



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
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Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Sergio Modigliani
Mark Zarrillo

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: September 24, 2015
Subject: Add second floor on top of one story sunroom in place of deck
Location: **385 Clinton Road**

Atlas Sheet:	50	Case #:	2015-0048
Block:	264	Zoning:	S-10
Lot:	03	Lot Area (s.f.):	11,495

Board of Appeals Hearing: October 15, 2015 at 7:05 pm

SITE AND NEIGHBORHOOD

385 Clinton Road is located off of Chestnut Hill Avenue, south of Beacon Street, and the area consists primarily of single-family homes. The dwelling is a two and a half story gambrel with a slate roof, eyelid dormer, two integrated shed dormers, and an arched, columned front entrance. It was built in 1916 and designed by Edward B. Stratton.

APPLICANT'S PROPOSAL

The applicants, Celine and Rony Sellam, are proposing to construct a second floor addition over the one story sunroom and create an additional 190 square feet of floor area for a master bathroom. The siding of the addition will match the existing house and the balustrade will be relocated from the sunroom roof onto the second story flat roof. Between the first story and the new second story windows, there will be new roofing, which will wrap around to meet the existing slate roof of the main house. The applicant initially proposed using an ecostar majestic slate, a synthetic material, but has since changed the material to copper.

FINDINGS

Section 5.09.2.j – Design Review: All proposals for exterior additions that require FAR relief under *Section 5.22*, also require a special permit for design review under the Community and Environmental Impact and Design standards listed in *Section 5.09.4.a-n*. The applicable standards are as follows:

Preservation of Trees and Landscape: Since the addition is on top of the first floor there will be no removal of trees or landscaping.

Relation of Buildings to Environment: The addition is consistent with the rest of the dwelling's style.

Relation of Buildings to the Form of the Streetscape and Neighborhood: Since the addition is in keeping with the style of the house, it will not impact the streetscape or neighborhood.

Open Space: The addition will not affect the existing open space on the property.

Section 5.22.3.c – Exceptions to Floor Area Ratio (FAR) for Residential Units

Dimensional Requirements	Allowed	Existing	Proposed	Relief
Floor Area Ratio	.30	.41	.43	Special Permit*
FAR Percentage	100%	134%	140%	
Floor Area	3,499 s.f.	4,696 s.f.	4,886 s.f.	

*Under Section 5.22.3.c, the Board of Appeals may by special permit allow an increase in floor area for an exterior addition that is less than or equal to 350 square feet, provided that the addition does not result in a floor area that is over 150% of the allowed floor area.

Section 8.02.2 – Alteration or Extension

A special permit is required to alter a pre-existing non-conforming structure.

PLANNING BOARD COMMENTS

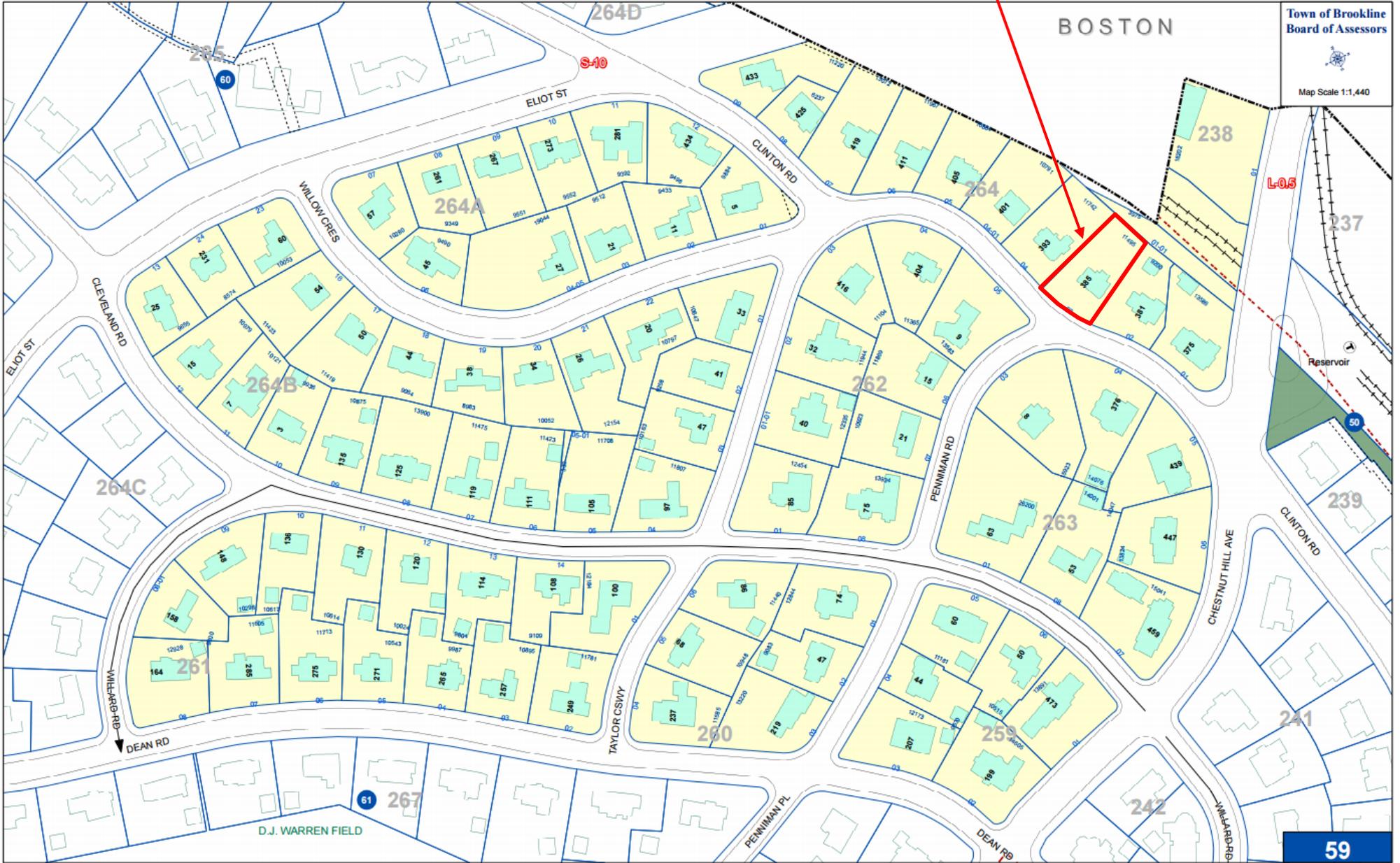
The Planning Board is supportive of this proposal to build an addition on top of the one story sunroom in order to create more habitable space. The Board finds the design to be attractive and complementary to the house and prefers that the new roof be copper, rather than a faux slate.

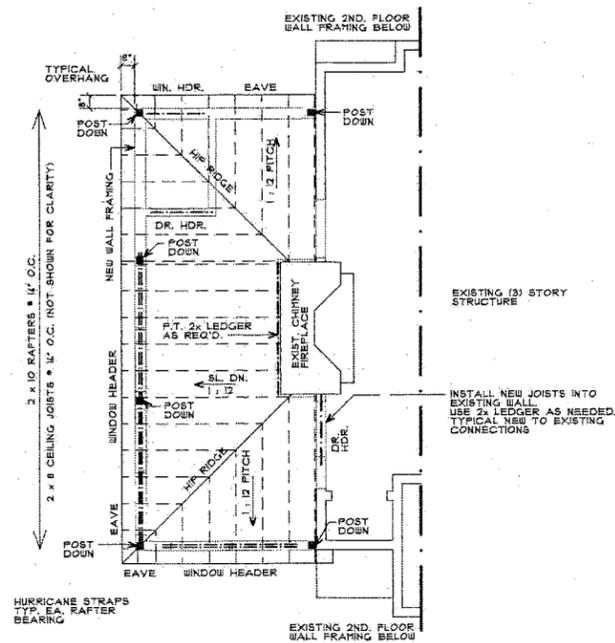
Therefore, the Planning Board recommends approval of the plans by David Sharff, Architect, dated 7/23/15, subject to the following conditions:

1. Prior to the issuance of a building permit, final floor plans, elevations, and a site plan shall be submitted subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) final floor plans and building elevations stamped and signed by a registered architect; and 2) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

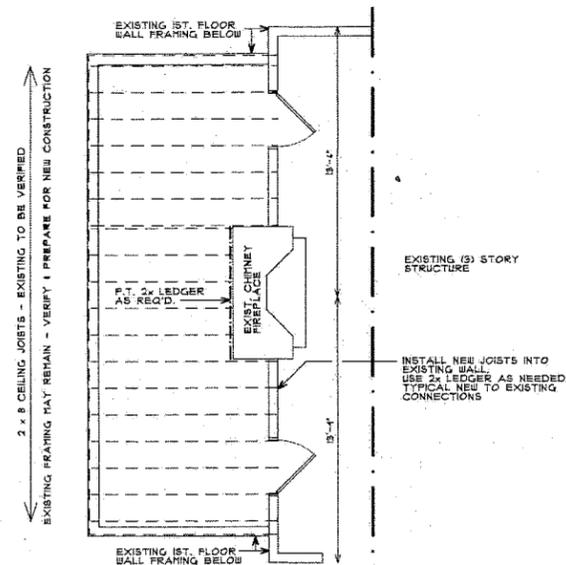
pss

385 Clinton Road

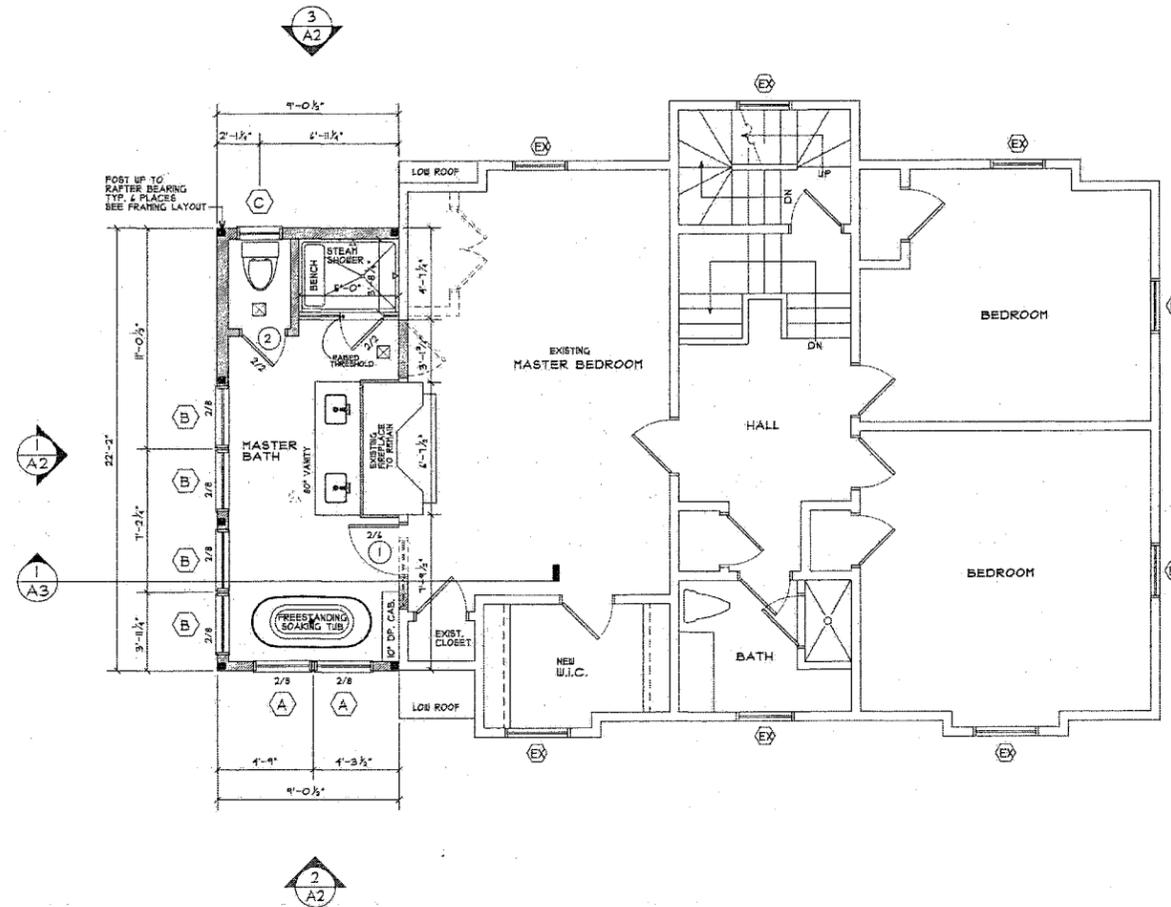




2 2ND. FLOOR RAFTER FRAMING LAYOUT
SCALE: 1/4" = 1'-0"



3 1ST. FLOOR CEILING - 2ND. FLOOR FRAMING LAYOUT
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

- THE G.C. SHALL PERFORM ANY DEMOLITION AND/OR REMOVAL OF EXISTING WORK REQUIRED BY THE PROJECT IN FULL COMPLIANCE WITH THE MASS STATE BUILDING CODE AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- DEMOLITION ACTIVITIES SHALL BE CONDUCTED WITH CARE AS THE G.C. SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED TO ADJACENT AREAS NOT INDICATED FOR DEMOLITION. THE G.C. SHALL PROMPTLY REPAIR ANY DAMAGE CAUSED TO ADJACENT FACILITIES AT NO COST TO THE OWNER.
- THE G.C. SHALL BE RESPONSIBLE FOR ENSURING THE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION AND SHALL PROTECT ADJACENT AREAS AND PROPERTY FROM DUST, EXCESSIVE NOISE AND OTHER CONSTRUCTION NUISANCES.
- THE G.C. SHALL BE RESPONSIBLE FOR THE SAFE AND LEGAL REMOVAL AND DISPOSAL OF CONSTRUCTION DEBRIS FROM THE SITE.
- THE G.C. SHALL BE RESPONSIBLE FOR REMOVING ALL MATERIAL NECESSARY IN ORDER TO ACCOMPLISH THE DESIGN DESCRIBED IN THESE DRAWINGS. THE G.C. SHALL REFER TO THE WORK SHOWN ON THE FLOOR PLANS FOR THE EXACT EXTENT OF DEMOLITION REQUIRED.
- WHEN REMOVING WALLS, FLOORS, CEILINGS AND EQUIPMENT, THE G.C. SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE TO THE STRUCTURE.
- THE G.C. SHALL PROTECT ALL EXISTING CONSTRUCTION AND FINISHES FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- THE G.C. SHALL PROVIDE FOR ALL DUCT, PIPE AND CONDUIT CHASES AS REQUIRED TO ACCOMPLISH THE DESIGN SHOWN. THE G.C. SHALL PATCH PENETRATIONS RESULTING FROM THE REMOVAL OF EXISTING DUCT, PIPE OR CONDUIT.
- PREPARE ALL INTERIOR SURFACES BY FIRST OBTAINING BARE, CLEAN SUBSTRATE FOR NEW FINISHES.
- WHERE AN EXISTING EXTERIOR WALL BECOMES AN INTERIOR PARTITION, THE G.C. SHALL REMOVE ALL WALL FINISHES TO EXPOSE EXISTING STUDS.
- REMOVE ALL EXISTING CABINETS, COUNTERTOPS, FINISHES, FIXTURES, ALL PLUMBING AND ELECTRICAL SERVICES TO BE ABANDONED SHALL BE REMOVED IN THEIR ENTIRETY.
- REMOVE ALL CRACKED AND DAMAGED PLASTER AND LATH. IF SURFACE REMOVED OPENS AN EXTERIOR WALL, INSULATE CAVITY W/ R-13 BATT INSULATION, INSTALL VAPOR BARRIER, INSTALL NEW BLUEBOARD HAVING THE APPROPRIATE THICKNESS AND SKIM COAT.

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE MASS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND STANDARDS.
- THE G.C. SHALL MAINTAIN THE SITE IN A SAFE, SECURE AND ORDERLY CONDITION AT ALL TIMES.
- ANY DISCREPANCIES WITH ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE G.C. SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DEVIATION FROM THAT INDICATED ON THE DRAWINGS.
- PLAN DIMENSIONS ARE INDICATED TO THE FINISH FACE OF WALL UNLESS OTHERWISE NOTED. WALLS THAT WILL RECEIVE AN ADDITIONAL FINISH (SUCH AS PLASTER SKIM COAT, EXTERIOR SIDING, ACOUSTICAL PANEL OR CARPET) ARE DIMENSIONED TO THE FACE OF THE SUBSTRATE.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL BLOCKING REQUIRED FOR CABINETS AND OTHER OWNER PROVIDED ITEMS.
- THE G.C. SHALL COORDINATE ELECTRICAL, PLUMBING, AND MECHANICAL LOCATIONS FOR ALL EQUIPMENT.
- ALL SITE RELATED WORK (RETAINING WALLS, GRADING, DRAINAGE, LANDSCAPING) INDICATED ON THE DRAWINGS IS SHOWN FOR INTENT ONLY.
- ALL WINDOW AND DOOR HEAD HEIGHTS ARE TO BE MATCH THE EXISTING. CONTRACTOR SHALL VERIFY CONSISTENCY WITH EXISTING DOORS AND WINDOWS.
- ALL WINDOW AND DOOR CASINGS AND TRIM SHALL MATCH THE EXISTING UNLESS NOTED OTHERWISE.
- HARD-WIRED SMOKE DETECTORS REQUIRED ONE PER FLOOR, AND ONE IN EACH BEDROOM.
- SCOPE OF WORK SHALL INCLUDE COMPLETE PREPARATION AND PAINTING OF BOTH NEW AND EXISTING INTERIOR AND EXTERIOR WORK.

- 5/1 IONIZATION TYPE HARD WIRED SMOKE DETECTOR
- 5/2 CARBON MONOXIDE DETECTOR (HARD WIRED OR BATTERY)
- 5/3 PANASONIC WHISPER GREEN 10 CFM VENT FAN MODEL # FV-RVKS

LEGEND

- EXIST. PARTITION TO REMAIN
- EXIST. PARTITION TO BE REMOVED
- NEW PARTITION
- EXISTING DOOR TO REMAIN IN PLACE, OR RELOCATED
- EXISTING DOOR TO BE REMOVED
- NEW DOOR



REVISIONS

ISSUED FOR PERMIT
27 JULY 2015

PROJECT TITLE

SELLAM RESIDENCE
385 CLINTON ROAD
Brookline, Massachusetts 02445

DAVID SHARFF ARCHITECT, P.C.

67 WEST STREET
MEDFIELD, MA 02052

508.359.5737

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PROJECT NO: SELO32015

DATE: 23 JULY 2015

SCALE: 1/4" = 1'-0"

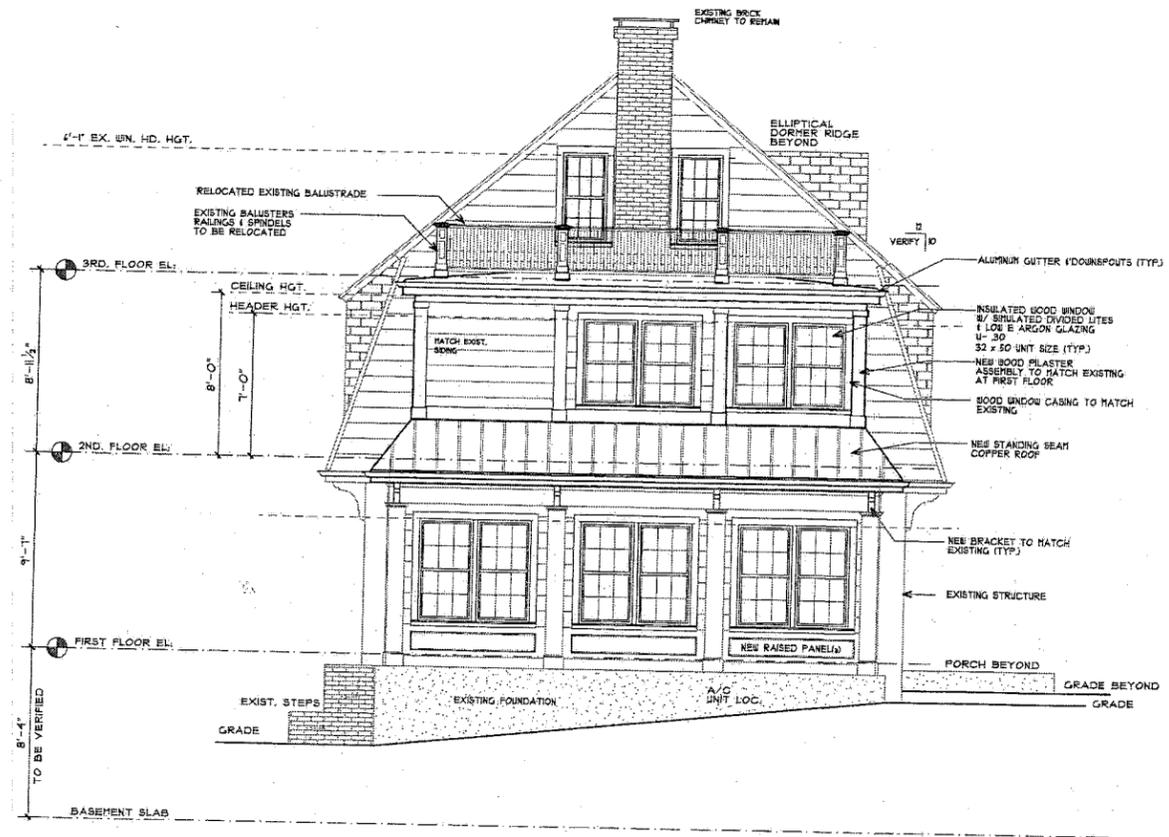
DRAWN BY: DS / JM

DRAWING NAME:
FLOOR PLANS

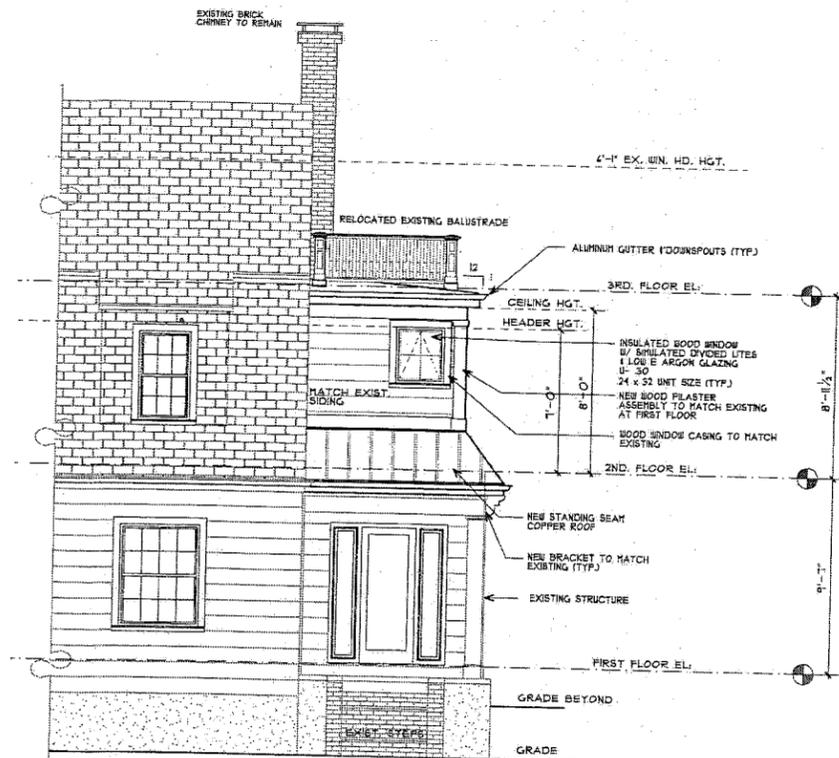
NORTH

SHEET NO.
A1

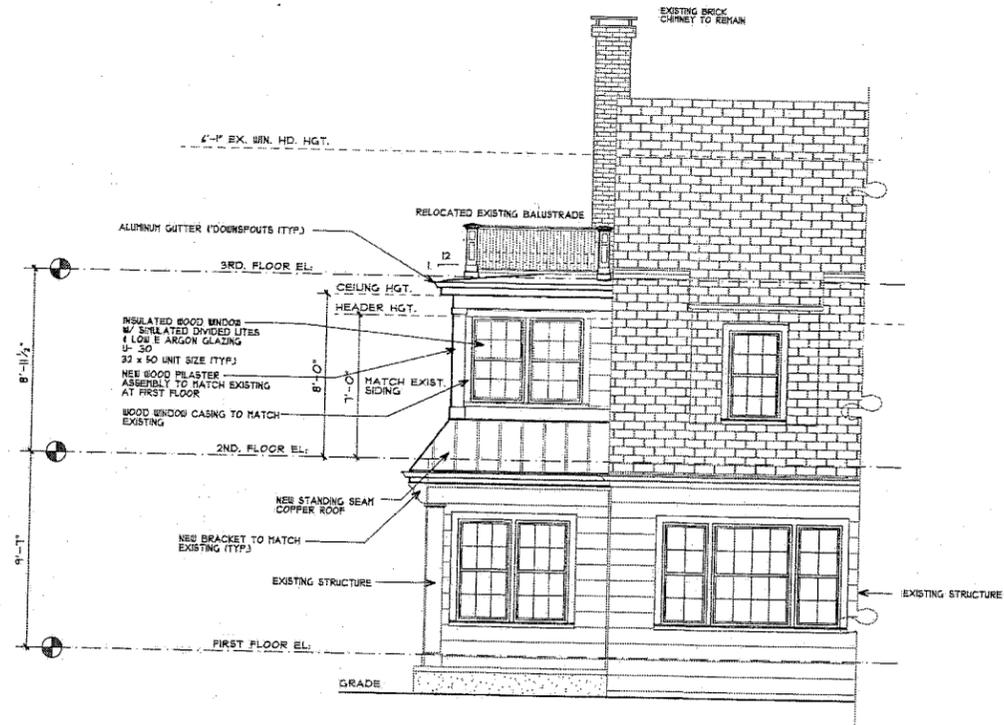
SELLAM RESIDENCE, Brookline, MA.



1 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 PARTIAL REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"

STAMP



REVISIONS

22 SEPTEMBER 2015
CHANGE ROOF MATERIAL

PROJECT TITLE

SELLAM RESIDENCE
385 CLINTON ROAD
Brookline, Massachusetts 02445

DAVID SHARFF
ARCHITECT, P.C.

67 WEST STREET
MEDFIELD, MA 02052

508. 359.5737

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PROJECT NO: 25041

DATE: 23 JULY 2015

SCALE: 1/4" = 1'-0"

DRAWN BY: JM

DRAWING NAME

EXTERIOR
ELEVATIONS

NORTH

SHEET NO.

A2

SELLAM RESIDENCE, Brookline, MA

