



PLANNING BOARD

Linda Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Blair Hines
Sergio Modigliani
Mark J. Zarrillo

Town of Brookline Massachusetts

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Brookline, MA 02445-6899
(617) 730-2130
www.brooklinema.gov

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: January 9, 2015
Subject: **Construct a second-story requiring FAR and side yard setback relief**
Location: **160 Bellingham Road**

Atlas Sheet:	102	Case	2015-0058
Block:	364	Zoning:	S-10
Lot:	12	Lot Area (s.f.):	7745 sf

Board of Appeals Hearing: January 21, 2016 at 7:05 pm.

BACKGROUND

The Preservation Commission issued a Certificate of Non-Significance on July 2, 2015 to permit demolition of the attic space.

SITE AND NEIGHBORHOOD

160 Bellingham Road is located in Chestnut Hill, near the intersection of West Roxbury Parkway and Francis Ryan Circle. Abutters include Walnut Hills Cemetery and the Putterham branch public library at the rear, and the Chabad Center diagonally across the street. The surrounding neighborhood includes single-family residential housing, Temple Emeth, and The Shops at Putterham.

The one-story structure with finished basement area and attached two-car garage was built in 1950 and is clad with wood clapboards and asphalt roof shingles. The partially finished attic space was demolished earlier this year because it was structurally unsound. The majority of the lots on this block range in area from 7715 sf to 8800 sf, well below the minimum area of 10,000 sf required for this zoning district.

The single-family homes in the surrounding neighborhood are primarily ranches and traditional and renovated two-story homes. The house to the left is a ranch-style dwelling; directly across the site is a two-and-a-half story dwelling renovated in 2005.

The slope of the site gently declines from left to right and inclines slightly from front to rear, with a sharper decline beyond the right side yard that abuts open space on the Putterham library parcel. Mature trees at the boundaries of the abutting cemetery and library sites provide ample screening. The left side yard, where setback relief is required, does not have any screening.

APPLICANT’S PROPOSAL

Edward Androsenko has demolished his attic space and proposes an 1168-sf second story that will increase the height of the dwelling to 32.67 feet and the living area by 413 sf (net). He is also making some renovations to the basement, including the garage, and to the first floor. These changes will not increase the living space in the basement or first floor.

The second story renovation involves changes to the roof massing and floor height to accommodate 1168 sf of living area on that floor, and the elimination of the chimney. The height would increase from 26.5 feet to 32.67 feet, measured from street level (floor of attached garage). Because the attic space was demolished, the Building Department has stipulated that this case does not meet any of the special permit criteria under Section 5.22 (exceptions to maximum floor area). The Building Commissioner has emphasized that because the attic space no longer exists, the project cannot be considered an attic conversion. (Furthermore, had the attic space not been demolished, this proposal would have been considered an exterior addition rather than an attic conversion.) The second story addition will extend the existing (left) side yard setback non-conformity.

The most impacted abutter, at 154 Bellingham, supports the project, as do the majority of the homeowners on the block who will be able to view the project. No opposition was expressed.

FINDINGS

Section 5.20 – Floor Area Ratio

Section 5.43 – Exceptions to Yard and Setbacks Requirements

Floor Area Calculation	Existing	Proposed
Basement Living Area	526 sf	526 sf
First Floor	1910 sf	1887 sf (mudroom to be demolished)
Attic or Second Floor	732 sf Finished Attic (before demo of attic space)	1168 sf Second Floor
Total	3168 sf	3581 sf
Ratio	3168 / 7745 = 0.41	3581 / 7745 = 0.46

S-10 ZONING	Required / Allowed	Existing	Proposed	Finding
Floor Area Ratio	0.30 (2323 sf)	0.41 (3168 sf) (before demo of attic space)	0.46 3581 sf	Variance
		0.32 (2436 sf) (after demo of attic space in June 2015)		

Section 5.60 – Side Yard Requirements

S-10 ZONING	Required / Allowed	Existing	Proposed	Finding
Side Yard Setbacks	10 ft	8.9 ft	8.9 ft	Special Permit*/ Variance

*Section 5.43 – The BOA may waive yard and setback requirements if counterbalancing amenities are provided.

Section 8.02.2 – Alteration or Extension – A special permit is required for alterations to a dimensionally nonconforming structure.

PLANNING BOARD COMMENTS

The Planning Board supports a second-story addition that restores the previous living area plus the modest expansion proposed. The applicant submitted a letter from his civil engineer certifying that the demolition of the attic space was imperative because it was structurally unsound. Because the applicant is not eligible for any provisions under Section 5.22, and because the modest floor area remaining *after* demolition of the attic space exceeds the allowable FAR of 0.3, any restoration of living area above the first floor would require a variance.

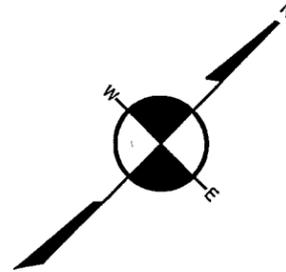
Had the project been eligible for the provisions under Section 5.22.3.c (350 sf FA increase; 150% of max allowed FAR), this proposal would have exceeded the 350 sf threshold by 60 sf, a modest overage that does not appreciably reduce the massing.

Therefore, the Planning Board recommends approval of the plans by Professional Engineer Richard Volkin of RAV Design dated 6/12/2015 and revised 11/23/15, and the site plan by Professional Land Surveyor George C. Collins of Boston Survey Inc., dated 12/18/15, as submitted. The Planning Board supports the requested side yard setback relief and, should the Board of Appeals find that the project meets the criteria for granting a variance, the Planning Board would support an increase in the FAR, subject to the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit a final site plan, elevations, and floor plans subject to the review and approval of the Assistant Director for Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a final landscaping plan, screening the left side yard, subject to the review and approval of the Assistant Director for Regulatory Planning.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final floor plans and elevations stamped and signed by a registered architect; 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

mm/pss

BELLINGHAM (50.0' WIDE - PUBLIC) ROAD



REFERENCES:
 DEED: CTF 190705
 LCC: 10950-6
 13863-U
 19758-A
 19758-B
 19758-C
 PLAN: BK 143; PGS 1009-1011



FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
N/A	N/A	MO	NPP	GCC

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JUNE 8, 2015 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

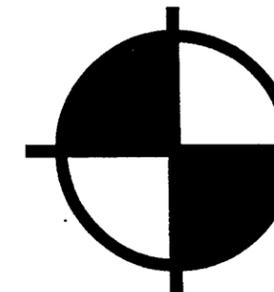
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).
 COMMUNITY PANEL: #25025C0067G
 EFFECTIVE DATE: 09/25/2009

PREPARED FOR:
 EDWARD ANDROSSENKO
 67 TANGLEWOOD ROAD
 NEWTON, MA 02459

NOTES:
 PARCEL ID: 364-12-00
 AVERAGE GRADE= 506.8

CERTIFIED PLOT PLAN
 SHOWING PROPOSED CONDITIONS AT
160 BELLINGHAM ROAD
BROOKLINE, MA

SCALE: 1 INCH = 20 FEET DATE: NOVEMBER 18, 2015



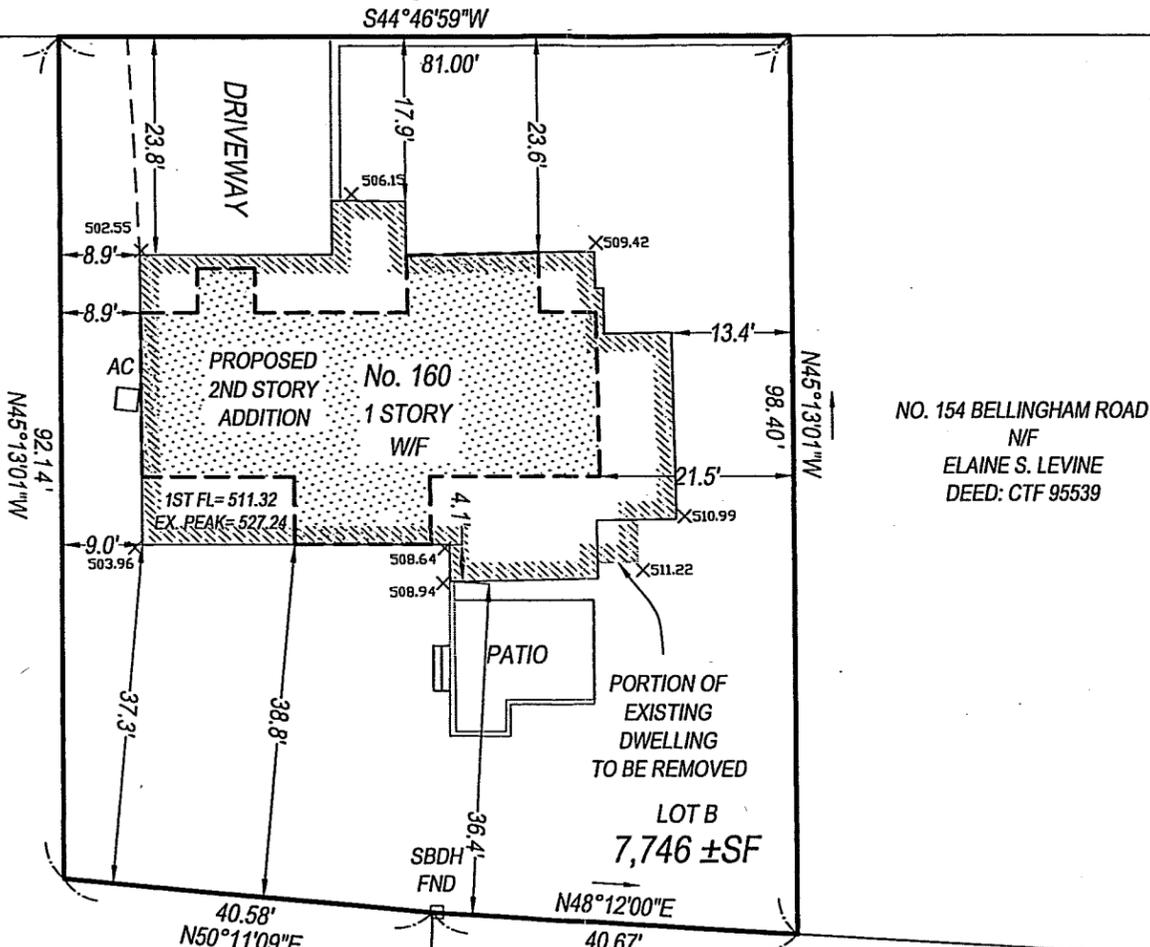
BOSTON
SURVEY, INC.
 UNIT C-4 SHIPWAY PLACE
 CHARLESTOWN, MA 02129
 (617)242-1313

JOB #15-00364

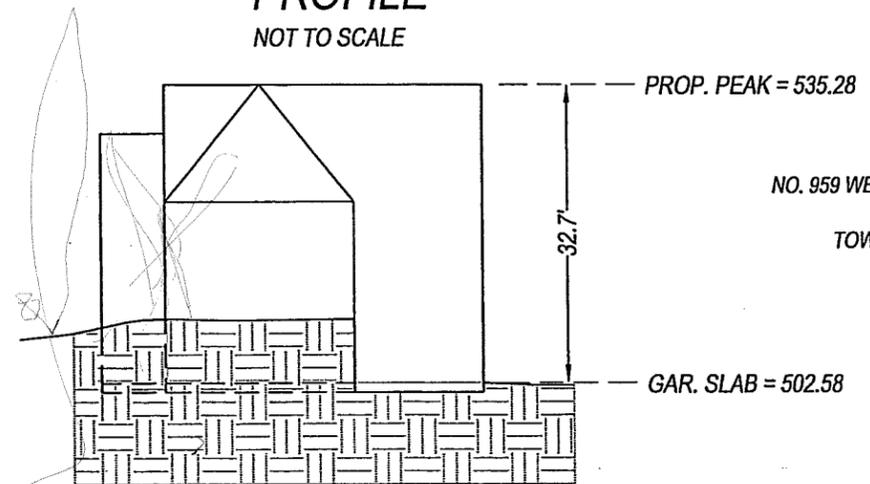
FILE #15-00364 - 06/09/15

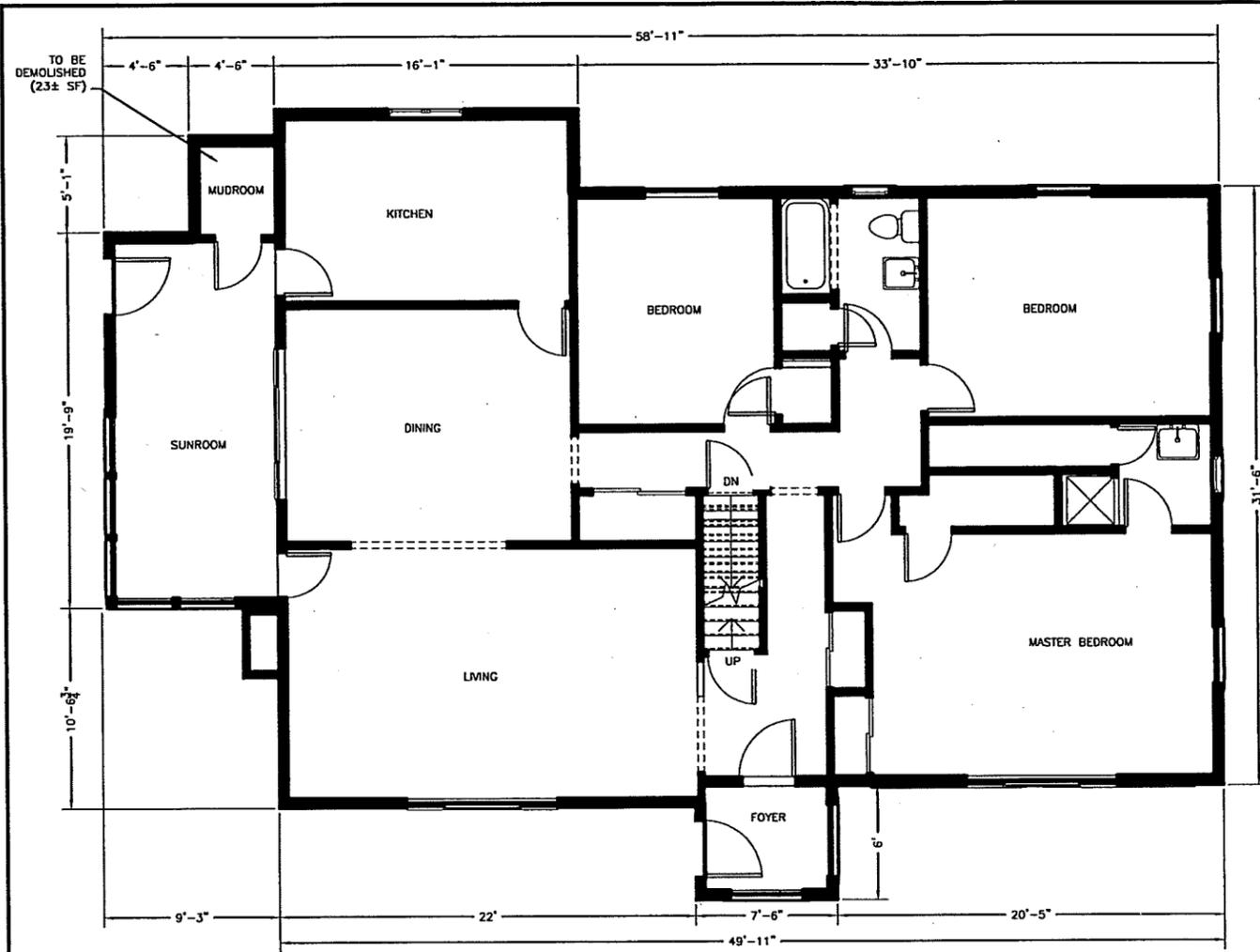
WEST ROXBURY PARKWAY

BENCHMARK
 ELEV = 500.00
 DATUM: (ASSUMED)
 S44°46'59"W
 75.00'

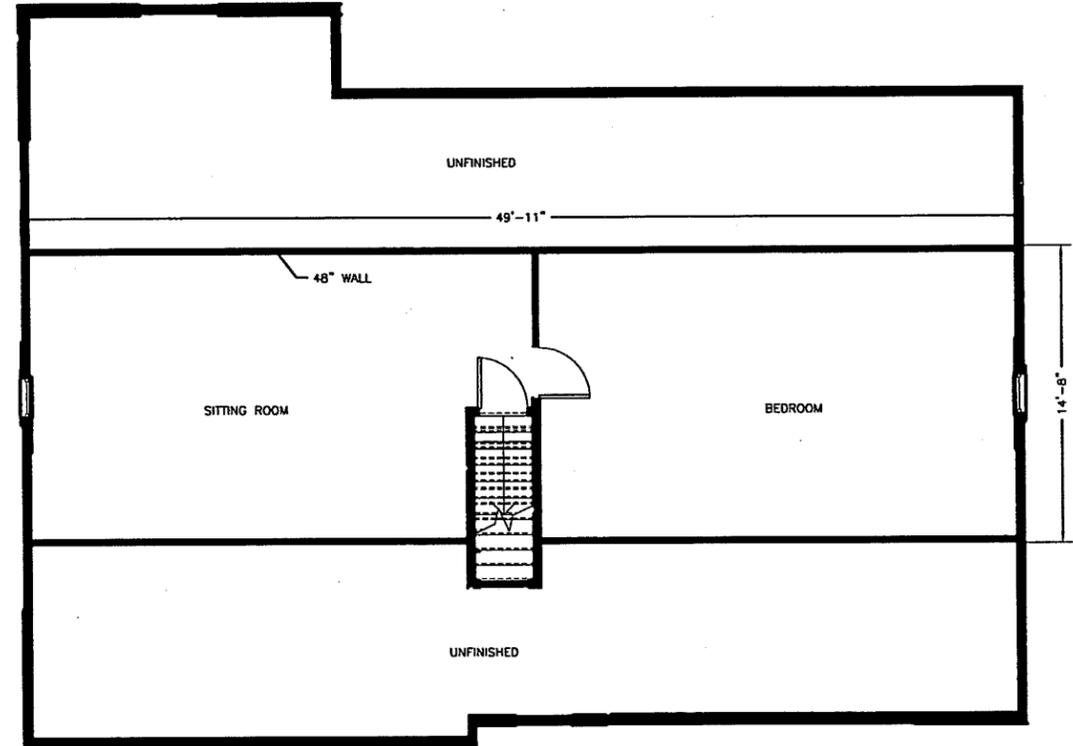


PROFILE
 NOT TO SCALE

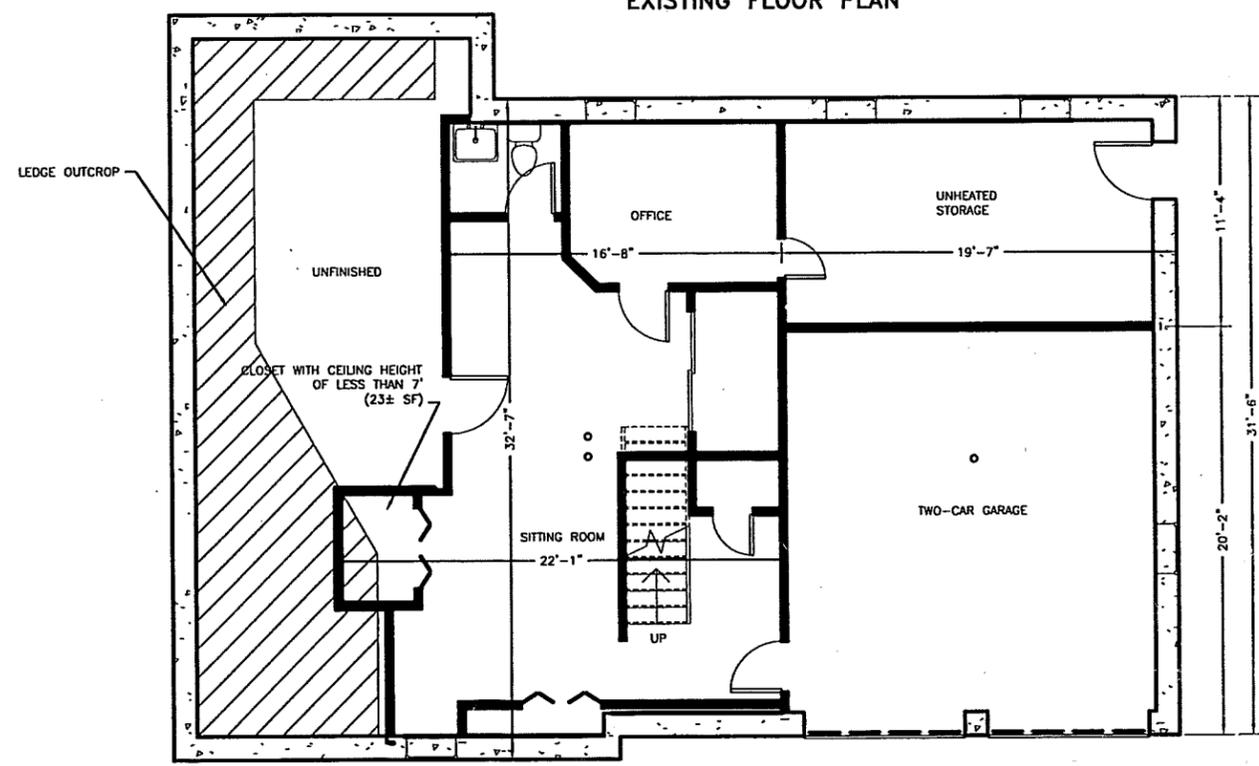




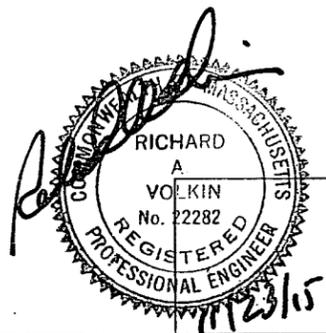
EXISTING FLOOR PLAN



EXISTING ATTIC PLAN



EXISTING BASEMENT PLAN



DATE	REVISION

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EXISTING FLOOR PLANS

**160 BELLINGHAM ROAD,
BROOKLINE, MASSACHUSETTS**

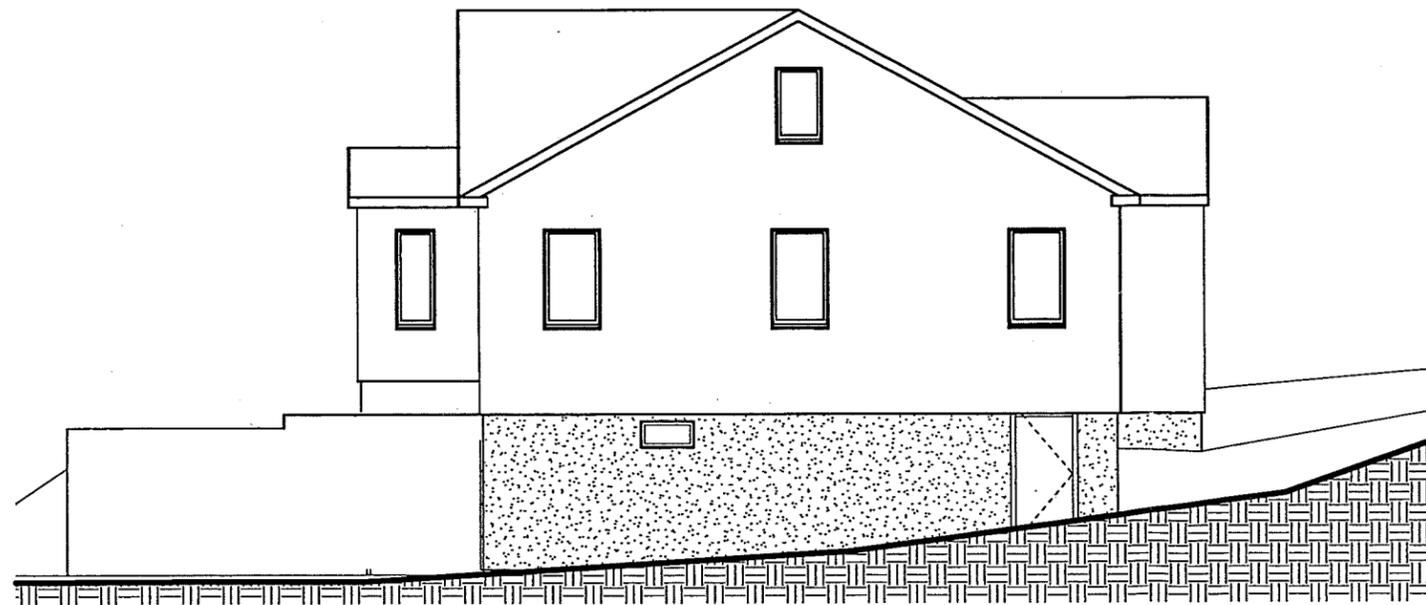
RAV & Assoc., Inc.
21 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS 02494
TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"

APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No.
DATE: 06/12/2015	DRAWN BY: I.M.	1 OF 9
	CHECKED BY: R.A.V.	

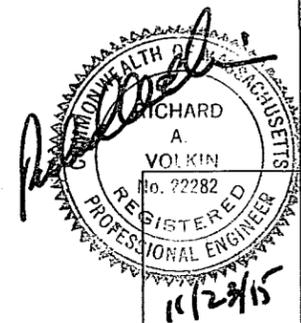


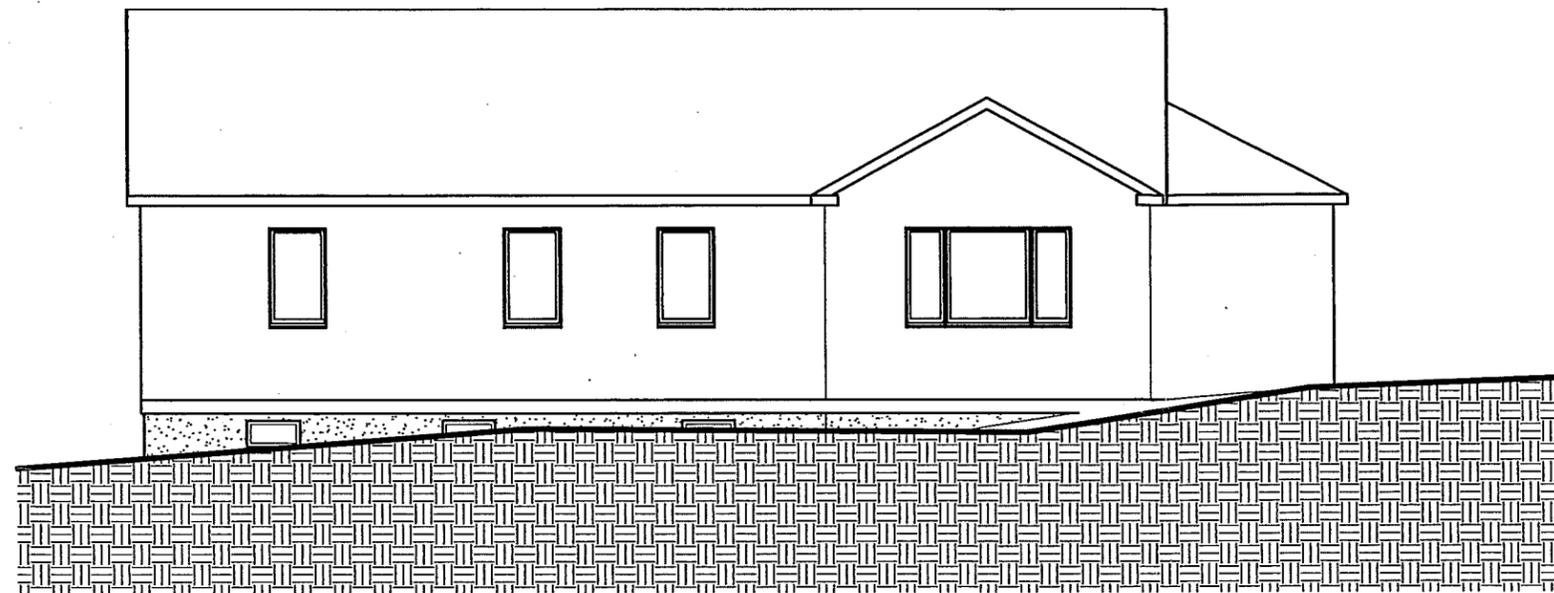
NORTH ELEVATION



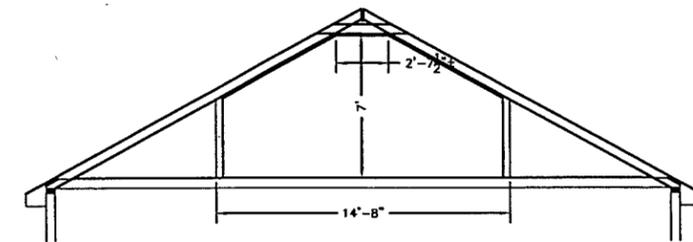
WEST ELEVATION

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EXISTING ELEVATIONS 160 BELLINGHAM ROAD, BROOKLINE, MASSACHUSETTS RAV & Assoc., Inc. 21 HIGHLAND AVENUE NEEDHAM, MASSACHUSETTS 02494 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205	
SCALE: 1/4"=1'-0"	
APPROVED: R.A.V.	DESIGNED BY: I.M.
DATE: 06/12/2015	CHECKED BY: R.A.V.
DRAWING No. 3 OF 9	

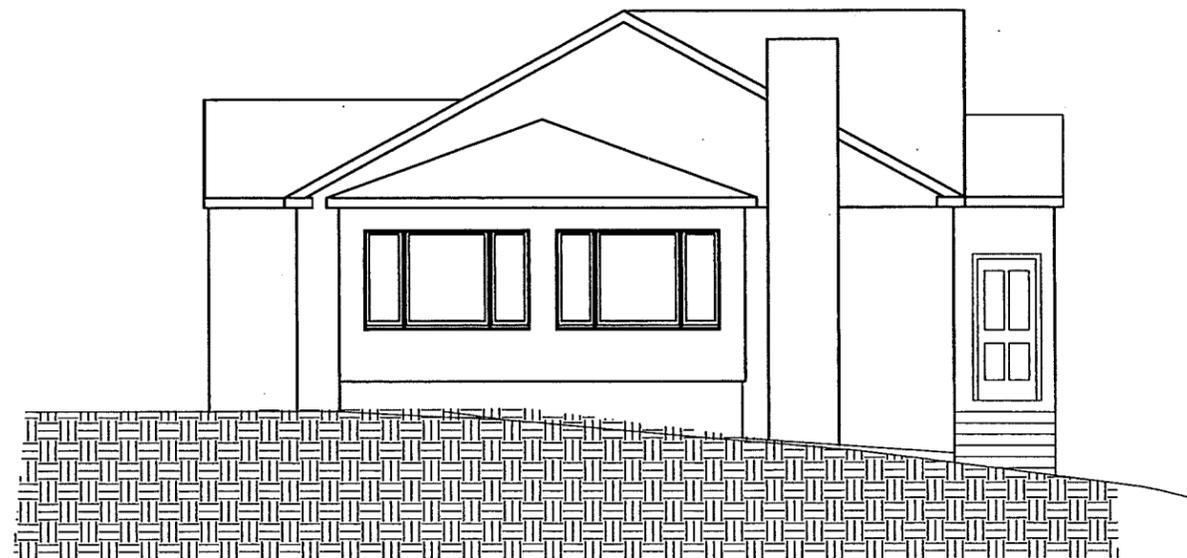




SOUTH ELEVATION

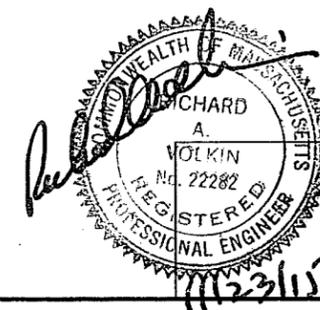


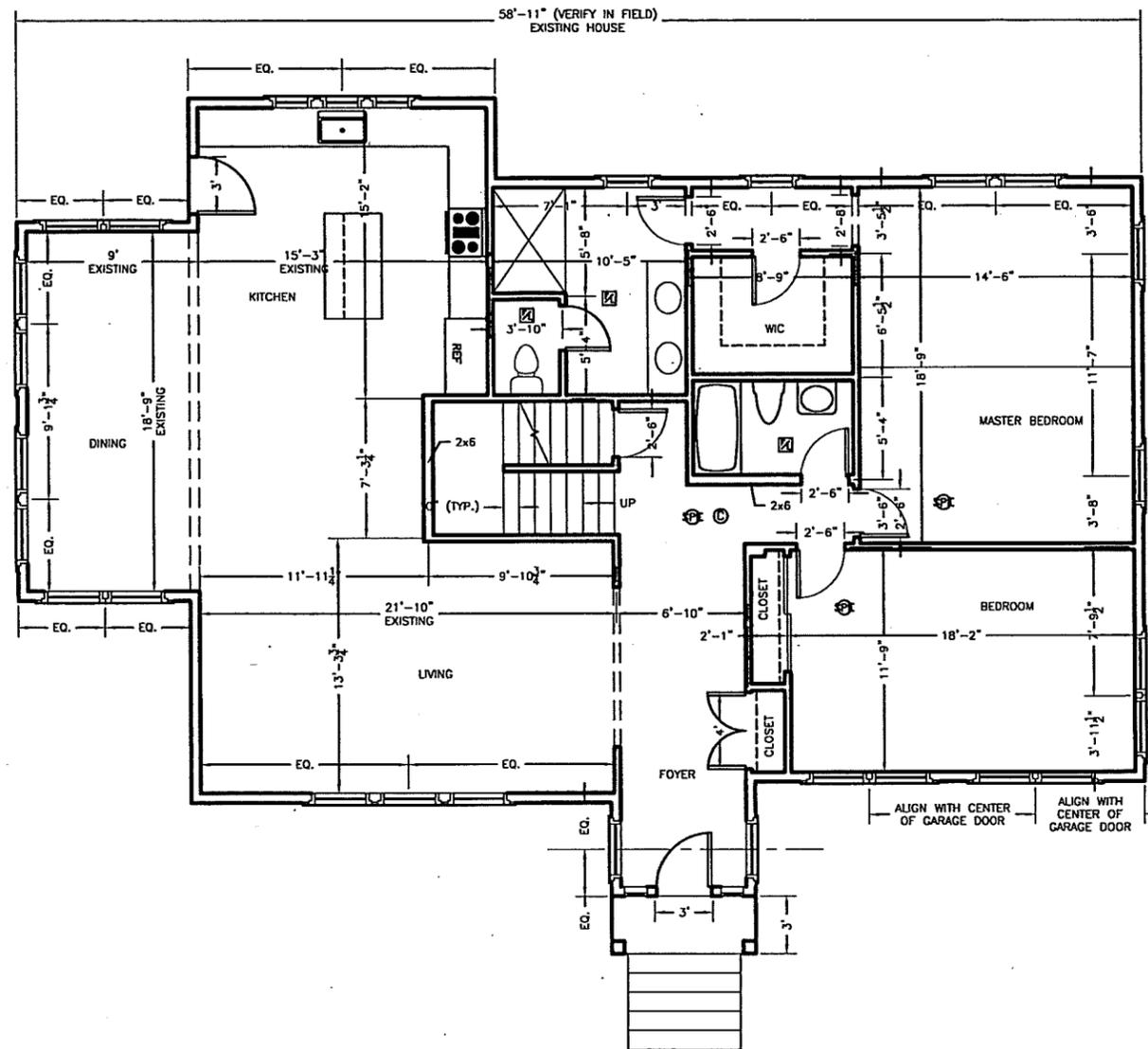
EXISTING ATTIC CROSS SECTION



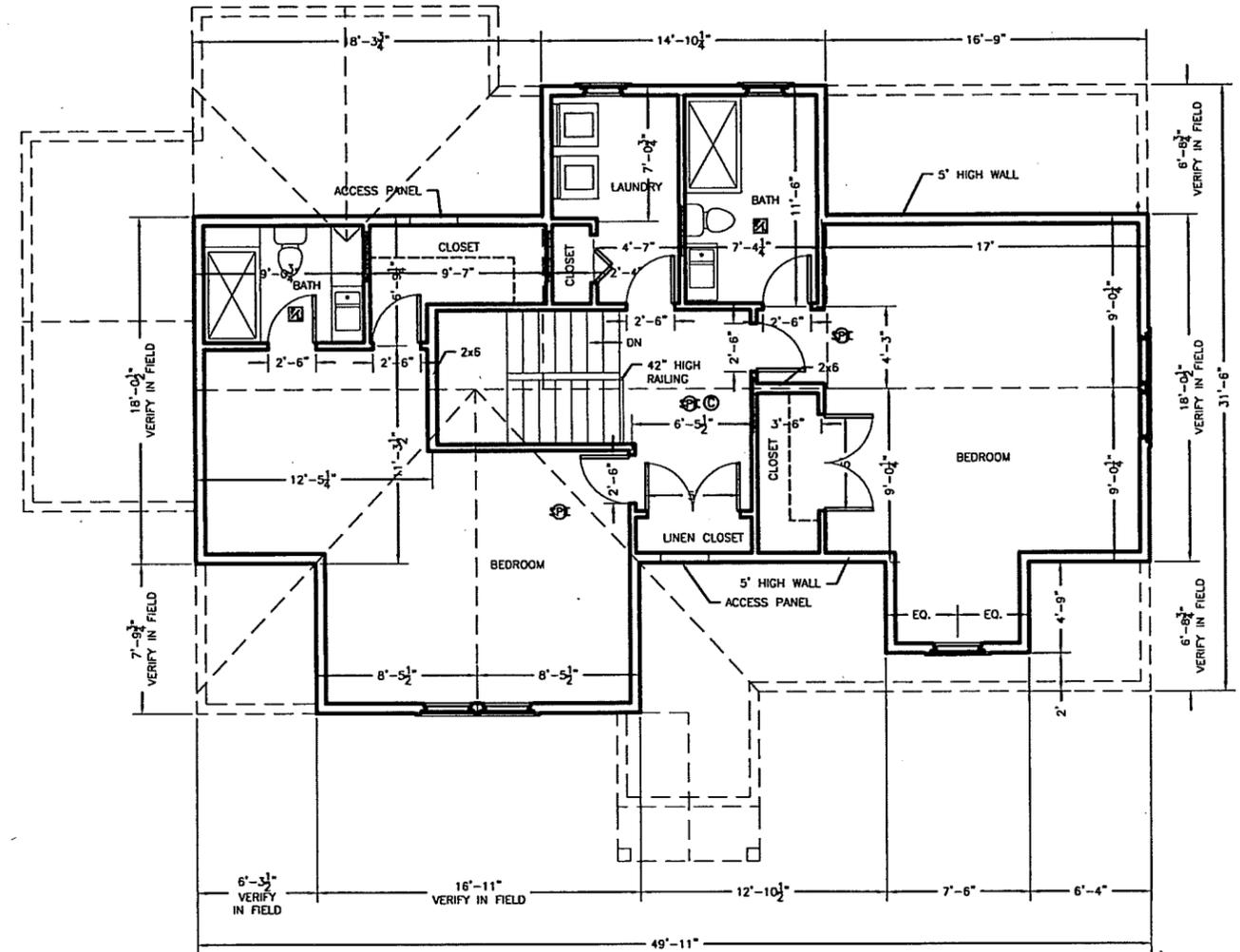
EAST ELEVATION

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APPROVED: R.A.V.	DESIGNED BY: L.M.
DATE: 06/12/2015	CHECKED BY: R.A.V.
DRAWING No. 3 OF 9	





FLOOR PLAN



ATTIC PLAN

FLOOR AREA RATIO (F.A.R.) CALCULATION:

ZONING DISTRICT: BROOKLINE, MA - S10

ALLOWABLE FAR: 0.30

ALLOWABLE FLOOR AREA: 7,745 X 0.30=2,323 SF

FLOOR AREA OF THE BUILDING:

1. 1ST FLOOR : - EXISTING 1,910 SF - PROPOSED 1,887 SF

2. FINISHED ATTIC: - EXISTING 732 SF - PROPOSED 1,168 SF

3. FINISHED BASEMENT: - EXISTING 526 SF (EXCLUDING 183 SF UNHEATED STORAGE AND 23 SF CLOSET WITH CEILING HEIGHT OF LESS THAN 7') - PROPOSED 526 SF

TOTAL FLOOR AREA OF THE BUILDING: - EXISTING 3,168 SF - PROPOSED 3,581 SF

LEGEND:

- ⊙ HARD WIRED SMOKE DETECTOR WITH SECONDARY (STANDBY) POWER SUPPLIED FROM MONITORED BATTERIES
- ⊕ PHOTO ELECTRIC HARD WIRED SMOKE DETECTOR WITH SECONDARY (STANDBY) POWER SUPPLIED FROM MONITORED BATTERIES
- ☑ FAN/LIGHT TO BE VENTED DIRECTLY TO OUTSIDE
- ⊙ CARBON MONOXIDE DETECTOR
- ⊕ HEAT DETECTOR



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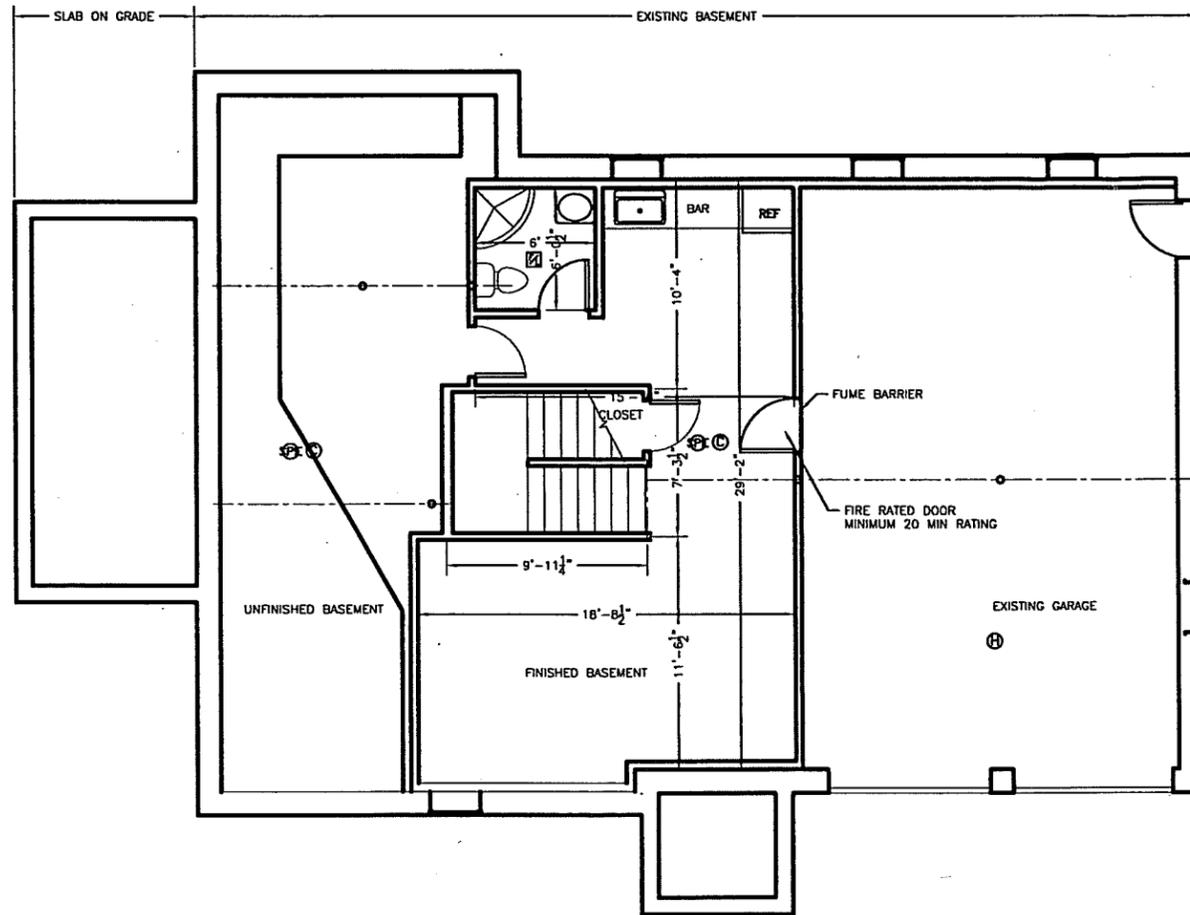
FLOOR PLANS

**160 BELLINGHAM ROAD,
BROOKLINE, MASSACHUSETTS**

RAV & Assoc., Inc.
21 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS 02494
TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

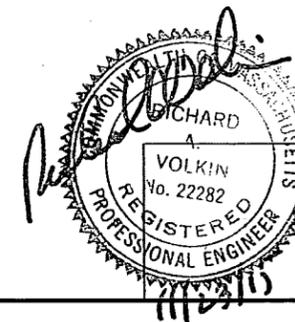
SCALE: 1/4"=1'-0"

APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No.
DATE: 06/12/2015	DRAWN BY: I.M.	4 OF 9
	CHECKED BY: R.A.V.	



BASEMENT PLAN

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BASEMENT PLAN 160 BELLINGHAM ROAD, BROOKLINE, MASSACHUSETTS RAV & Assoc., Inc. 21 HIGHLAND AVENUE NEEDHAM, MASSACHUSETTS 02454 TELEPHONE: (781) 419-8200 FAX: (781) 419-8205	
SCALE: 1/4"=1'-0"	
APPROVED: R.A.V.	DESIGNED BY: I.M.
DATE: 06/12/2015	DRAWN BY: I.M.
	CHECKED BY: R.A.V.
	DRAWING No. 5 OF 9





NORTH ELEVATION



WEST ELEVATION

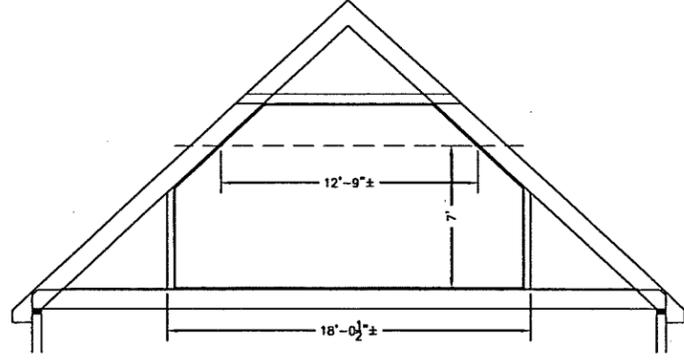
EXTERIOR DOORS AND WINDOWS SCHEDULE			
400 SERIES DOUBLE HUNG WINDOWS BY ANDERSEN WITH LOW-E INSULATING GLASS, UNLESS NOTED OTHERWISE			
No.	UNIT DIMENSIONS	MODEL	REMARKS
①	2'-11 5/8" x 5'-0 7/8"	WDH210510	
②	2'-11 5/8" x 5'-0 7/8"	WDH210410	
③	2'-1 5/8" x 4'-4 7/8"	WDH2042	

NOTES:

CONTRACTOR MUST VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO ORDERING WINDOWS. CONTACT WINDOW MANUFACTURER FOR DETAILS. CONTACT THE OWNER FOR FINAL SELECTION OF DOORS AND WINDOWS PRIOR TO ORDERING AND PRIOR TO FRAMING DOOR AND WINDOW OPENINGS. VERIFY CLEAR OPENINGS IN ALL BEDROOMS. MINIMUM CLEAR OPENING MUST BE 20 IN (W) x 24 IN (H) AND HAVE MINIMUM OF 5.7 S.F. OF CLEAR OPEN AREA. VERIFY LOCATIONS OF SAFETY GLASS WINDOWS AND DOORS PRIOR TO ORDERING WINDOWS AND DOORS.

SPECIFIC LOCATIONS:

1. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS;
2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS AND SWINGING DOORS;
3. GLAZING IN STORM DOORS;
4. GLAZING IN UNFRAMED SWINGING DOORS;
5. GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS, STEAM ROOMS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPONENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE.
6. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHICH MEETS THE FOLLOWING CONDITIONS:
 - a) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F.;
 - b) EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR;
 - c) EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR;
 - d) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.



PROPOSED ATTIC CROSS SECTION

DATE	REVISION

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ELEVATIONS

160 BELLINGHAM ROAD,
BROOKLINE, MASSACHUSETTS

RAV & Assoc., Inc.
21 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS 02494
TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"

APPROVED: R.A.V. DESIGNED BY: I.M. DRAWING No. 6 OF 9

DATE: 06/12/2015 CHECKED BY: R.A.V.





SOUTH ELEVATION



EAST ELEVATION

GENERAL NOTES

1. All work shall conform to Massachusetts Building Code and all Federal, State and Town of Brookline laws, codes and regulations as each may apply.
2. All existing conditions are shown to the best of present knowledge but without guarantee of accuracy. All existing conditions must be verified in field. If discrepancies are found, they have to be reported to the Engineer prior to start of work. If Contractor fails to report discrepancies or omissions, he shall assume full responsibility for work. Omissions or conflicts between the various elements of the working drawings and/or the specifications shall be brought to the attention of the Engineer prior to the start of such work.
3. The contractor shall be responsible for coordinating the scheduling and work of all trades and shall check all dimensions. All discrepancies shall be called to the attention of the Engineer and shall be resolved prior to proceeding with the work.
4. The Contractor shall supervise and direct the work and shall be solely responsible for the construction means, methods, techniques, sequences and procedures, including but not limited to bracing and shoring.
5. The Contractor agrees that in accordance with generally accepted construction practices, the Contractor shall assume sole and complete responsibility for the job site conditions during the course of construction, including the safety of all persons and property, and that this requirement shall apply continuously and not be limited to normal working hours.
6. All work shall be performed in a first class and workmanlike manner in conformity with the plans and specifications, and shall be in good usable condition at the completion of the Project.
7. The Contractor shall field verify all existing conditions, utility locations and structure placement, prior to start of the work. The Contractor will observe all possible precautions to avoid damage to same. Any damage to existing structures and utilities, whether shown or not on the drawings, shall be repaired or replaced at the Contractor's expense.
8. Prior to bidding the work the Contractor shall visit the site and thoroughly satisfy himself as to the actual conditions and quantities, if any. No claim against the Owner or Engineer will be allowed for any excess or deficiency therein, actual or relative.
10. Contractor is responsible for all demolition and relocation works, if any.

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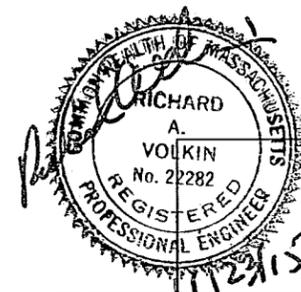
ELEVATIONS

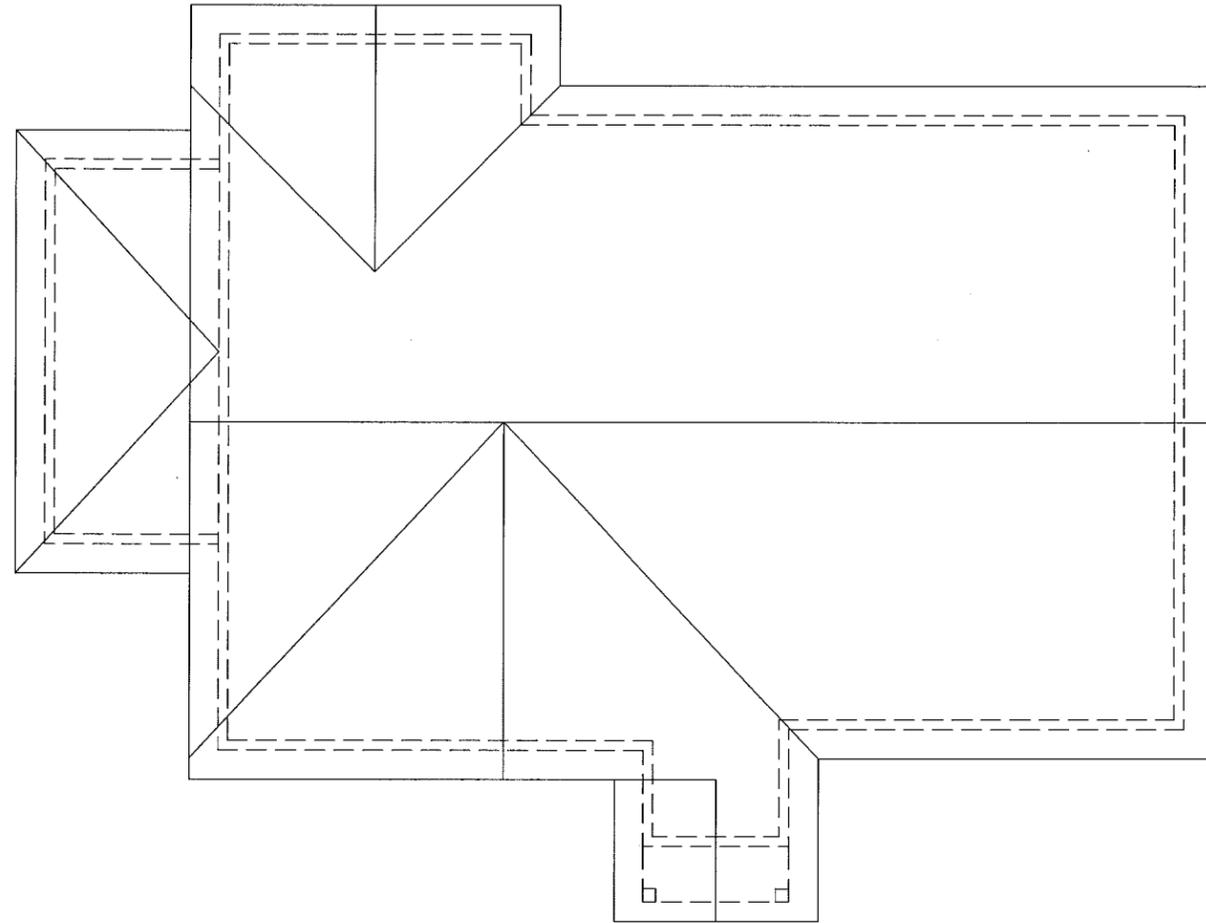
**160 BELLINGHAM ROAD,
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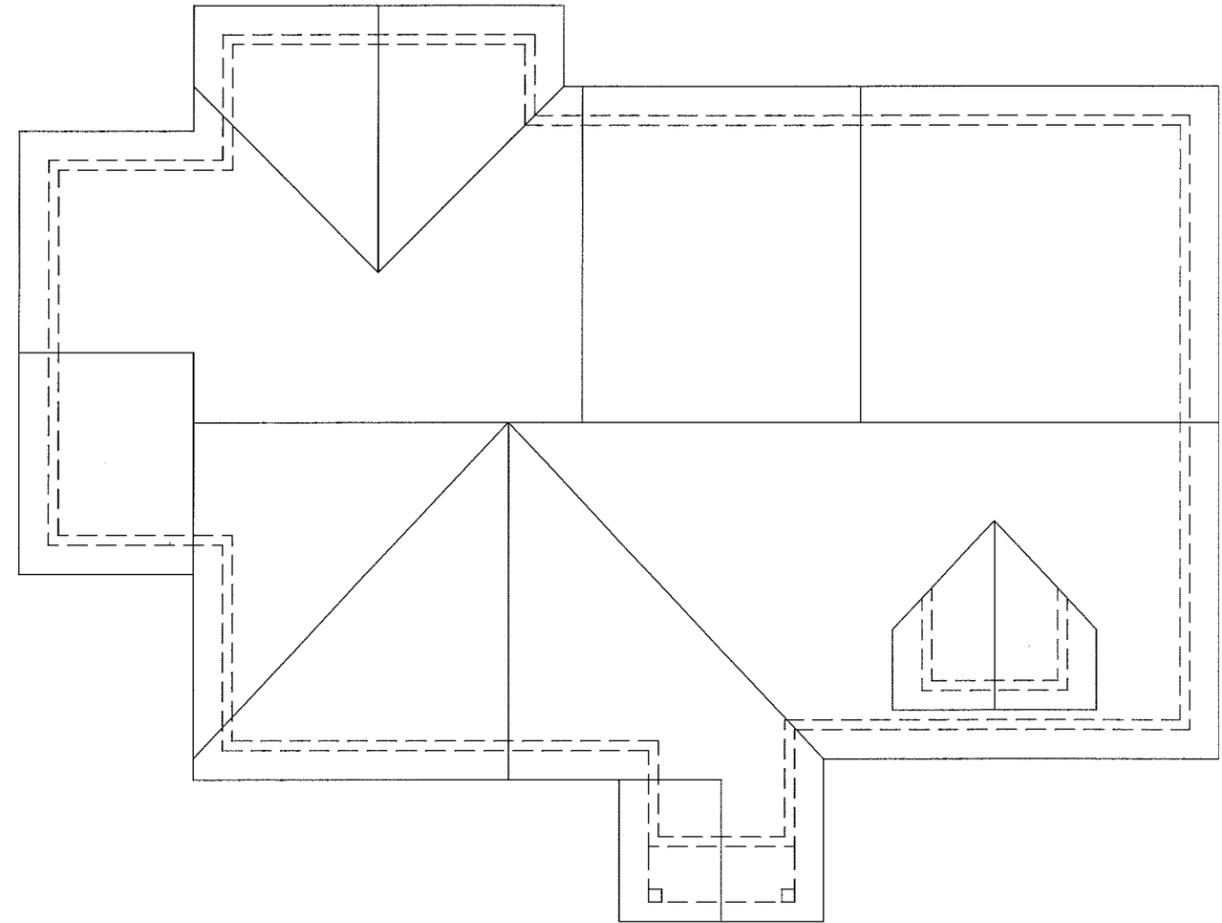
SCALE: 1/4"=1'-0"

APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No.
DATE: 06/12/2015	DRAWN BY: I.M.	7 OF 9
	CHECKED BY: R.A.V.	





EXISTING ROOF PLAN



PROPOSED ROOF PLAN

DATE	REVISION

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**EXISTING AND PROPOSED
ROOF PLANS**

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BROOKLINE, MASSACHUSETTS

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21 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS 02494
TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

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APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No.
DATE: 11/08/2015	DRAWN BY: I.M.	X OF X
	CHECKED BY: R.A.V.	