



Town of Brookline

Massachusetts

PLANNING BOARD

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Linda Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Sergio Modigliani
Mark J. Zarrillo

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: September 24, 2015
Subject: Expand existing driveway to create a single surface parking space within the required front and side yards
Location: 18 Greenough Circle

Atlas Sheet:	39	Case #:	2015-0049
Block:	200	Zoning:	T-6
Lots:	13-04	Lot Area (s.f.):	5,646

Board of Appeals Hearing: October 15, 2015, at 7:00 p.m.

BACKGROUND

July 27, 2009 – BOA Case #090030 resulted in the grant of special permit relief to operate a large family daycare accessory use (Little Feet Daycare) at 18 Greenough Circle. This family daycare operates Monday through Friday with a primary drop-off period from 8:30-9:30 a.m. and a primary pick-up period from 4:00-5:30 p.m. Approximately 7-10 children attend the daycare daily, many of whom are residents of the surrounding neighborhood.

SITE AND NEIGHBORHOOD

18 Greenough Circle is a two-story Colonial style home with an attached single-car garage. The single-family home is situated at the end of a private cul-de-sac that is accessible from Washington Street. The applicant owns a portion of this cul-de-sac (see submitted site plan) and uses this area for home daycare drop-off and pick-up. Seven other single-family homes are located along Greenough Circle. Adequate emergency vehicle access is provided for the entirety of the private way and there is limited vehicular traffic because Greenough Circle is a dead end.

APPLICANT'S PROPOSAL

The applicant, Jeffrey Lasky, is proposing to remove a bituminous concrete driveway that provides vehicular access to the existing single-car garage. The driveway will be replaced by a larger belgrade paver surface that will continue to serve as a driveway and provide a new single surface parking space. In order to accommodate this proposed surface parking space, the paved area will be widened toward the side lot line resulting in a 2 foot side-yard setback. This surface parking space will be 9 feet wide at the widest point near the garage and narrows to approximately 8 feet at the sidewalk. The parking space will be 16.9 feet in length.

The applicant is also proposing to install landscaped screening along the side lot line. New plantings will consist of three inkberry bushes and one azalea bush.

FINDINGS

Section 5.43 – Exceptions to Yard and Setback Requirements

Section 6.04.5.c.1 – Design of All Off-Street Parking Facilities: The required front yard setback for parking facilities is the same as the building setback.

Section 6.04.5.c.2 – Design of All Off-Street Parking Facilities: The required side yard setback for parking facilities is 5 feet or one-third the driveway width (6.3 feet), whichever is greater.

Dimensional Requirements	Required	Existing Driveway	Proposed Parking Space	Relief Required
Side-Yard Setback	6.3'	Approx. 11'	2'	Special Permit*
Front-Yard Setback	15'	N/A	0'	Special Permit*

* Under **Section 5.43**, the Board of Appeals may waive yard and/or setback requirements if counterbalancing amenity is provided.

** Setback relief for the parking space can be granted under Section 5.43, as described above, or under **Section 6.04.12**, for installing parking facilities for existing buildings.

Modification, as required, of BOA Decision #090030 (July 27, 2009)

A use special permit was granted to operate this family daycare. The submission of a parking diagram was a condition of that special permit. The proposed parking space is intended to further improve daycare related parking but the applicant should submit a revised parking layout and pick-up/drop-off procedures if they are found to be materially different from current procedures.

PLANNING BOARD COMMENTS

The Planning Board is not opposed to this request to extend the paved area within the front and side yards in order to install a single parking space. Front-yard parking is typically discouraged but the applicant does own the portion of the Greenough Circle cul-de-sac that will be most impacted by this proposal. Traffic along Greenough Circle is minimal and the applicant has operated a home daycare for nearly 25 years with no significant complaint, of which the Town is

aware of. Appropriate counterbalancing amenities are provided along the side lot line in question and the most impacted abutter at 17 Greenough Circle has expressed support for this proposal. The Planning Board acknowledges that the proposed parking space is intended to improve Greenough Circle parking and circulation, particularly during daycare drop-off/pick-up, but does recommend that mitigation measures should be incorporated to minimize damage to the existing tree and root system that is located in close proximity to the proposed parking space.

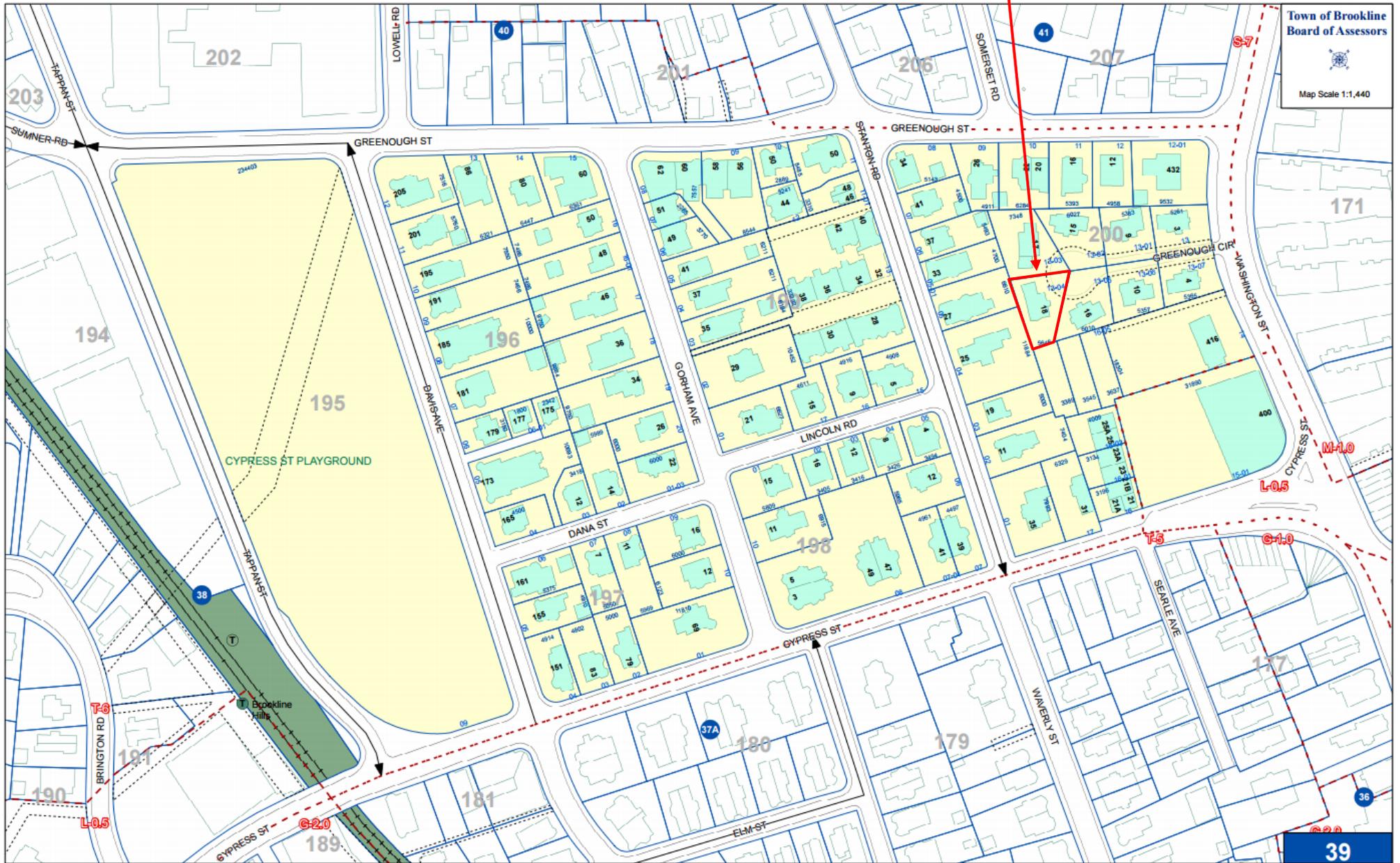
Therefore, the Planning Board recommends approval of the site plan submitted by Scott M. Cerrato, dated 8/8/15, subject to the following conditions:

1. Prior to the issuance of a building permit, a final site plan indicating all parking surface dimensions, paving materials, and setbacks shall be submitted, subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, a final landscaping plan indicating all counterbalancing amenities shall be submitted, subject to the review and approval of the Assistant Director of Regulatory Planning. Every effort should be made to protect the mature tree near the driveway during construction.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; and 2) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

jr



18 Greenough Circle



Town of Brookline
Board of Assessors
Map Scale 1:1,440

PLAN No. 195 of 1937

N/F
25 STANTON ROAD
DEBORAH G. COSTOLLOE

N/F
27 STANTON ROAD
CONDOMINIUM TRUST

N/F
0 CYPRESS STREET
THEODORE L. WASSERMAN

N/F
17 GREENOUGH CIRCLE
CAROL D. MITNICK &
CHRISTOPHER M. JOHNSON

LOT AREA=
5,646 S.F.

N/F
16 GREENOUGH CIRCLE
MYRNA R. SOLOMON

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL INSTRUMENT SURVEY MADE ON THE GROUND IN AUGUST 2015 AND THAT THE STRUCTURES DEPICTED HEREON ARE LOCATED AS SHOWN.

8-8-15
DATE SIGNATURE



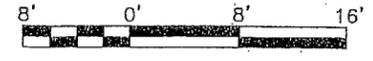
TITLE REFERENCES:
Owner: Jeffrey S. Lasky &
Owner: Laurie B. Brooke-Lasky
Deed Ref.: Book 6941, Page 456
Plan Ref.: Plan No. 195 of 1937

ZONING DISTRICT: T-6
DIMENSIONAL REQUIREMENTS

REGULATION	REQ.
LOT SIZE	5,000 S.F.
LOT WIDTH	45.0'
FRONT SETBACK	15.0'
SIDE SETBACK	7.5'
REAR SETBACK	30.0'

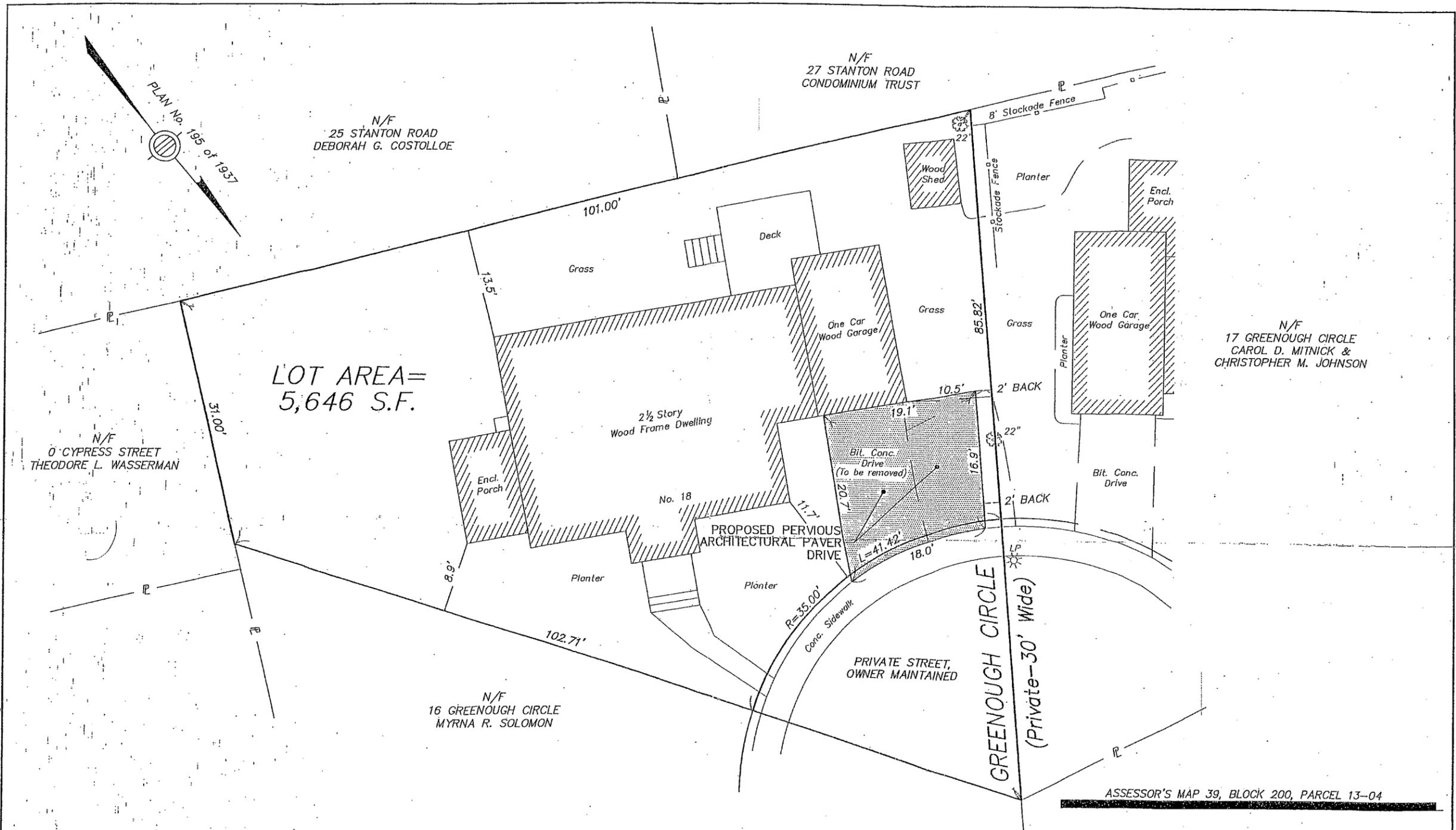
PLOT PLAN OF LAND
IN
BROOKLINE, MASSACHUSETTS
18 GREENOUGH CIRCLE

SCALE: 1"=8' AUGUST 8, 2015

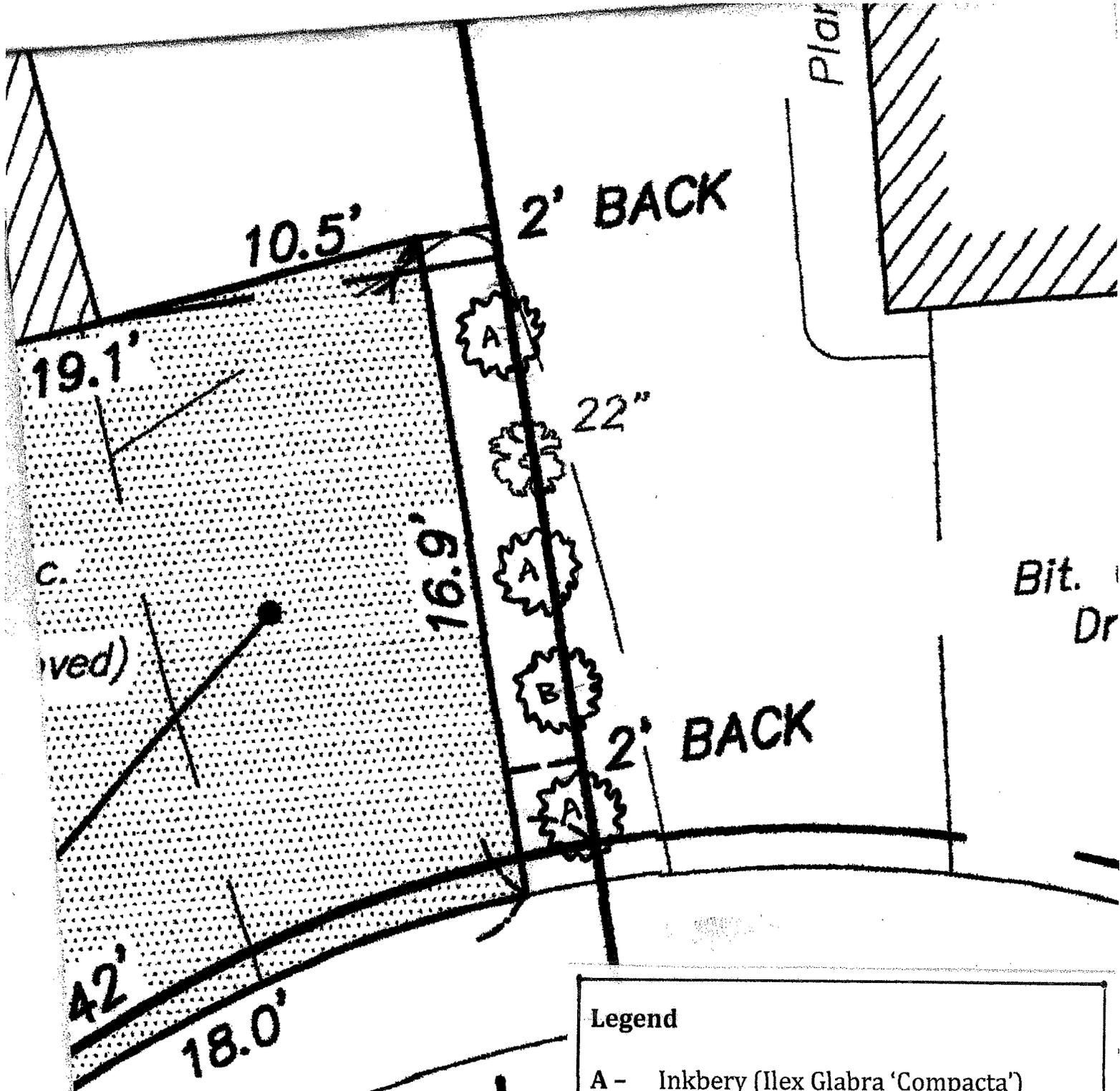


PREPARED FOR
JEFFREY S. LASKY
LAURIE B. BROOKE-LASKY

SCOTT M. CERRATO, P.L.S. NORTH READING, MA



ASSESSOR'S MAP 39, BLOCK 200, PARCEL 13-04



Legend

- A - Inkbery (*Ilex Glabra 'Compacta'*)
Matures to 4'H x 4'W
Planted 3'H x 3'W
- B - Azalia (*Azal Elsie Lee*)
Matures to 3'H x 5'W
Planted 2-1/2'H x 3-1/2'W

Driveway - Belgard pervious architectural;
6x6 and 6x9 pattern attached