



TOWN OF BROOKLINE

Massachusetts

DEPARTMENT OF PLANNING
AND COMMUNITY DEVELOPMENT

ALISON C. STEINFELD
Planning Director

To: Zoning Board of Appeals
From: Maria Morelli / Planning Department
Date: October 22, 2015
Case: 29 Summit Avenue (BOA #2014-0028)

Re: Proposed basement garage and driveway

Members of the Board:

On August 13, 2015, the Planning Board voted 4-2 in favor of a basement garage with an entrance on the front façade and a new driveway with the following recommendation specified in Condition 1 of its report:

“Prior to the issuance of building permit, the applicant shall submit a final site plan, elevations, and floor plans showing the house raised with two parking spaces in the side yard driveway and one parking space in the basement garage, no grade separation between driveway and garage, a 7-foot high garage door, and pavers installed in the front yard driveway and in the side yard driveway at least up to the garage entrance subject to the review and approval of the Assistant Director for Regulatory Planning.”

In response to this recommendation, the applicant has submitted revised plans dated October 8, 2015. The Planning Department reviewed the plans to assess if the revisions satisfy the Planning Board’s August 13 recommendations; that analysis is included in the memorandum. In addition, Planning Department reviewed the plans with the Building Commissioner and can confirm that the latest proposal does not introduce any new non-conformities or exacerbate any existing non-conformities.

Location: 29 Summit Avenue

Atlas Sheet:	17A	Case #:	2014-0028
Block:	085	Zoning:	T-5
Lot:	51	Lot Area (s.f.):	4,125 sf

FINDINGS

Section 5.01, Footnote 1: Table of Dimensional Requirements
Section 5.60: Side Yard Setback
Section 5.70: Rear Yard Setback
Section 6.04.c.1: Design of all off-street parking facilities
Section 8.02.2: Alteration of Extension

	Existing	Required / Allowed	Proposed	Finding
Sec. 5.60 Left side yard setback	5.5 ft	10 ft	5.5 ft to new exterior stairs	Special Permit / Variance*
Sec. Rear yard setback	31 ft to area of proposed stairs; 18.4 ft to area of infill addition	30 ft	17 feet to new infill addition 24 feet to new exterior stairs	Special Permit / Variance*
Garage setback from street 6.04.5.c1	NA	20 feet	19.3 feet	Special Permit / Variance**

* Section 5.43: The Board may waive setback requirements if counterbalancing amenities are offered.

**Section 6.04.12: The Board may permit in lieu of the dimensional requirements of this section, the substitution of other requirements provided that such substitution is necessary.

EXISTING CONDITIONS

The current structure is a two-family house on an undersized lot on which the grade of the property declines 3% from the front lot to the rear lot line. There is also a considerable cross-slope (incline) from the left lot line to the right lot line.

The existing side yard driveway is 45 feet deep (if measured from its alignment with the rear façade of the house and to the front yard setback only). Within this depth, two parking spaces can be accommodated without incurring front yard parking violations. A parking space with a depth of at least 18 feet is specified for a standard-size vehicle under Section 6.04.2.b. The front yard setback for T-5 zoning is 15 feet.

PROJECT DESCRIPTION

The applicant Boris Kutikov proposes renovating and expanding this two-family structure to create a third floor in the attic space and constructing an exterior staircase in the rear. A new basement garage would accommodate one vehicle.

Mr. Kutikov is seeking side and rear setback relief for an exterior staircase on the rear façade that would begin at grade at the basement level and extend to the second floor. The footprint of the staircase would be 7.5 feet deep by 11.75 feet wide. The proposed materials are wood treads, risers, and rails. The staircase is covered by a flat roof that is the same dimension of the stairwell's footprint.

The applicant is also seeking rear yard setback relief for expanding the basement, first, and second floors of the structure. Currently, there is an L-shaped jog in the right rear corner of the footprint. The applicant is expanding this 44 sf area of the foundation by extending the existing rear wall and the existing right side wall so that they meet at 90 degrees; the walls on the first and second floors would align with the newly expanded foundation. Floor area would increase from 2032 sf to 4025 sf and would remain under the required FAR.

The applicant is also adding a gable to the rear to create space on the third floor and thereby extending the non-conforming rear yard setback.

Mr. Kutikov proposes heavy landscaping in the front yard, left side yard, and rear yards, as well as a new fence as counterbalancing amenities.

The applicant proposes retaining the existing side yard driveway that accommodates two parking spaces; this paved area will not be extended. A new basement garage with a 7-foot high garage door is proposed to accommodate one car. The previous plans showed a 6-foot high garage opening and no separation in grade, which did not seem feasible to the Planning Board. The front yard driveway will be graded so that the cross-slope is minimized; the slope between the garage entrance and street would be about 10%, which is compliant with regulations.

To accommodate the new driveway grading, two low retaining walls are proposed near the porch and on the right side lot line. The retaining walls do not exceed maximum height allowed for fences/walls in front and side yards.

The project continues to meet the required open space requirements.

HOW THE PROPOSAL ADDRESSES PLANNING BOARD RECOMMENDATIONS

Parking: The applicant proposes constructing a new basement garage to accommodate one car, and retaining two parking spaces in the existing side yard driveway. This is consistent with the Planning Board's recommendation.

Driveway Grading: To achieve no separation in grade between the driveway and the sidewalk and accommodate a garage door height of 7 feet, as recommended by the Planning Board, the applicant would need to raise the house three to four feet. (The Planning Board was concerned that the grading of the driveway did not transition gradually to street level to ensure pedestrian safety.) The applicant's response was to raise the ceiling of the basement one foot to accommodate the 7-foot high door and to soften the grading from the street to the garage door entrance and to even the cross-slope of the two driveways. Although the slope of the driveway is 10%, and deviates from the Board's recommendation, the Planning Department considers this alternative preferable to raising the house three to four feet and notes that the slope is compliant with regulations. To address the Board's concern about pedestrian safety, the Planning Department has consulted with Peter Ditto, Director of Engineering and Transportation. He will provide his comments regarding proposed grading and any possible adjustments under separate cover.

Driveway Materials: The applicant has committed to installing pavers in the two driveways but this should be indicated on the final site plan.

PLANNING DEPARTMENT COMMENTS

The Planning Department and the Building Commissioner have reviewed the revised plans and confirm that no new non-conformities were triggered. The height of the addition does not exceed the height of the existing ridge line.

The plans have been revised to improve the unbalanced front entrance and awkward intersection of portions of the roof form. Raising the ceiling of the basement is preferable to raising the house itself to accommodate a 7-foot high garage door.

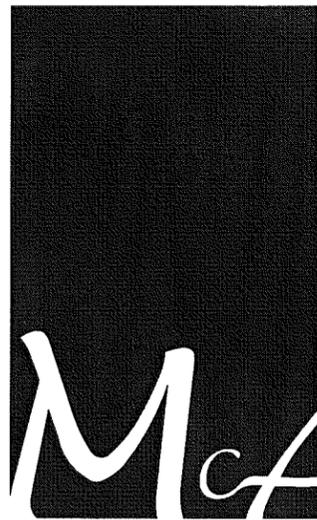
The Planning Department notes that the driveway slope is compliant with zoning regulations. If the Director of Engineering has any recommendations to improve grading, he will provide them under separate cover.

The Planning Board in general is opposed to front yard parking, and some members were concerned that the new driveway in the front yard would essentially provide a fourth parking space; however, the Board in general was satisfied that the Town regulation prohibiting front yard parking is a sufficient control measure.

The Planning Department recommends that a final site plan show the parking layout for three cars, as well as pavers indicated for the new and existing driveway.

Therefore, the Planning Board and the Planning Department recommend approval of the architectural plans submitted by Beth McDougal of McDougal Architects, dated October 8, 2015, and the site plan submitted by registered land surveyor Verne T. Porter April 14, 2015, subject to the following conditions:

1. Prior to the issuance of building permit, the applicant shall submit a final site plan, elevations, and floor plans subject to the review and approval of the Assistant Director for Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a final landscaping plan indicating parking layout, paver materials for the driveway, and all counterbalancing amenities, subject to the review and approval of the Assistant Director for Regulatory Planning.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final floor plans and elevations stamped and signed by a registered architect; 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.



McDougal Architects
 Architecture and Interior Design

29 SUMMIT AVE.

BROOKLINE, MASSACHUSETTS 02446

OCTOBER 8, 2015

PERMIT SET

PROJECT DIRECTORY

OWNER
 Kenwood Builders
 397A Harvard St.
 Brookline, MA 02446
 T. (617) 274.8691
 F. (617) 274.8691
 Contact: Gerry Korchmar

ARCHITECTS
 McDougal Architects
 840 Summer St, 305b
 Boston, MA 02127
 T. (617) 292.2724
 F. (617) 292.2033
 Contact: Beth McDougal

CONTRACTOR
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 Brookline, MA 02446
 T. (617) 274.8691
 F. (617) 274.8691
 Contact: Gerry Korchmar

DRAWING INDEX

D101 DEMOLITION PLANS
 D102 DEMOLITION PLANS
 D103 DEMOLITION ROOF PLAN
 D201 DEMOLITION ELEVATIONS
 D202 DEMOLITION ELEVATIONS
 A101 PROPOSED PLANS
 A102 PROPOSED PLANS
 A103 PROPOSED ROOF PLAN
 A201 PROPOSED ELEVATIONS
 A202 PROPOSED ELEVATIONS
 A301 BUILDING SECTION

	REQUIRED	EXISTING	PROPOSED	FINDING
MIN. LOT SIZE	5,000 s.f.	4,125 s.f.	4,125 s.f.	PRE-EXISTING NON-CONF.
FLOOR AREA (s.f.)	5,000 s.f.	2,322 s.f.	4,045 s.f.	COMPLIANT
FLOOR AREA RATIO (% OF ALLOWED)	1.0 (100%)	.56 (56%)	.98 (98%)	
LOT WIDTH	45 ft.	52.50 ft.	52.50 ft.	COMPLIANT
FRONT YARD SETBACK	15 ft.	11.8 ft.	11.8 ft.	SPECIAL PERMIT
REAR YARD SETBACK	10 ft.	18.4 ft.	18.4 ft.	COMPLIANT
SIDE YARD SETBACK	30 ft.	5.5 ft.	5.5 ft.	SPECIAL PERMIT
USABLE OPEN SPACE	391.3 s.f. 10%	1234 s.f. 53%	1097 s.f. 30.0%	COMPLIANT
LANDSCAPED OPEN	1173.9 s.f. 30%	2011 s.f. 86.6%	1842 s.f. 44.7%	COMPLIANT

GENERAL NOTES

- ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE AND THE LATEST REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE AND THE APPLICABLE CITY OR TOWNSHIP, ALL LOCAL AND STATE HANDICAP AND FEDERAL REQUIREMENTS, AND GENERAL CONDITIONS PER IIA DOCUMENT #A205 AND OWNER/CONTRACTOR AGREEMENT DOCUMENT #A105.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER AND THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH THE INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE ARCHITECT FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO NEGLIGENCE OR WHICH COULD HAVE BEEN REASONABLY FORESEEN BY PRIOR INSPECTION OF EXISTING CONDITIONS.
- PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECTS FOR CLARIFICATION AND/OR SIMILAR DETAIL.
- THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED OR PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNERS VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATIONS, HEREIN. ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED, SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS MATERIALS AND FINISHES WITH THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTORS OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR STRUCTURAL OR RENOVATION TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTORS OWN COST AND EXPENSE.
- THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL THE WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED PROFESSIONALS AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN-OFFS.
- THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES, SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURERS WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.
- CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTORS EMPLOYEES, SUBCONTRACTOR OR THEIR WORK.
- CONTRACTOR SHALL ASSIST DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/FINISHES FOR ARCHITECTS APPROVAL ON ANY DEVIATION/SUBSTITUTION FROM CONTRACT DOCUMENTS.
- CONTRACTOR TO VERIFY ALL FIXTURE COUNTS, AS APPLICABLE TO THEIR CONTRACT, WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSEOUT, PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTEES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY, COORDINATE WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST, WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY. ALL FLOORS MUST BE MOPPED CLEAN.
- CONTRACTOR TO PROVIDE 3 COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.
- CONTRACTOR TO KEEP A SET OF THE MOST CURRENT DRAWINGS ON SITE AT ALL TIMES.

MECHANICAL DOCUMENTS:

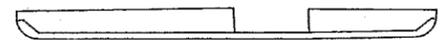
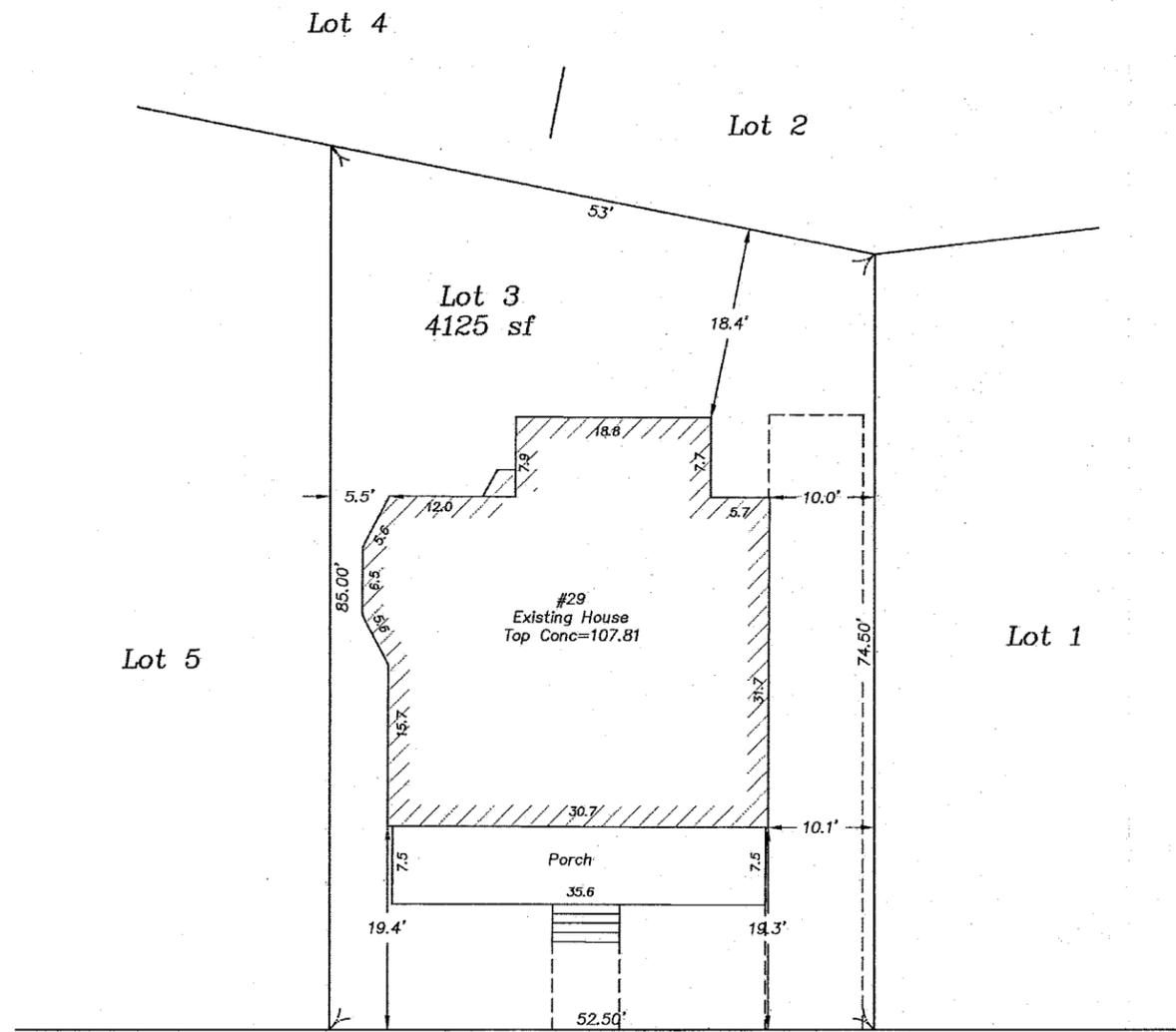
MECHANICAL DOCUMENTS FOR THIS PROJECT ARE TO BE BIDDER/DESIGNED. MECHANICAL DOCUMENTS ARE NOT PART OF THIS SET AND WILL BE SUBMITTED AT A LATER DATE. MECHANICAL BIDDER/DESIGNER IS RESPONSIBLE FOR OBTAINING A PERMIT FROM THE LOCAL JURISDICTION BUILDING DEPARTMENT PRIOR TO INSTALLATION. DEFERRED SUBMITTAL PER STATE APPROVED BUILDING CODE.

ELECTRICAL DOCUMENTS:

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PLUMBING DOCUMENTS:

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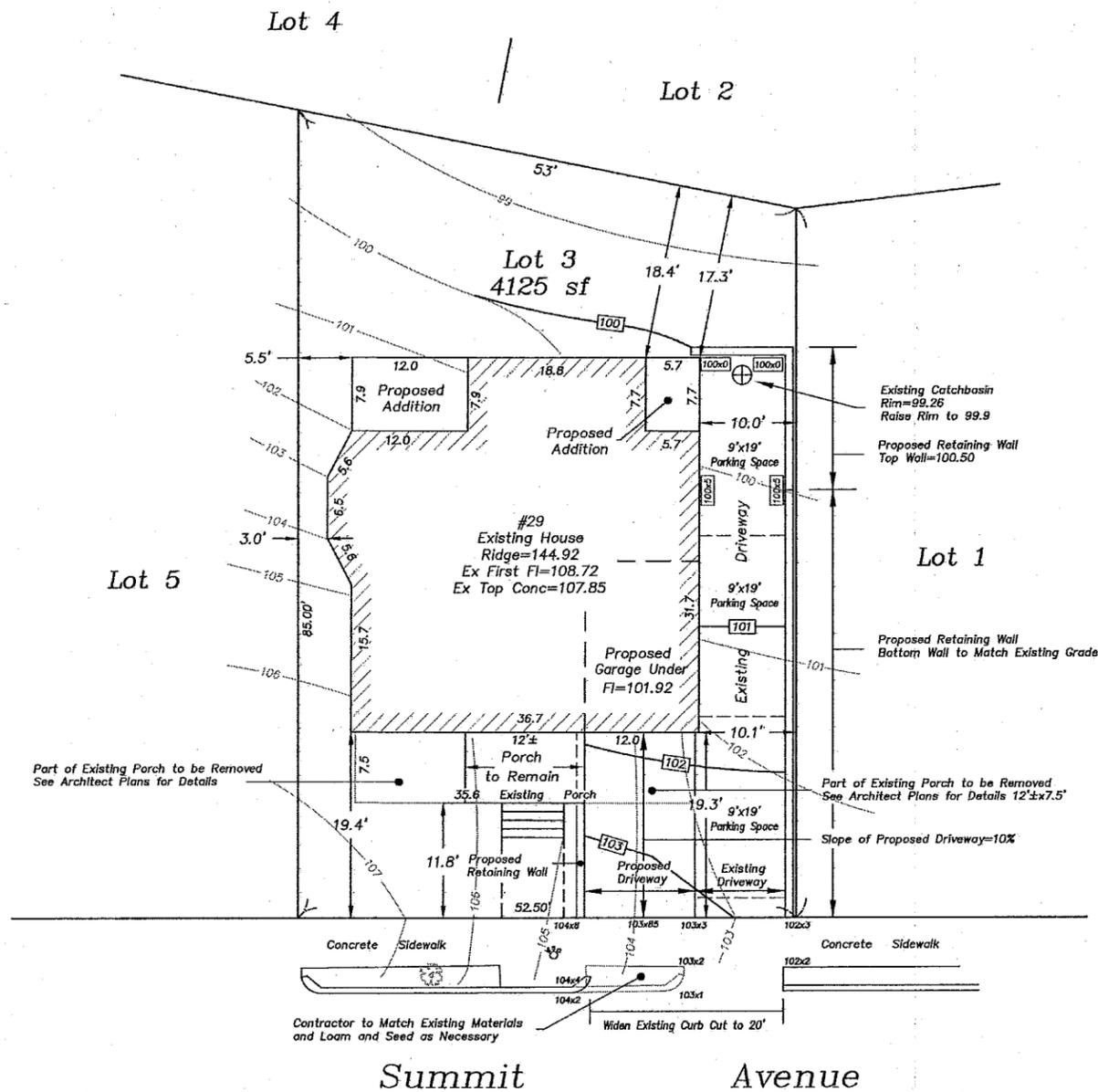


Summit Avenue



29 Summit Avenue	
Brookline, Massachusetts	
Existing House Location	
Scale: 1"=10'	March 25, 2015
VERNE T. PORTER Jr., PLS.	
Land Surveyors - Civil Engineers	
354 Elliot Street Newton, Massachusetts 02464	
Sheet 1 of 1	
Project: 15011	
Checked By: V. Porter Jr.	
Drawn By: R. Jardine Jr.	

Dig Safe
 *Excavators
 Before you dig contact the Dig Safe Center.
 To prevent damage to telephone, gas or
 electric underground facilities of member
 utilities, call toll free
 Massachusetts state law requires
 notification at least three business days
 before you start digging operations. In an
 emergency, call immediately.



INSPECTION SIGN-OFF SCHEDULE	
Item No.	Description of Service
1	
2	
3	
4	
5	
6	
7	
8	

Notes:
 Parcel ID - 085-51-00
 Elevation Base Assumed
 Increase of Impervious Surface=132 sf
 Record Grade=105.00
 Existing Ridge Elevation=144.92
 Existing Building Height=39.92'

Notes:
 1. All utilities shown were compiled from field locations and available plans of utility companies and may or may not be correct. Contractor is to contact Dig Safe and all local utility companies as required prior to any excavation.
 2. Contractor to match all existing materials, including sidewalk, curbing and loam/seed, at proposed curb opening as necessary.
 3. Contractor is responsible to schedule all inspections and sign offs as required.

I certify that the lot corners, dimensions and elevations shown on this plan are from an actual survey on the ground completed March 20, 2015

[Signature] 10-7-15

Site Plan #

Existing Open Space
 (% of Gross Floor Area)
 Existing Gross Floor Area=2322 sf
 Existing Usable Open Space=1234 sf (53%)
 Existing Landscaped Open Space=2011 sf (86.6%)

Proposed Open Space
 (% of Gross Floor Area)
 Proposed Gross Floor Area=4045 sf

Usable Open Space Required=404.5 sf (10%)
 Usable Open Space Proposed=1097 sf (30.0%)

Landscaped Open Space Required=1173.9 sf (30%)
 Landscaped Open Space Proposed=1842 sf (44.7%)

Existing and proposed floor areas shown from plans by
 McDougal Architects

Revised: 10-7-15
 Revised: 10-1-15
 Revised: 9-22-15
 Revised: 9-10-15



29 Summit Avenue

Brookline, Massachusetts

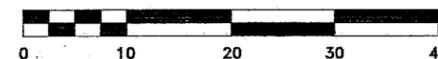
Proposed Driveway and Addition Plan

Scale: 1"=10' April 14, 2015

VERNE T. PORTER Jr., PLS

Land Surveyors - Civil Engineers

354 Elliot Street Newton, Massachusetts 02464



Sheet 1 of 1

Project: 15011

Checked By: V. Porter Jr.

Drawn By: R. Jardine Jr.



McDougal Architects
Architecture and Interior Design

840 Summer St. Unit 305b
South Boston, MA 02127

Telephone 617-292-2724
Facsimile 617-292-2033

www.mcdougalarchitects.com

DRAWING ISSUED AS
PERMIT SET
10.08.2015

Issues #	Date	Description
#1	04.10.2015	ZONING
#2	07.22.2015	ZONING
#3	10.08.15	PERMIT SET

Revisions #	Date	Description
#1	07.03.2015	ZONING REV
#2	09.17.2015	REVISED FOR PLANNING REVIEW
#3	10.08.15	PERMIT SET

Checked by : BM
Drawn by : CB

29 Summit Ave
Brookline MA

Demolition Plans
Basement and First Floor Plan

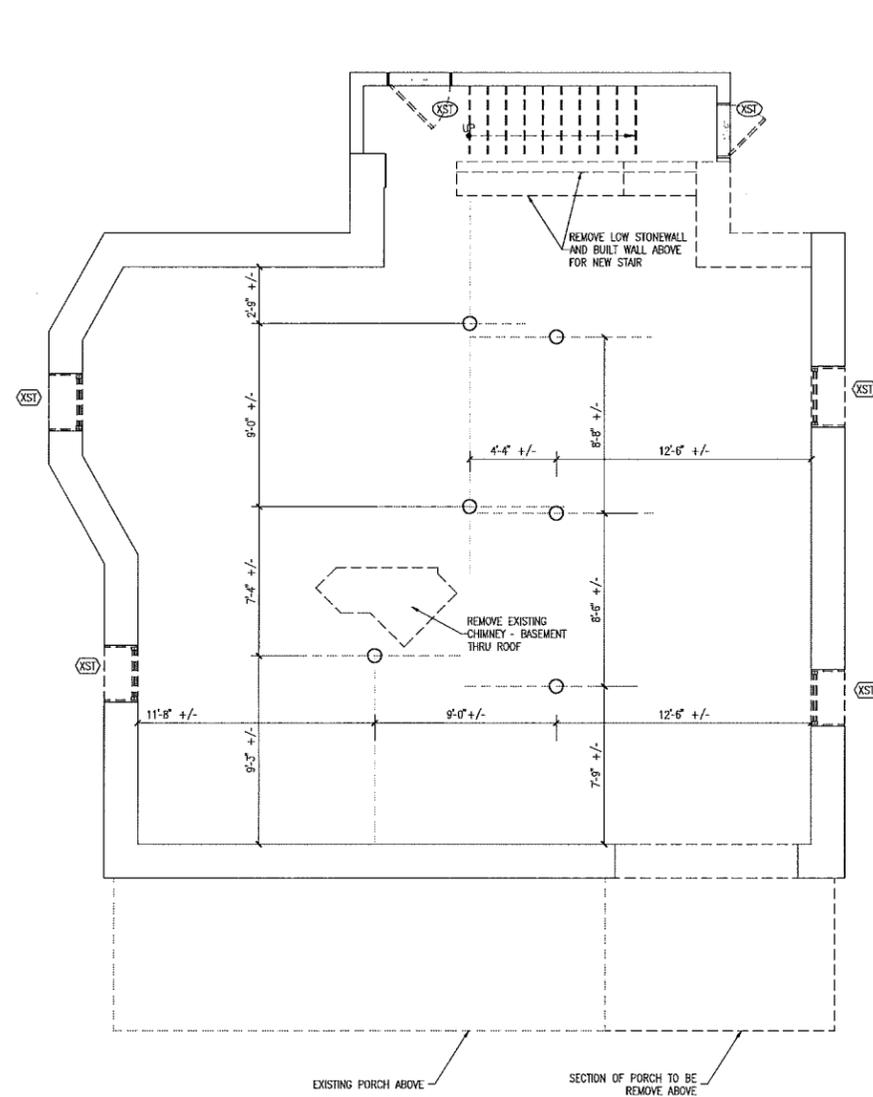
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1/4" = 1'-0"

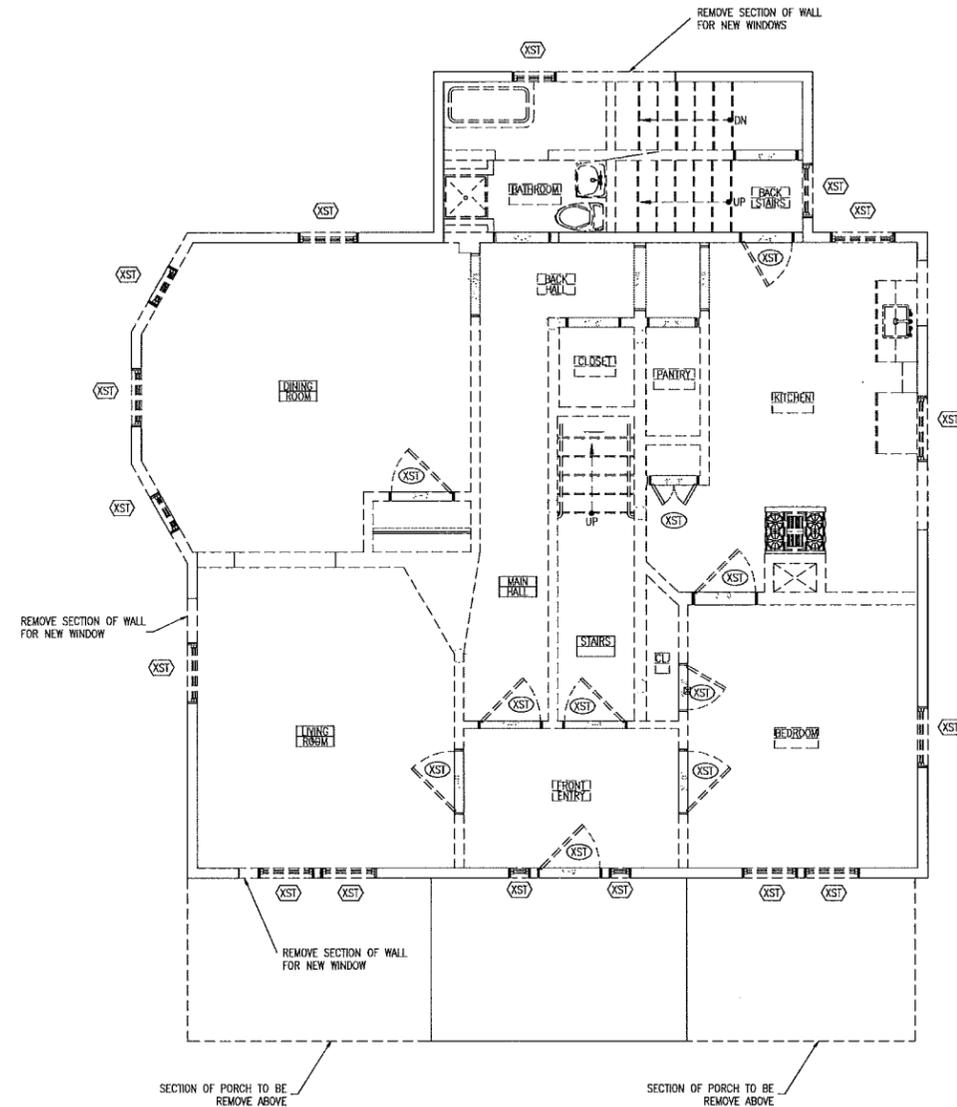
Project Number:
15007

Date Issued:
04.10.15

D101



1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"





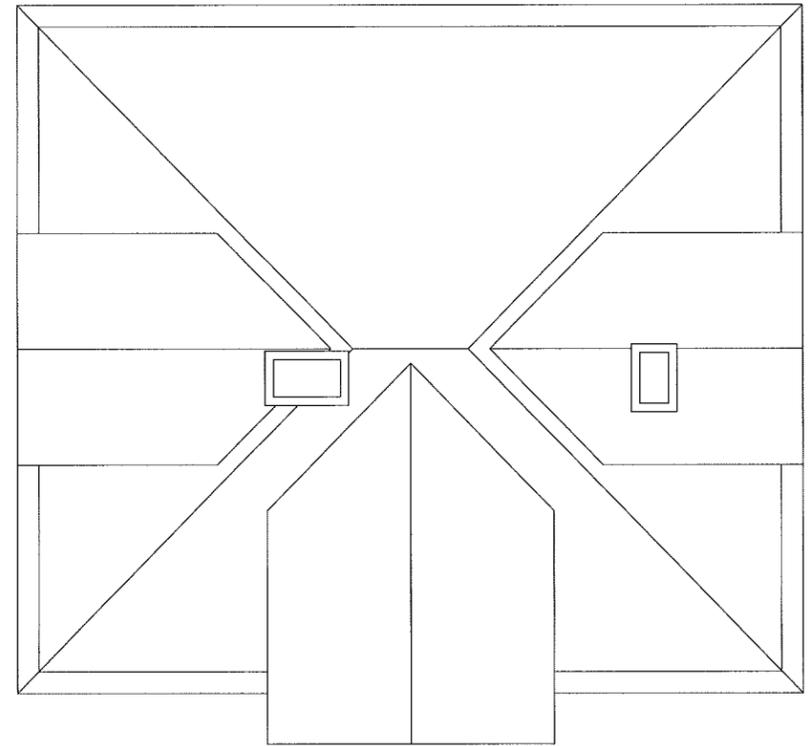
McDougal Architects
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DRAWING ISSUED AS
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SET**
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1 ROOF PLAN
SCALE: 1/4" = 1'-0"

Issues #	Date	Description
#1	04.10.2015	ZONING
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Checked by : BM
Drawn by : CB

29 Summit Ave
Brookline MA

Demolition Plans
Roof Plans



Drawing Scale:
1/4" = 1'-0"

Project Number:
15007

Date Issued:
04.10.15

D103



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Drawn by : CB

29 Summit Ave
Brookline MA

Demolition Elevations
Left and Rear Elevations

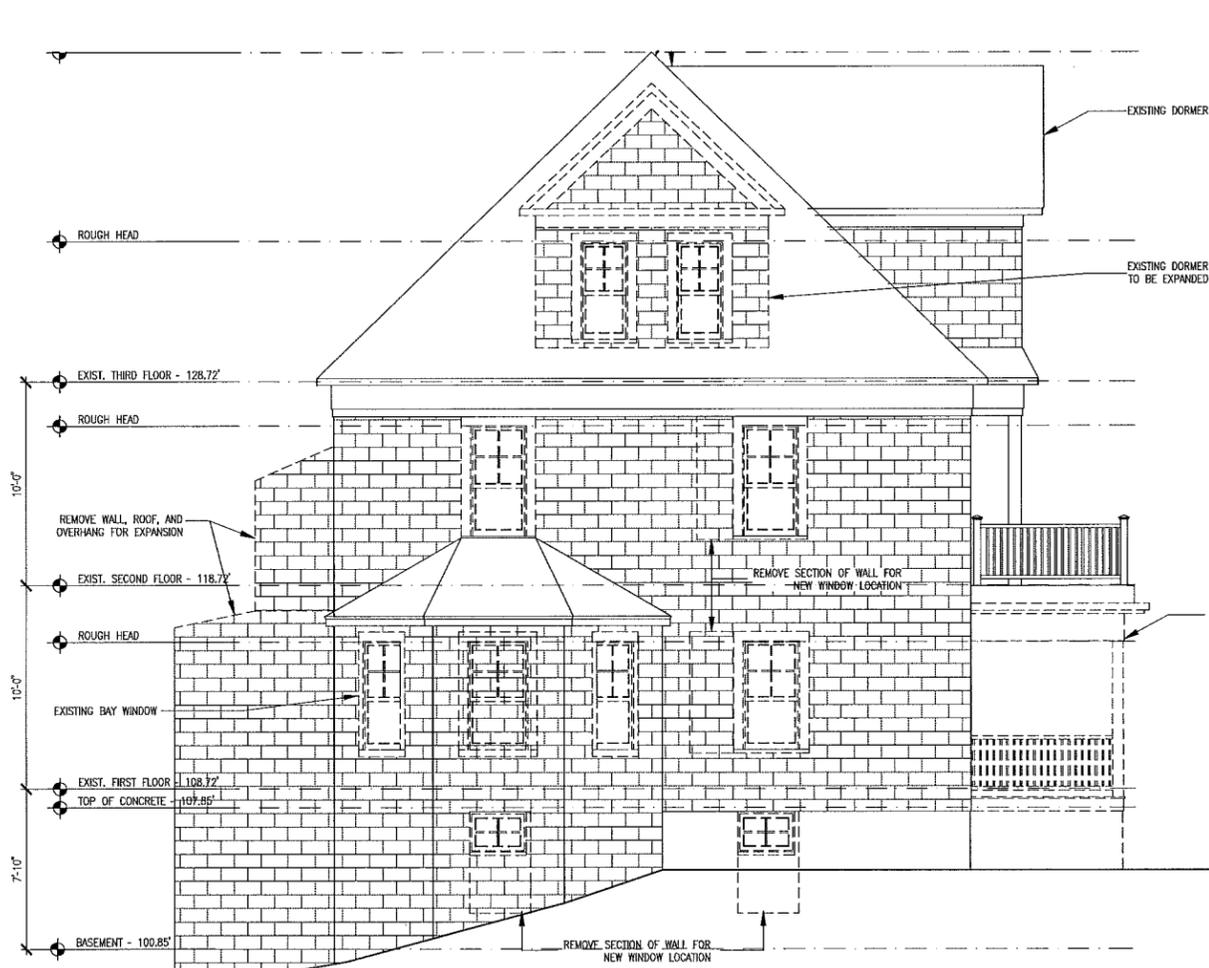
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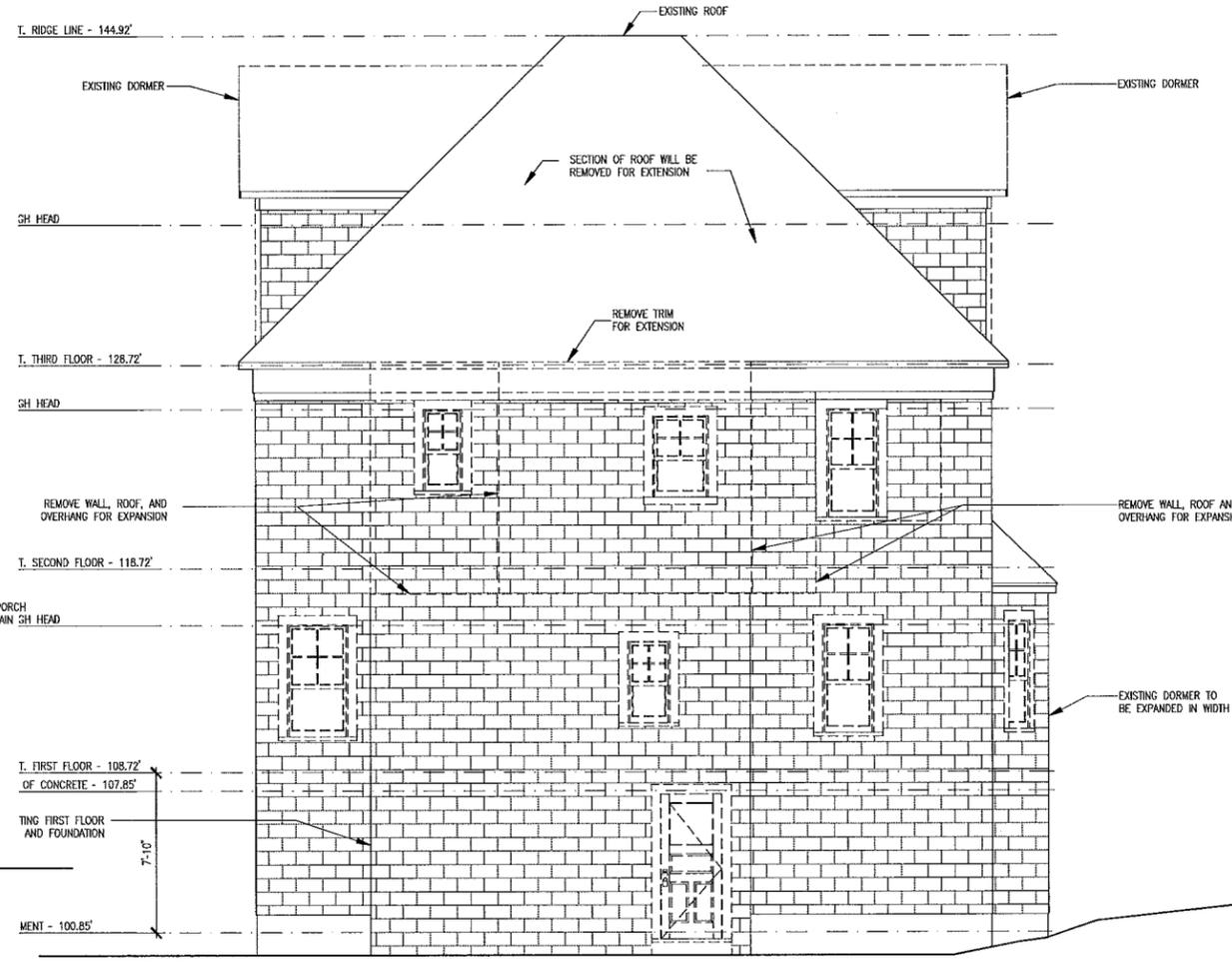
Project Number:
15007

Date Issued:
04.10.15

D202



① LEFT ELEVATION
SCALE: 1/4"=1'-0"



② REAR ELEVATION
SCALE: 1/4"=1'-0"





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Architecture and Interior Design

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South Boston, MA 02127

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Facsimile 617-292-2033

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29 Summit Ave
Brookline MA

Proposed Plans
Basement and First Floor Plan

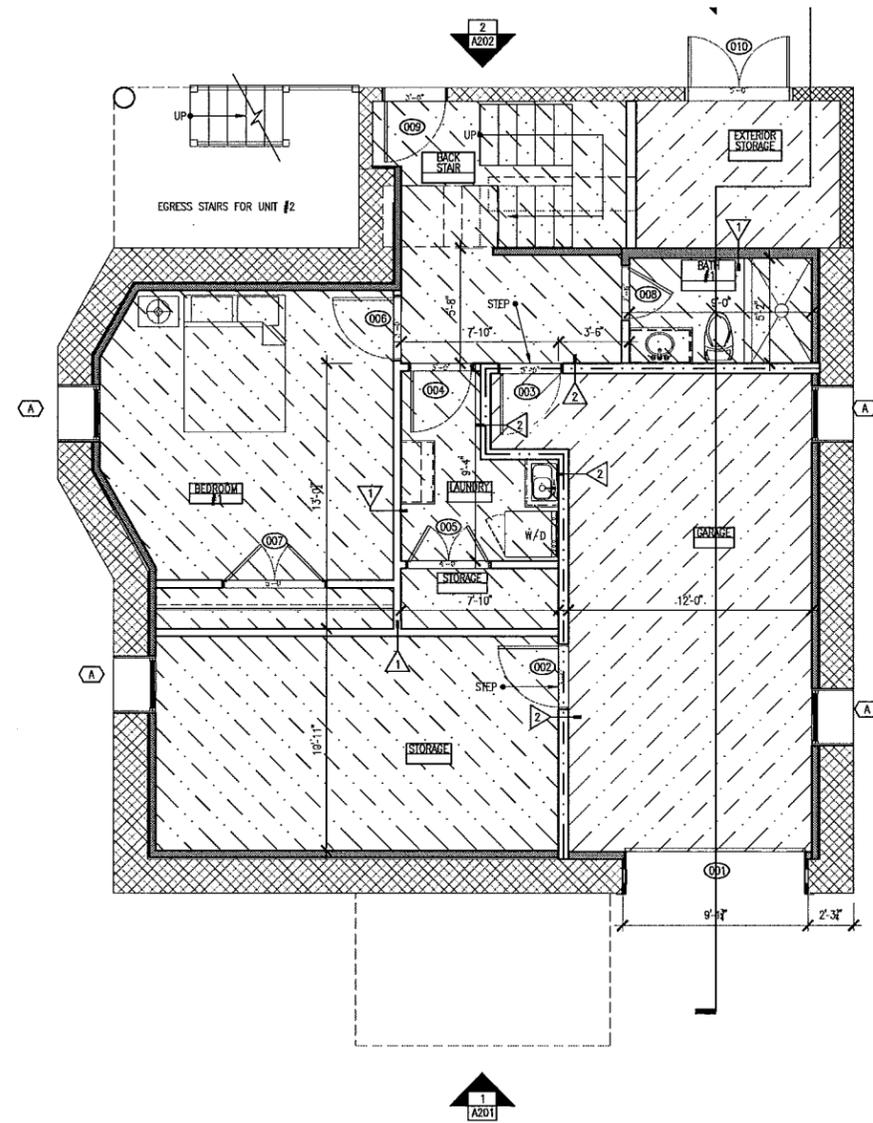
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Date Issued:
04.10.15

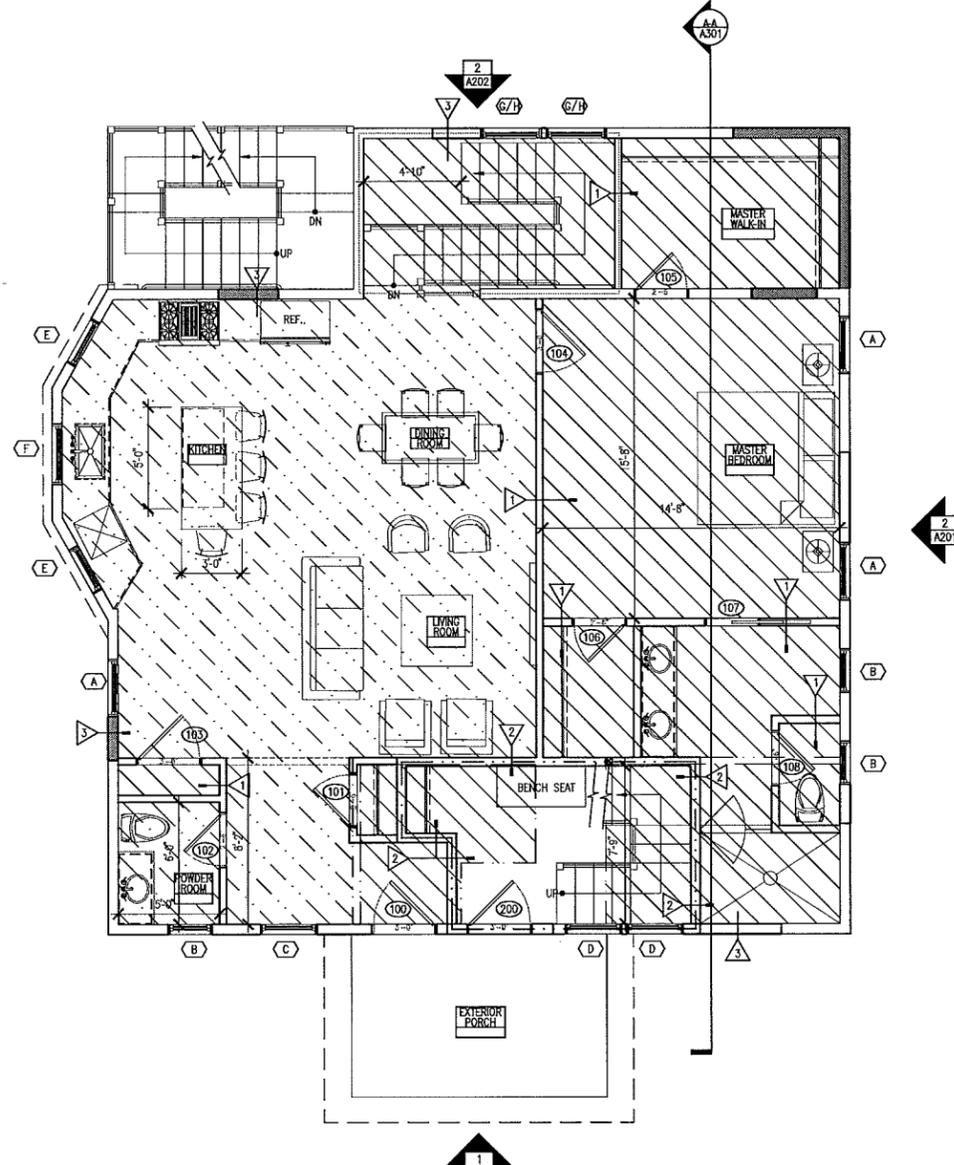
A101



1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"

- EXT STORAGE
GFA
73 sf
- HALLWAY
GFA
75 sf
- BACK STAIR
GFA
71 sf
- B-BED #1
GFA
196 sf
- B-BATH #1
GFA
46 sf
- B-LAUNDRY
GFA
56 sf
- B-LNDRY STORG
GFA
23 sf
- B-STORAGE
GFA
211 sf
- B-BED#1 CLOS
GFA
24 sf
- B-GARAGE
GFA
296 sf

TOTAL GROSS FLOOR
AREA BASEMENT FLOOR
= 702 SQFT



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- 1-BACK STAIR
GFA
91 sf
- 1-LIVING
GFA
551 sf
- 1-COAT CL
GFA
8 sf
- 1-POWDER
GFA
30 sf
- 1-MSTR BED
GFA
230 sf
- 1-MSTR W-IN
GFA
80 sf
- 1-MSTR DRESS
GFA
95 sf
- 1-MSTR BATH
GFA
91 sf
- 2-ENTRY
GFA
57 sf

TOTAL GROSS FLOOR
AREA 1ST FLOOR
= 1,233 SQFT





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Issues #	Date	Description
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Revisions #	Date	Description
#1	07.03.2015	ZONING REV
#2	09.17.2015	REVISED FOR PLANNING REVIEW
#3	10.08.15	PERMIT SET

Checked by : BM
Drawn by : CB

29 Summit Ave
Brookline MA

Proposed Plans
Second and Third Floor Plans

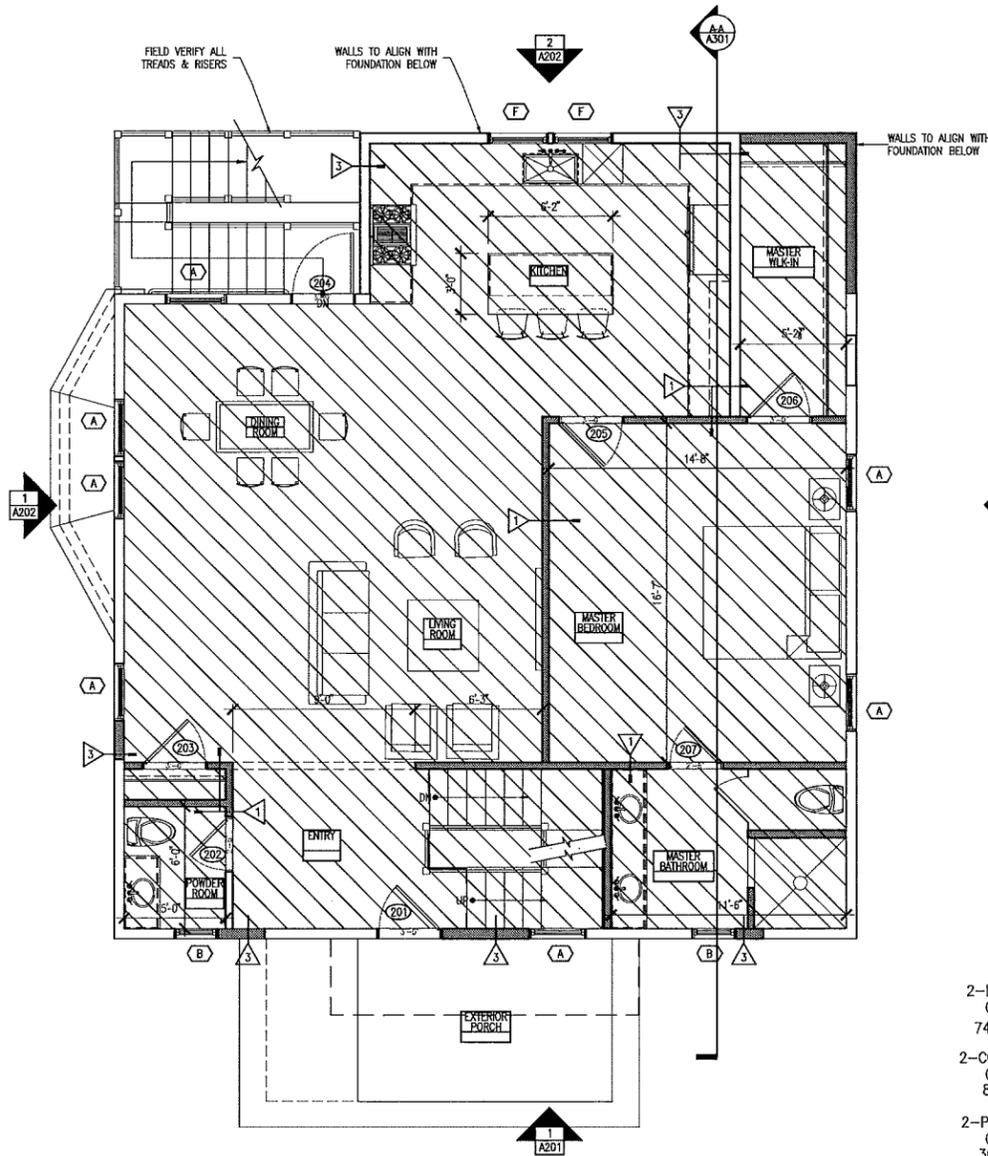
Scale: 1/4" = 1'-0"

Drawing Scale:
1/4" = 1'-0"

Project Number:
15007

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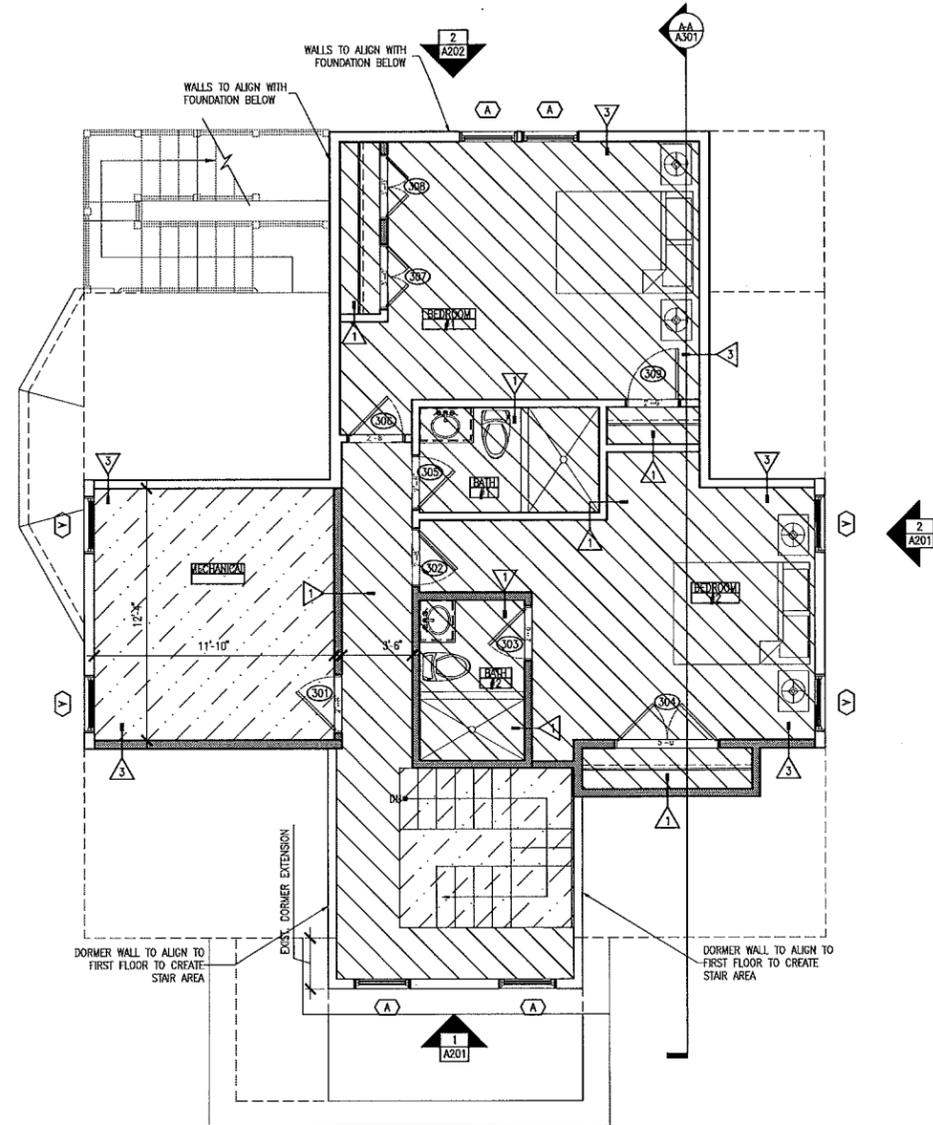
A102



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- 2-LIVING
GFA
742 sf
- 2-COAT CL
GFA
8 sf
- 2-POWDER
GFA
30 sf
- 2-MSTR BED
GFA
244 sf
- 2-MSTR W-IN
GFA
70 sf
- 2-MSTR BATH
GFA
91 sf
- 2-FRONT STAIR
GFA
62 sf

TOTAL GROSS FLOOR
AREA 2ND FLOOR
= 1,247 SQFT



2 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

- 3-CORRIDORS
GFA
111 sf
- 3-MECH ROOM
GFA
147 sf
- 3-BED#2
GFA
197 sf
- 3-BED#2 BATH
GFA
41 sf
- 3-BED#2 CLOS
GFA
17 sf
- 3-BATH#1
GFA
46 sf
- 3-BED#1
GFA
211 sf
- 3-BED#1 CLOS
GFA
17 sf
- 3-BED#1 CLOS
GFA
8 sf
- 3-STAIRWELL
GFA
67 sf

TOTAL GROSS FLOOR
AREA 3RD FLOOR
= 648 SQFT





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Proposed Roof Plans
and Wall Types

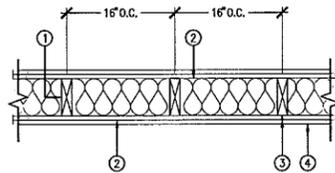
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Drawing Scale:
1/4" = 1'-0"

Project Number:
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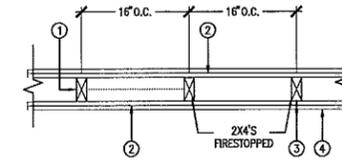
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A103



- WOOD STUDS:**
Existing
- GYPSON BOARD:**
1/2" thick, 4 ft. wide, applied vertically. Wallboard attached to studs and bearing plates with 1 3/4" long galvanized nails with 0.128" diameter. Shank and 3/8" diameter head spaced 8" OC.
- JOINTS AND NAILHEADS:**
Gypsum board joints covered with tape and joint compound. Nail heads covered with joint compound. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with joint.
- FIBERGLASS BATTS:**
3/8" BATTS INSULATION

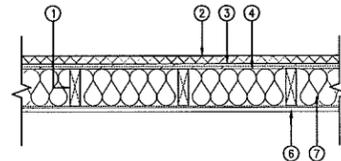
INTERIOR WALLS
SCALE: 1"=1'-0"



- NAIL HEADS:**
Exposed or covered with joint finisher.
- JOINTS:**
Exposed or covered with fiber tape and joint finisher. As an alternate, nominal 3/32" thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard. Joints reinforced.
- NAILS:**
6d cement coated nails 1 3/4" long, 0.0915 in. shank diam, 3/8" diam heads, and 8d cement coated nails 2 3/4" long, 0.113 in. shank diam, 3/8" diam heads.
- GYPSON BOARD:**
3/8" thick, two layers applied either horizontally or vertically. Inner layer attached to studs with the 1 3/8" nails spaced 6" O.C. Outer layer attached to studs over inner layer with the 2 3/8" long nails spaced 8" O.C. Vertical joints located over studs. All joints in face layers staggered with joints in base layers. Joints of each base layer offset with joints of base layer on opposite side.

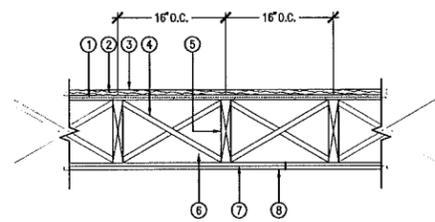
2 HOUR RATED BEARING WALL - UL #301
SCALE: 1"=1'-0"

TYPICAL @ ALL COMMON STAIRWAYS



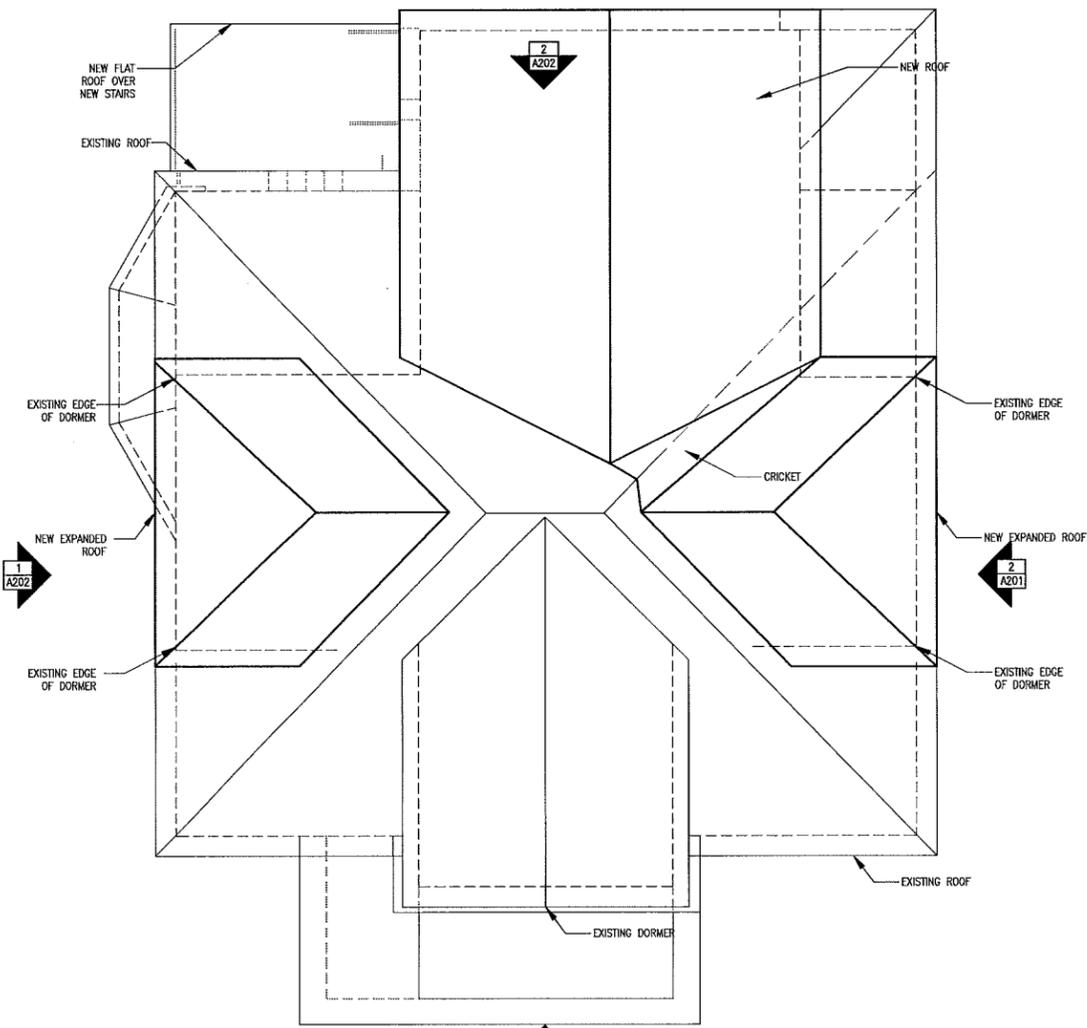
- WOOD STUDS:**
2 X 6 WOOD STUDS
- EXTERIOR FINISH:**
EXTERIOR WALL MATERIAL (WATER MANAGED)
- SHEATHING:**
SHEETROCK BRAND GYPSON SHEATHING
- VAPOR BARRIER:**
Nom 0.010 in. thick commercial resin-sized building paper.
- GYPSON BOARD:**
1/2" thick, 4 ft. wide, applied vertically. Wallboard attached to studs and bearing plates with 1 3/4" long galvanized nails with 0.128" diameter. Shank and 3/8" diameter head spaced 8" OC.
- FIBERGLASS BATTS:**
5" BATTS INSULATION

EXTERIOR WALL ASSEMBLY
SCALE: 1"=1'-0"



- SUBFLOORING:**
Min 1 by 6 in. T & G lumber fastened diagonally to joists, or min 15/32 in. thick wood structural panels, min grade "C-D" or "Sheathing". Face grain of plywood or strength axis of panels to be perpendicular to the joists with joints staggered.
- VAPOR BARRIER:**
(Optional) - Nom 0.010 in. thick commercial resin-sized building paper.
- FINISH FLOOR:**
Min 1 by 4 in. T & G lumber fastened perpendicular to joists, or min 19/32 in. thick wood structural panels, min grade "Underlayment".
- CROSS BRIDGING:**
Min 1 by 4 in. or min 2 by 10 solid blocking.
- WOOD JOISTS:**
Min 2 by 10, spaced 16 in. OC and effectively fireblocked in accordance with local codes.
- BATTS AND BLANKETS:**
Glass fiber insulation draped over the resilient channel/gypsum panel ceiling membrane. Max. 3-1/2 in. thickness of glass fiber insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance having a min. density of 0.5 pcf.
- RESILIENT CHANNELS:**
Resilient channels, formed from No. 25 MSG galv steel and shaped as shown, spaced 12 in. OC perpendicular to joist. Channels overlapped 4 in. at splices and secured to each joist with 1-1/4 in. Type S screws. Min end clearance of channels to wall to be 1/2 in. Additional resilient channels positioned so as to coincide with end joints of gypsum board. Channels oriented opposite to wallboard butt joints spaced 6 in. OC.
- GYPSON BOARD:**
Nom 1/2 in. thick, 4 ft wide gypsum board. Gypsum board installed with long dimensions perpendicular to furring channels and the side edges of the board located between joists. Gypsum board fastened to furring channels with 1 in. long No. 6 type S bangle head screws spaced 12 in. OC. End joints of gypsum board similarly fastened to additional resilient channels positioned at end joint locations. Screws located 1 in. min distance from side edges and 1/2 in. min from butt ends of gypsum board sheets. Gypsum board on each side of the butt joint attached to the 2-1/2 in. overlap of furring channel with one additional screw.

1 HOUR RATED FLOOR - UL #L514-SYSTEM 1
SCALE: 1"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"





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Proposed Elevations
Front and Right Elevations

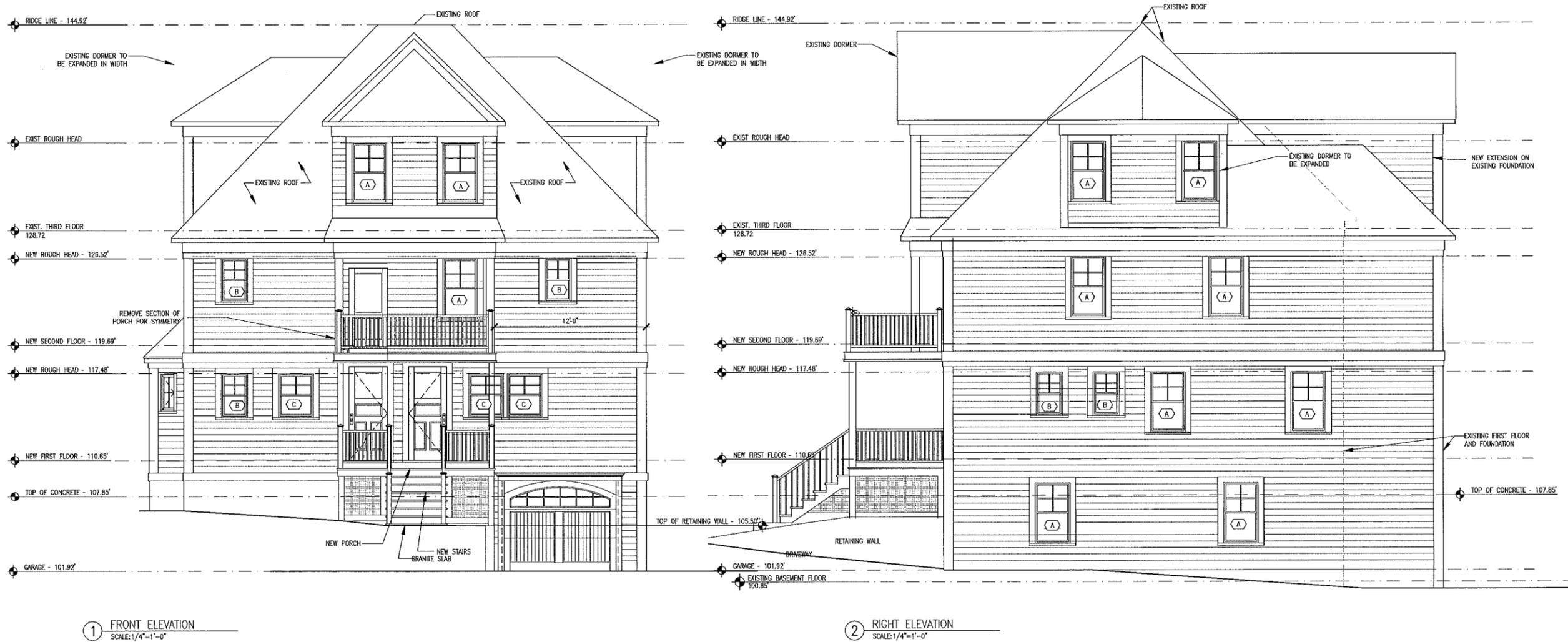
Scale: 1/4" = 1'-0"

Drawing Scale:
1/4" = 1'-0"

Project Number:
15007

Date Issued:
04.10.15

A201



① FRONT ELEVATION
SCALE: 1/4" = 1'-0"

② RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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Brookline MA

Proposed Elevations
Left and Rear Elevations

Scale: 1/4" = 1'-0"

Drawing Scale:
1/4" = 1'-0"

Project Number:
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Date Issued:
04.10.15



A202



① LEFT ELEVATION
SCALE: 1/4" = 1'-0"

② REAR ELEVATION
SCALE: 1/4" = 1'-0"



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Building Section

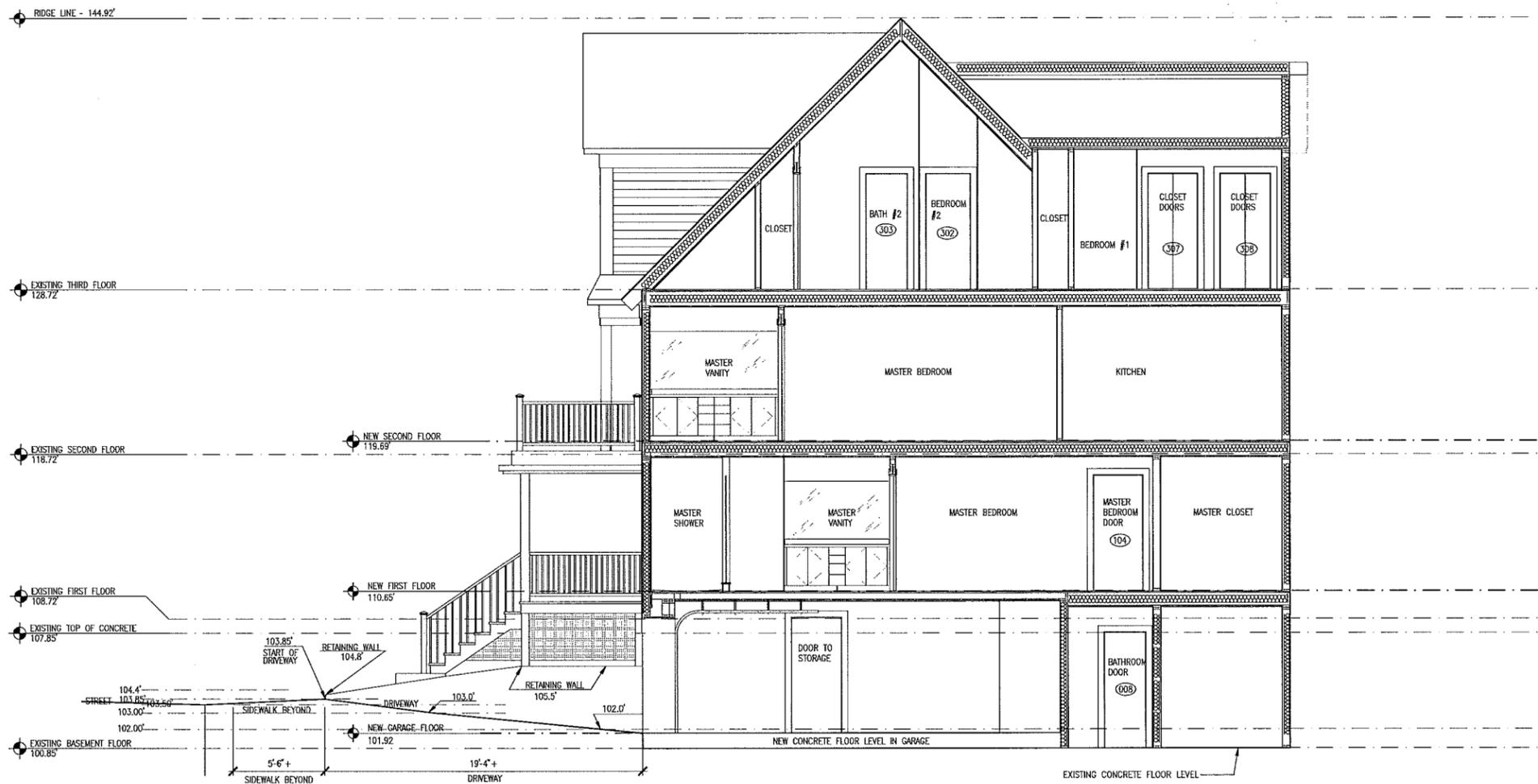
0 4 8 16
Scale: 1/8" = 1'-0"

Drawing Scale:
AS NOTED

Project Number:
15007

Date Issued:
04.10.15

A301



A BUILDING SECTION A-A
SCALE: 1/4"=1'-0"

