



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Sergio Modigliani
Jonathan Simpson
Mark J. Zarrillo

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: September 17, 2015
Subject: Add 13 seats to existing take-out establishment (Clover Food Lab)
Location: 6 Harvard Street

Atlas Sheet:	36	Case #:	2015-0043
Block:	174	Zoning:	G-2.0
Lot:	03-06	Lot Area (s.f.):	±21,192

Board of Appeals Hearing: October 8, 2015, at 7:00 p.m.

SITE AND NEIGHBORHOOD

6 Harvard Street is located in the heart of Brookline Village near the intersection of Harvard Street and Washington Street. The 14,557 square foot retail structure contains five commercial units including the applicant Clover Food Lab. Clover Food Lab exclusively provides take-out food although millwork counters do allow patrons to stand while eating. No off-street parking spaces are provided for employees or customers.

Harvard Street is a primary commercial corridor that includes a variety of active retail uses. The area is also served by both subway and bus public transit. Metered street parking surrounds the structure and the Kent Street municipal parking lot is located approximately one block to the east.

APPLICANT'S PROPOSAL

The Applicant, Clover Food Lab, is proposing to install 13 new seats within the existing take-out establishment. 8 seats will be located at a free standing table near a front facing window and 5 barstool style seats will be located along an existing millwork countertop. No designated off-street parking spaces are proposed by the applicant.

FINDINGS

Section 6.02, Paragraph 1 – Table of Off-Street Parking Requirements

Section 6.02.1.b – Off-Street Parking Regulations

G-2.0 District	Required	Existing	Proposed	Finding
Parking Spaces	2.6	0	0	Special Permit *

*Under Section 6.02.1.b the Board of Appeals may waive up to 10 parking spaces, or 50% of increased parking requirements for the expansion of a non-residential use within a business district after considering business operating hours, parking demand, area public parking, and proximity to public transit.

PLANNING BOARD COMMENTS

The Planning Board supports this request to install 13 seats at Clover Food Lab. Section 6.02.1.b of the Zoning By-Law specifically allows for projects such as this in order to expand commercial activity within local and general business districts. Brookline Village is adequately served by multiple forms of public transportation and public parking is prevalent in the area. Approximately 2-3 employees work at a single time and customer visits are generally short in nature.

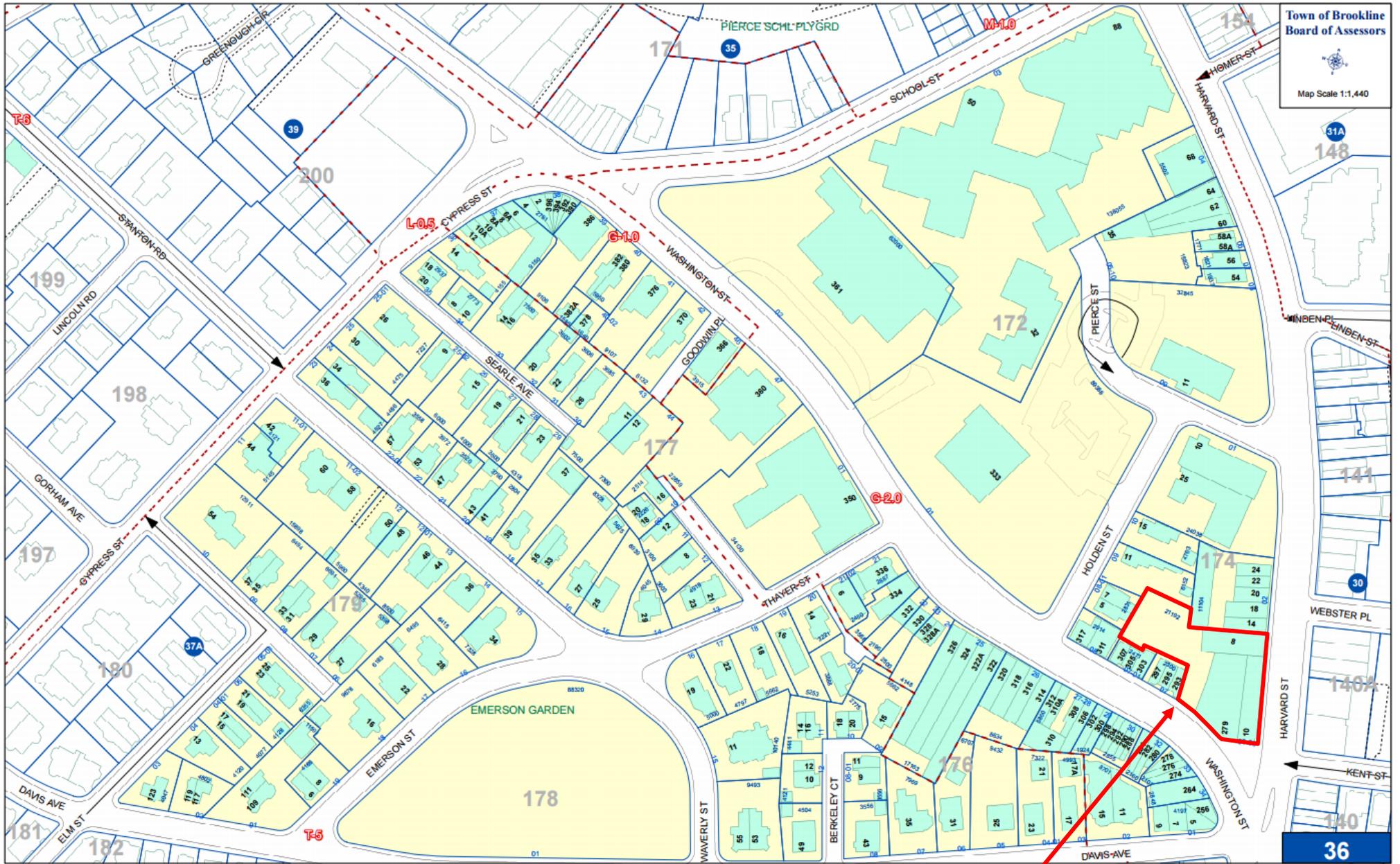
The Planning Board does acknowledge that all building and public health codes, including an ADA compliant restroom, must be met prior to the installation of all proposed restaurant seating.

Therefore, the Planning Board recommends approval of the seating plans submitted by SSD Architecture, dated 5/28/2015, subject to the following conditions:

- 1. Prior to the issuance of a building permit, the applicant shall submit final floor plans including seating locations and an ADA compliant restroom or AAB waiver, subject to review and approval by the Assistant Director for Regulatory Planning.**
- 2. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner to ensure conformance to the Board of Appeals decision: 1) final floor plans stamped and signed by a registered architect; 2) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.**

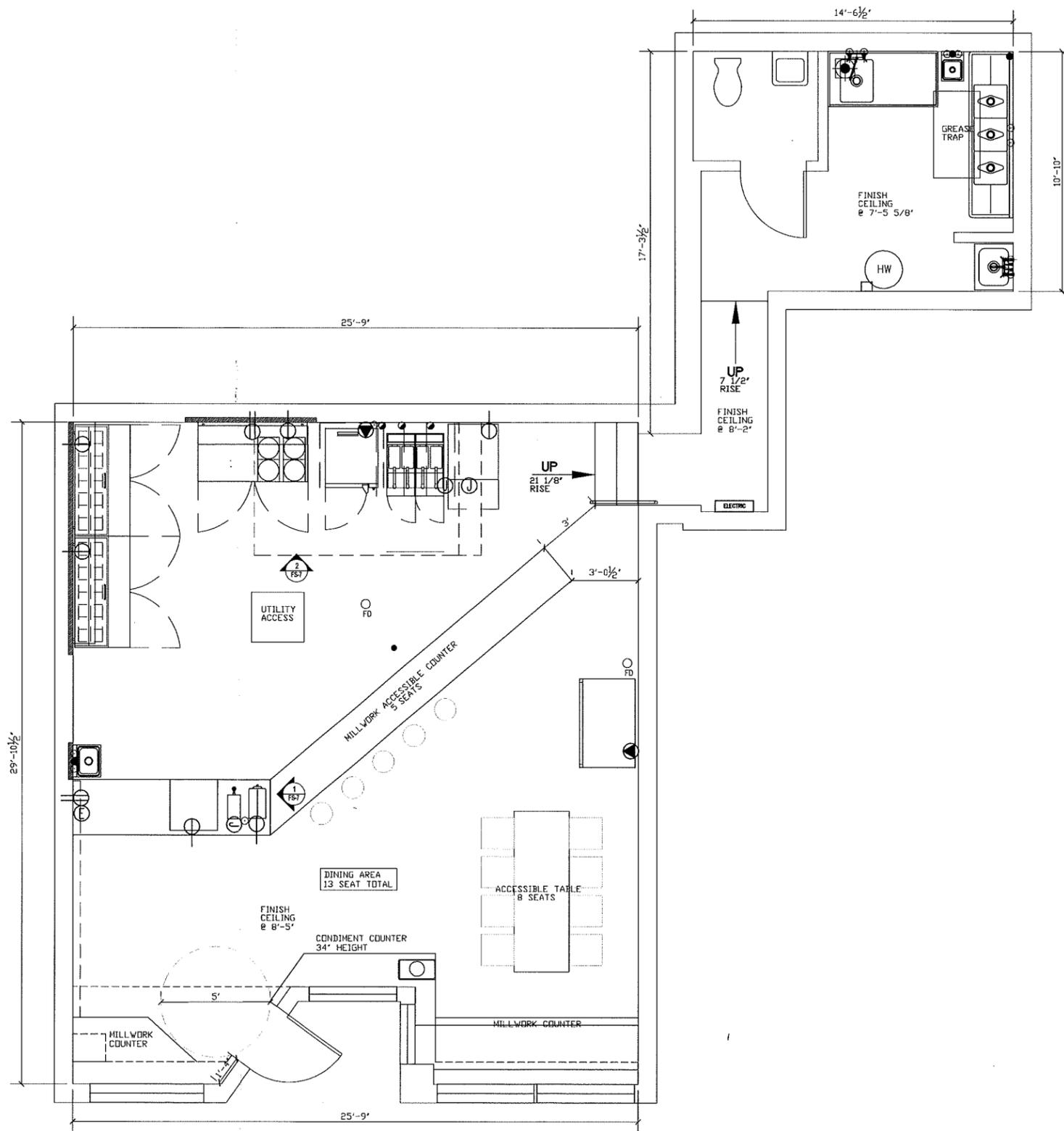
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6 Harvard Street

Map data updated Feb 2010 by Town of Brookline GIS and printed on 04/14/2010



1 GROUND FLOOR PLAN
3/8" = 1'

S s D
171 BROOKLINE STREET
CAMBRIDGE, MA 02139
tel: 617.576.9300
www.ssdarchitect.com
Pfs@ssdarchitect.com

CROWNELL CONSULTING, INC.
37 NEW HAVEN AVENUE, SUITE 200
NEW HAVEN, CT 06511
Phone: 203.247.5141 Fax: 203.247.5142

PROJECT:
CLOVER BROOKLINE
RESTAURANT

PROJECT ADDRESS:
8 HARVARD STREET
BROOKLINE VILLAGE, 02445

DWG TITLE:
PLAN



DATE: 17 SEPT 2015

PROJECT NO: 1504

DWG BY: JH, TH

DWG CHECKED: JH, JP

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