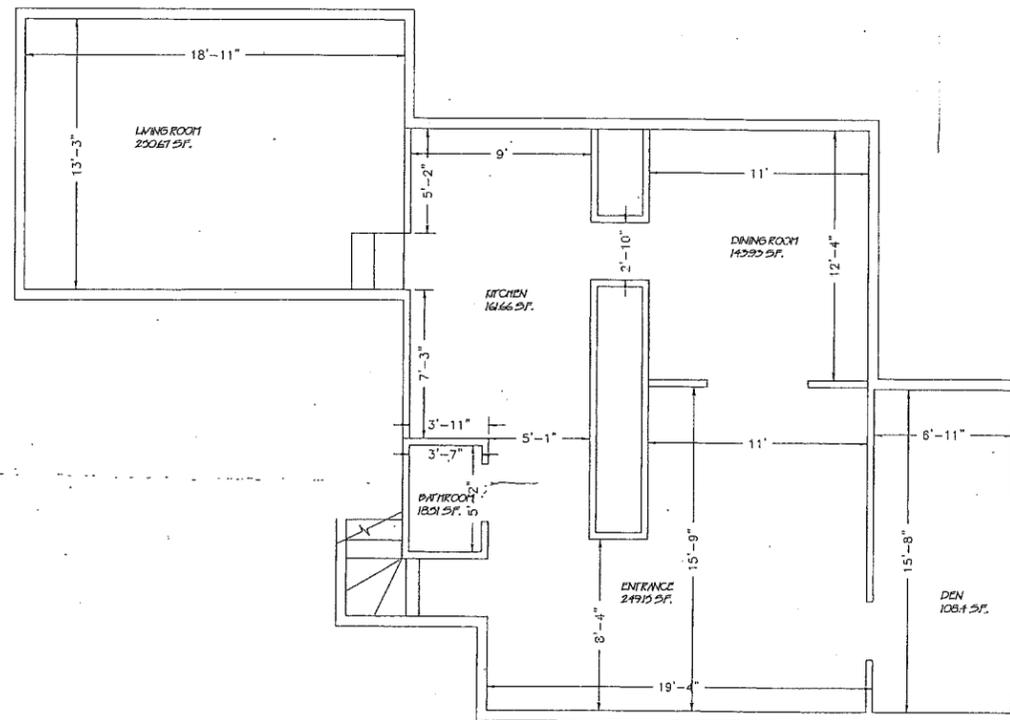
PROPOSED SECOND FLOOR PLAN  
TOTAL SECOND FLOOR AREA: 4025 S.F.



THIRD FLOOR PLAN  
TOTAL THIRD FLOOR AREA: 6243 S.F.



EXISTING SECOND FLOOR PLAN  
TOTAL SECOND FLOOR AREA: 4102 S.F.



FIRST FLOOR PLAN  
TOTAL FIRST FLOOR AREA: 9222 S.F.

GENERAL NOTES:

- All work shall conform to Massachusetts Building Code and all Federal, State and Town of Brookline laws, codes and regulations as each may apply.
- Omissions or conflicts between the various elements of the working drawings and/or the specifications shall be brought to the attention of the Engineer prior to the start of such work.
- The Contractor shall be responsible for coordinating the scheduling and work of all trades and shall check all dimensions. All discrepancies shall be called to the attention of the Engineer and shall be resolved prior to proceeding with the work.
- The Contractor shall supervise and direct the work and shall be solely responsible for the construction means, methods, techniques, sequences and procedures, including but not limited to bracing and shoring.
- The Contractor agrees that in accordance with generally accepted construction practices, the Contractor shall assume sole and complete responsibility for the job site conditions during the course of construction, including the safety of all persons and property, and that this requirement shall apply continuously and not be limited to normal working hours.
- All work shall be performed in a first class and workmanlike manner in conformity with the plans and specifications, and shall be in good usable condition at the completion of the Project.
- The Contractor shall field verify all existing conditions, utility locations and structure placement, prior to start of the work. The Contractor will observe all possible precautions to avoid damage to same. Any damage to existing structures and utilities, whether shown or not on the drawings, shall be repaired or replaced at the Contractor's expense.
- Prior to bidding the work the Contractor shall visit the site and thoroughly satisfy himself as to the actual conditions and quantities, if any. No claim against the Owner or Engineer will be allowed for any excess or deficiency therein, actual or relative.
- Building height must be verified prior to constructing the roof. Contact the surveyor prior to placing the roof structures. Contact the Engineer, if roof pitch needs to be changed to adjust the height.

FAR  
Worksheet

EXISTING FLOOR AREA RATIO CALCULATION:

1ST FLOOR GROSS AREA - 932.32 S.F.  
2ND FLOOR GROSS AREA - 410.53 S.F.  
3RD FLOOR GROSS AREA - 652.43 S.F.  
TOTAL GROSS AREA - 932.32+410.53+652.43=1,995.28 S.F.  
FAR=1,995.28/13,697= 0.146 < 0.25

PROPOSED FLOOR AREA RATIO CALCULATION:

1ST FLOOR GROSS AREA - 932.32 S.F.  
2ND FLOOR GROSS AREA - 402.5 S.F.  
3RD FLOOR GROSS AREA - 652.43 S.F.  
TOTAL GROSS AREA - 932.32+402.5+652.43= 1,987.25 S.F.  
FAR=1,987.25/13,697=0.145 < 0.25

7/20/15		Adjusted Proposal calculation	
DATE		REVISION	
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<b>FLOOR PLAN</b>			
362 CLYDE ST BROOKLINE, MASSACHUSETTS			
<b>RAV</b> & Assoc., Inc. 21 HIGHLAND AVENUE NEEDHAM, MASSACHUSETTS 02494 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205			
SCALE: 1/4"=1'			
APPROVED: R.A.V.	DESIGNED BY: G.S.	DRAWING No.	
DATE: 07/20/15	DRAWN BY: G.S.	S-1001	
	CHECKED BY: R.A.V.		

