



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Sergio Modigliani
Jonathan Simpson
Mark J. Zarrillo

To: Brookline Board of Appeals

From: Brookline Planning Board

Date: AUGUST 13, 2015

Subject: Reconfigure driveway layout, requiring relief for front yard setback and design of all off-street parking facilities.

Location: 52 Norfolk Road

Atlas Sheet:	65	Case #:	2015-0036
Block:	279	Zoning:	S-10
Lot:	06	Lot Area:	22,128 sf

Board of Appeals Hearing: September 10, 2015, at 7:00 p.m.

BACKGROUND

The 52 Norfolk Road property is included in the Chestnut Hill North Local Historic District (CHLHD). Last year, the applicant received a building permit (BP-2014-0895) to construct an addition, a garage, and driveway. The Preservation Commission approved that proposal.

SITE AND NEIGHBORHOOD

52 Norfolk Road is located on a corner lot at the intersection of Norfolk Road and Crafts Road. Built in 1887, the house is Queen Anne and shingle styles. It is 2 1/2 stories with a gable roof, one dormer with gable roof, overhang on front gable, entrance porch with heavily ornamented pediment and turned columns, tri-part semi-circular windows, decorative shingling and asymmetrical facade.

APPLICANT'S PROPOSAL

The applicants would like to modify portions of the plan previously permitted as-of-right by the Building Department and approved by the Preservation Commission. They would like to change the configuration of the driveway and remove a different section of the fence along Crafts Road. The plans were permitted for a 20 feet wide driveway that would run straight from the new garage; the driveway would now be 12 feet wide and curved. This change does not trigger a review by the Preservation Commission. The proposed material is asphalt. An existing fence and mature landscaping will shield the parking area, and

new landscaping will further screen the area as a counterbalancing amenity.

However, other proposed changes to the fence on Norfolk, which do not trigger zoning violations, are being reviewed by the Preservation Commission on Tuesday, August 11, 2015. (See *LHD report from Preservation Planner Greer Hardwicke.*)

FINDINGS

Section 5.43 – Exceptions to Yard Setback and Setback Regulations

Section 5.50 – Front Yard Requirements (driveway)

Section 6.04.5.c.1 – Design of All Off-Street Parking Facilities

Dimensional Requirements	Required	Existing	Proposed	Relief
Section 5.50 Front Yard Setback	20'	Not applicable	7'-9"	Special Permit*
Section 6.04.5.c.1 Driveway in front yard	20'	Not applicable	7-9"	Special Permit*/**

*Under **Section 5.43**, the Board of Appeals may waive setback requirements if counterbalancing amenities are provided. **Under **Section 6.04.5.12**, the Board may waive dimensional requirements for new parking facilities to serve existing buildings.

PLANNING BOARD COMMENTS

The Planning Board is supportive of the proposed revision. The newly angled parking will not significantly increase nonconformance with setbacks and these new parking spaces will be screened by fencing and landscape features.

Therefore, the Planning Board recommends approval of the site plan submitted by Verne T. Porter, Jr. PLS dated March 7, 2014, and the plans by registered architect Kent Duckham and landscape architect Blair Hines dated June 9, 2014 and revised July 7, 2015, subject to approval the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit a final site plan showing the reconfigured driveway consistent with architectural/landscaping plans revised July 7, 2015, subject to review and approval by the Assistant Director for Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a final landscaping plan indicating all counterbalancing amenities subject to review and approval by the Assistant Director for Regulatory Planning.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) a Certificate of Appropriateness signed by the Preservation Commission Chair (for only the applicable findings); and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

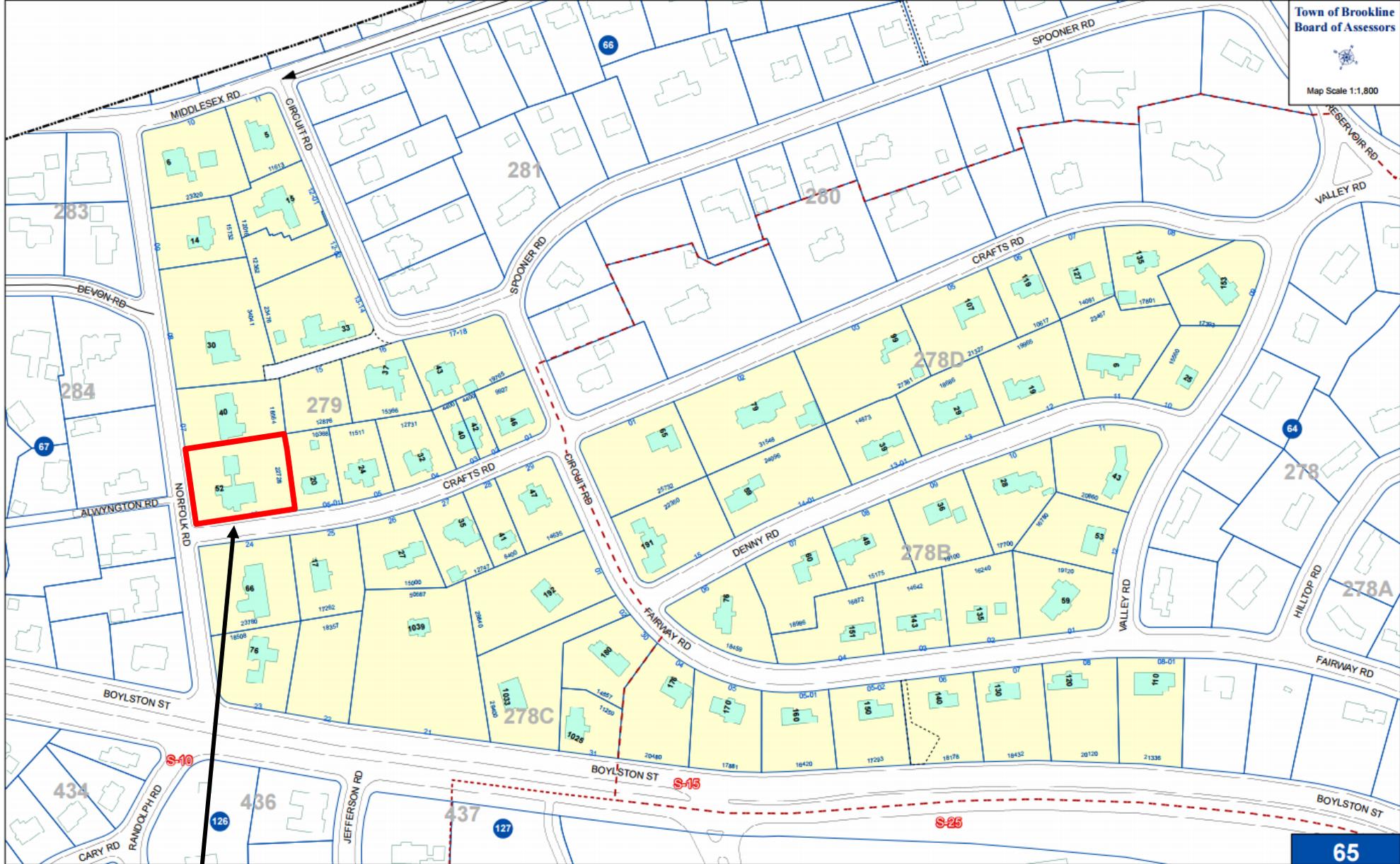
M. Morelli



52 Norfolk prior to alteration



52 Norfolk current condition



52 Norfolk Road

PERMIT SET

JUNE 9, 2014

Blair Hines Design
Associates
LANDSCAPE ARCHITECTS



Issues	Number	Date	Description
	1	07.07.2015	Layout + Materials Plan

Revisions	Number	Date	Description

Checked by: BH

Drawn by: TN

Wyner Residence
52 Norfolk Road
Brookline, MA

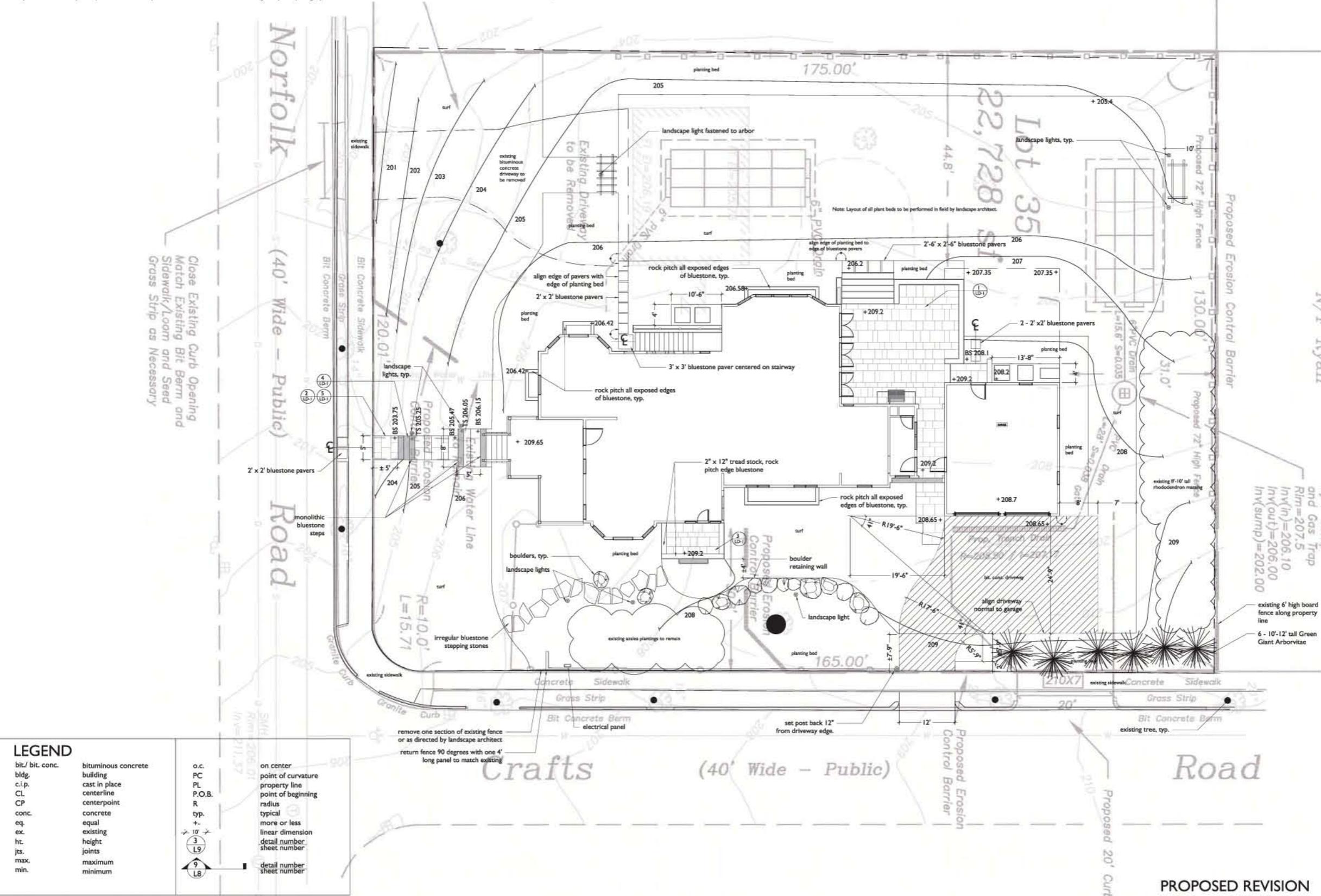


Drawing Scale:
SCALE: 1/8"=1'-0"
Project Number:
201229-00

Date Issued:
06.22.2014

PROPOSED REVISION

- LAYOUT AND MATERIALS NOTES**
- Contractor shall lay out paths, walls and site improvements for review by the Architect prior to proceeding with the work. Make adjustments to layout as directed. Provide proposed grades at all corners and site features as directed.
 - All pedestrian walkways and patios on one level plane: flush condition between all changes in paver/paving styles.
 - Existing conditions information is from a survey performed by _____ land surveyors and dated _____, xx, 20xx.
 - Contractor shall verify all conditions in the field and report any discrepancies to the architect prior to starting work.
 - Contractor shall notify digsafe 1-888-dig-safe and verify underground utilities prior to excavation.
 - Contractor is responsible for repairing any damage caused to roads, walks, utilities, site improvements, existing or proposed, damaged by this project.
 - Items indicated as "relocated" are salvaged and stored from existing site are to be installed by the general contractor.
 - Provide expansion joints in concrete walks at 20' o.c. and control joints at 5' o.c. as per specifications, unless otherwise noted on drawings.
 - All concrete pads at exterior doors shall be pinned to building foundation, refer to structural drawings.
 - Contractor shall coordinate location of all utilities (lines, ducts, conduits, sleeves, footings, etc.) with locations of proposed landscape elements (walls, tree rootballs, proposed lighting footings, etc.). contractor shall report any discrepancies to the architect prior to continuing work.
 - All lines are parallel or perpendicular to lines from which they are measured, unless otherwise noted. dimensions are to face of wall, to face of curb; to edge of pavement; to edge of improvement or as otherwise noted.
 - All pedestrian walkways and patios on one level plane: flush condition between all changes in paver/paving styles.



LEGEND

bit./bit. conc.	bituminous concrete	o.c.	on center
bdg.	building	PC	point of curvature
c.i.p.	cast in place	PL	property line
CL	centerline	P.O.B.	point of beginning
CP	centerpoint	R	radius
conc.	concrete	typ.	typical
eq.	equal	+/-	more or less
ex.	existing	10'	linear dimension
ht.	height	(3/19)	detail number
js.	joints	(9/18)	sheet number
max.	maximum		
min.	minimum		

