



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Blair Hines
Sergio Modigliani
Mathew Oudens
Mark J. Zarrillo

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: January 21, 2016
Subject: Convert attic and basement to habitable space
Location: 172 Dean Road

Atlas Sheet: 58	Case #: 2015-0061
Block: 258	Zoning: S-25
Lot: 90	Lot Area: 14, 450

Board of Appeals Hearing: January 28, 2016 at 7:10 p.m.

SITE AND NEIGHBORHOOD

172 Dean Road is a two and a half story brick single-family dwelling in the block between Chestnut Hill Avenue and Fisher Avenue. There is a garage at the rear of the lot at the southeast corner. The surrounding neighborhood is primarily residential, and the Runkle School is a little over a block away.

APPLICANT'S PROPOSAL

The applicant, Sumeet Sabharwal, is making substantial renovations to his dwelling and proposing to construct attic dormers and convert the attic and basement to habitable space. The two new doghouse dormers will be located on the front elevation and will be connected to each other by a slate roof. They will be placed between two existing doghouse dormers of the same style. A new window well will be constructed at the basement level to provide egress to a new basement bedroom.

FINDINGS

Section 5.20– Floor Area Ratio

	<u>Allowed</u>	<u>Existing</u>	<u>Allowed for Basemt/Attic Conversion</u>	<u>Proposed</u>	<u>Finding</u>
Floor Area Ratio (% of allowed)	.2 100%	.296 148%	.3 150%	.39 195%	Variance
Floor Area (s.f.)	2,890	4,279	4,335	5,650	

Section 8.02.1.a – Alteration or Extension: A special permit is required to alter and enlarge this non-conforming building.

PLANNING BOARD COMMENTS

The Planning Board is supportive of this request to convert the basement and attic to habitable space. The only exterior changes are two front attic dormers and a rear window well, so visual impacts to abutters should be minimal, and the dormers are in keeping with the many homes in the surrounding neighborhood that also have attic dormers. Recent case law allows for special permit relief following a Section 6 finding if no new zoning non-conformities result from the proposed property alterations. [See attached memo from Attorney Robert Allen about a similar case.]

Therefore, the Planning Board recommends approval of the site plan by George C Collins dated 8/25/15 and plans by Sousa Design, dated 10/8/15, subject to the following conditions:

- 1) Prior to the issuance of a building permit, the applicant shall submit final elevations and floor plans subject to the review and approval of the Assistant Director of Regulatory Planning.
- 2) Prior to the issuance of a building permit, the applicant shall submit a final site plan, including landscaping, subject to the review and approval of the Assistant Director of Regulatory Planning
- 3) Prior to issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan, stamped and signed by a registered engineer or land surveyor; 2) final building elevations and floor plans stamped and signed by a registered architect; and 3) evidence the decision has been recorded at the Registry of Deeds.

pss

**SABHARWAL
RESIDENCE**

**172 Dean Road
Brookline, MA 02445**

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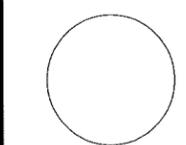
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**SOUSA design
Architects**

81 Bayston St., 2nd Floor
Brookline, MA 02445
617.879.8100
www.sousadesign.com



Job # 1523

Drawn by J.C.J. Ckd by S.A.S.

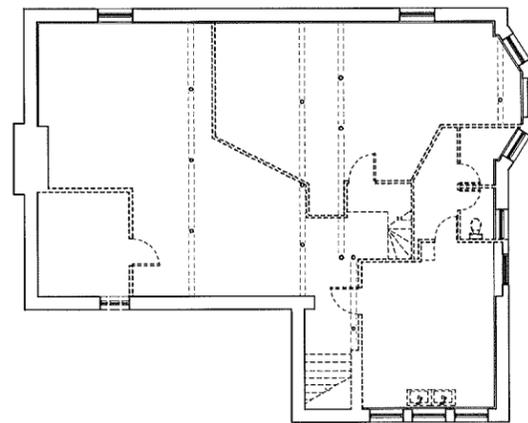
Date 10.08.15

Revisions

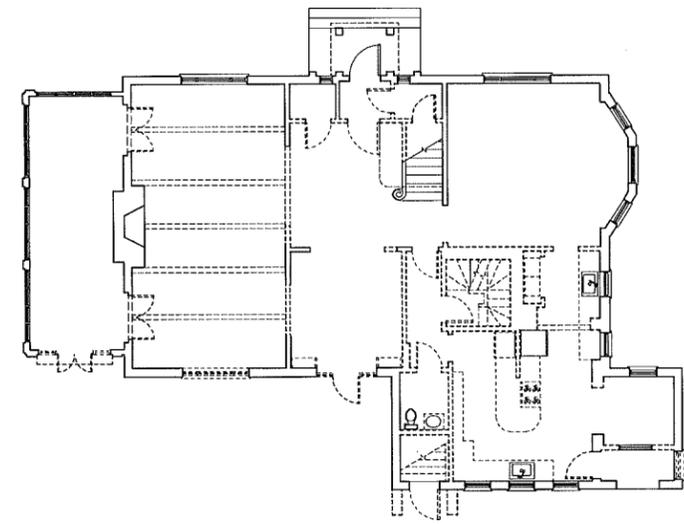
No.	Description	Date

**EXISTING FLOOR
PLANS**

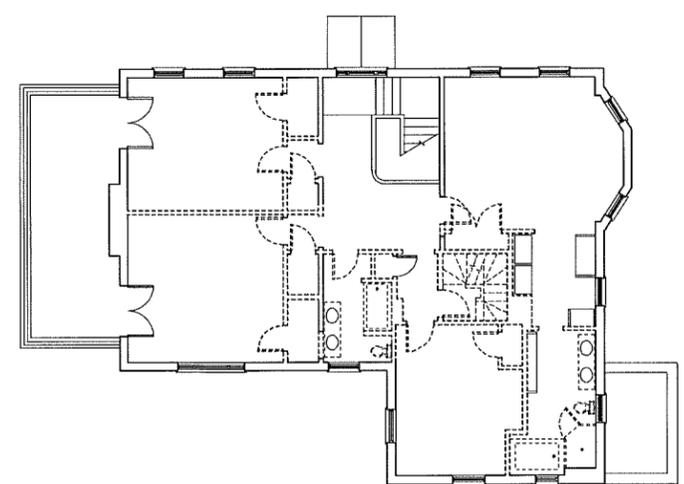
EX-1.0



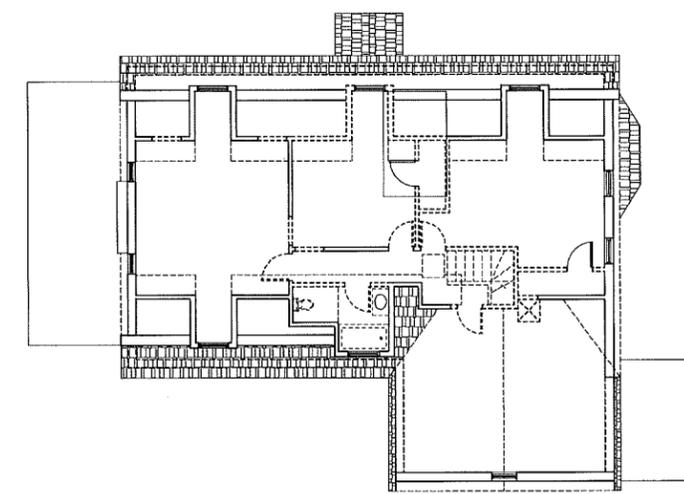
1 EXISTING BASEMENT FLOOR PLAN
Scale: 1/8" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



3 EXISTING SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



4 EXISTING THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"

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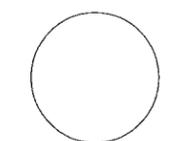
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Date 10.08.15

Revisions

No.	Description	Date

**EXISTING
ELEVATIONS**

EX-2.0



1 EXISTING NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 EXISTING WEST ELEVATION
Scale: 1/8" = 1'-0"



3 EXISTING SOUTH ELEVATION
Scale: 1/8" = 1'-0"



4 EXISTING EAST ELEVATION
Scale: 1/8" = 1'-0"

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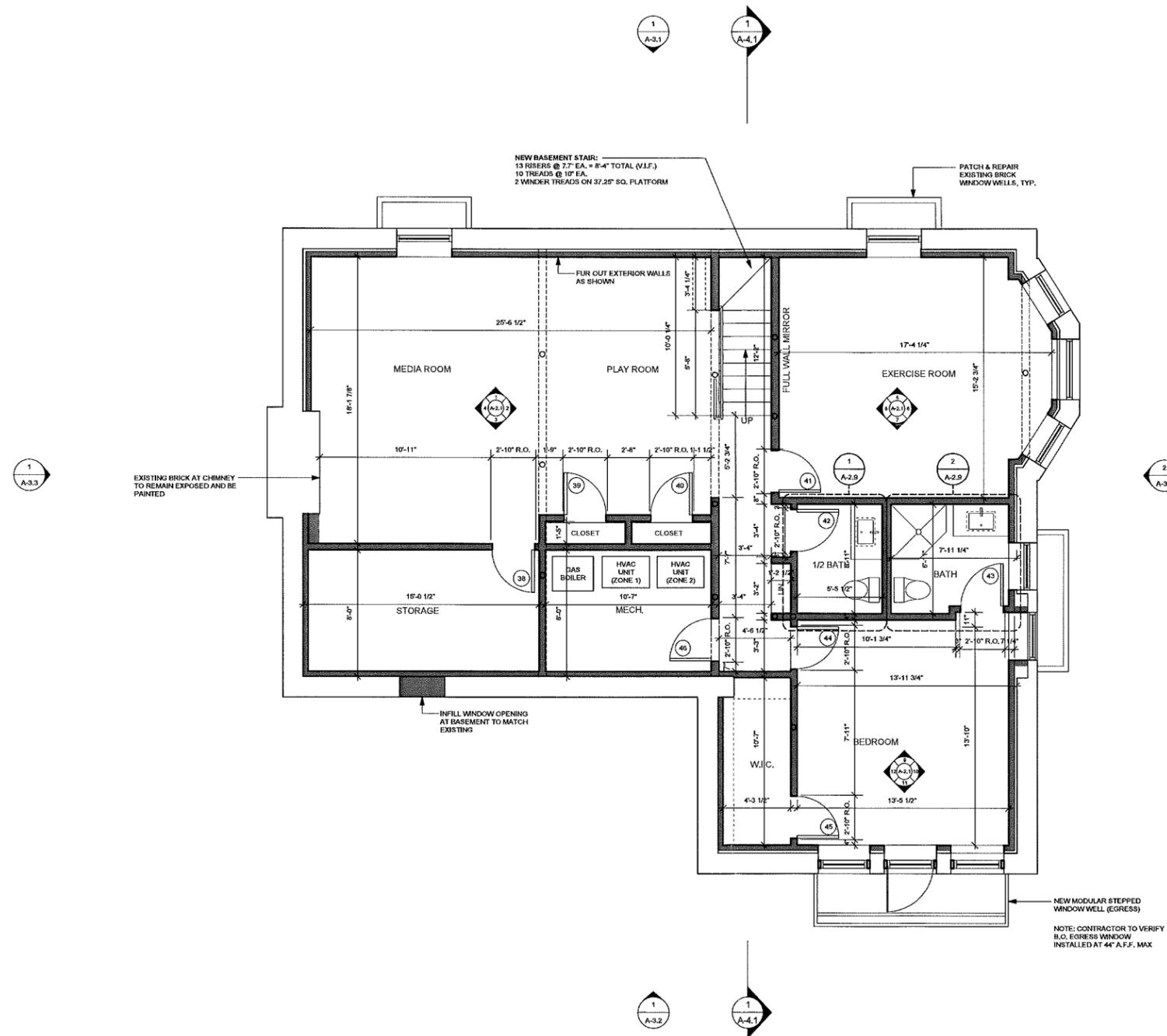
BASEMENT CONSTRUCTION PLAN

A-1.0

LEGEND

- NEW GWB PARTITION
- EXISTING PARTITION TO REMAIN

* CONTRACTOR TO PROVIDE SAMPLES OF BASEMENT WINDOWS FOR APPROVAL



1 BASEMENT CONSTRUCTION PLAN
Scale: 1/4" = 1'-0"

LEGEND

- NEW GWB PARTITION
- EXISTING PARTITION TO REMAIN

* CONTRACTOR TO PROVIDE SAMPLES FOR BASEMENT WINDOWS FOR APPROVAL

SABHARWAL RESIDENCE

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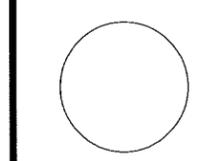
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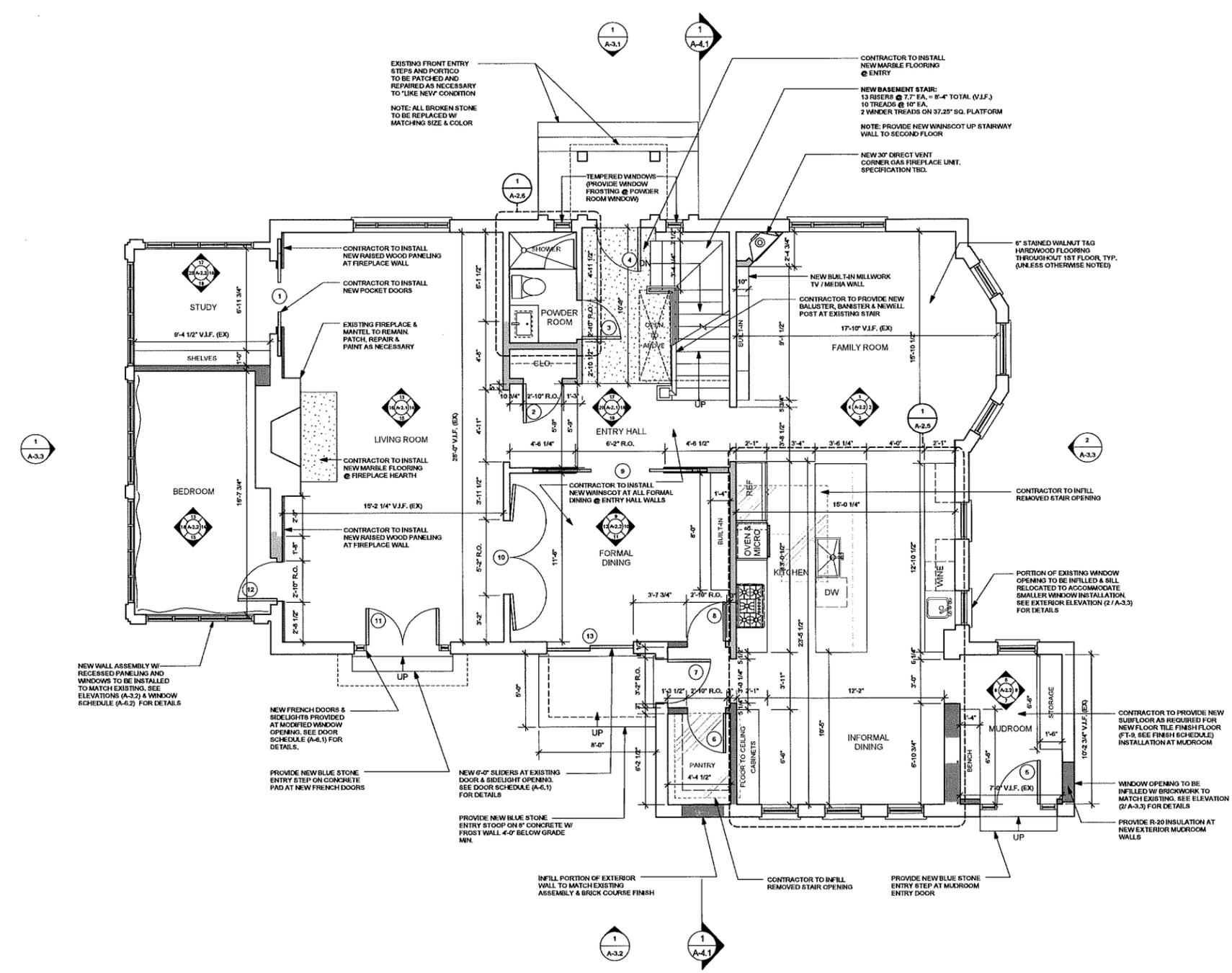
Date 10.08.15

Revisions

NO.	DESCRIPTION

**FIRST FLOOR
CONSTRUCTION
PLAN**

A-1.1



1 FIRST FLOOR CONSTRUCTION PLAN
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Date 10.08.15

Revisions

No.	Description

SECOND FLOOR CONSTRUCTION PLAN

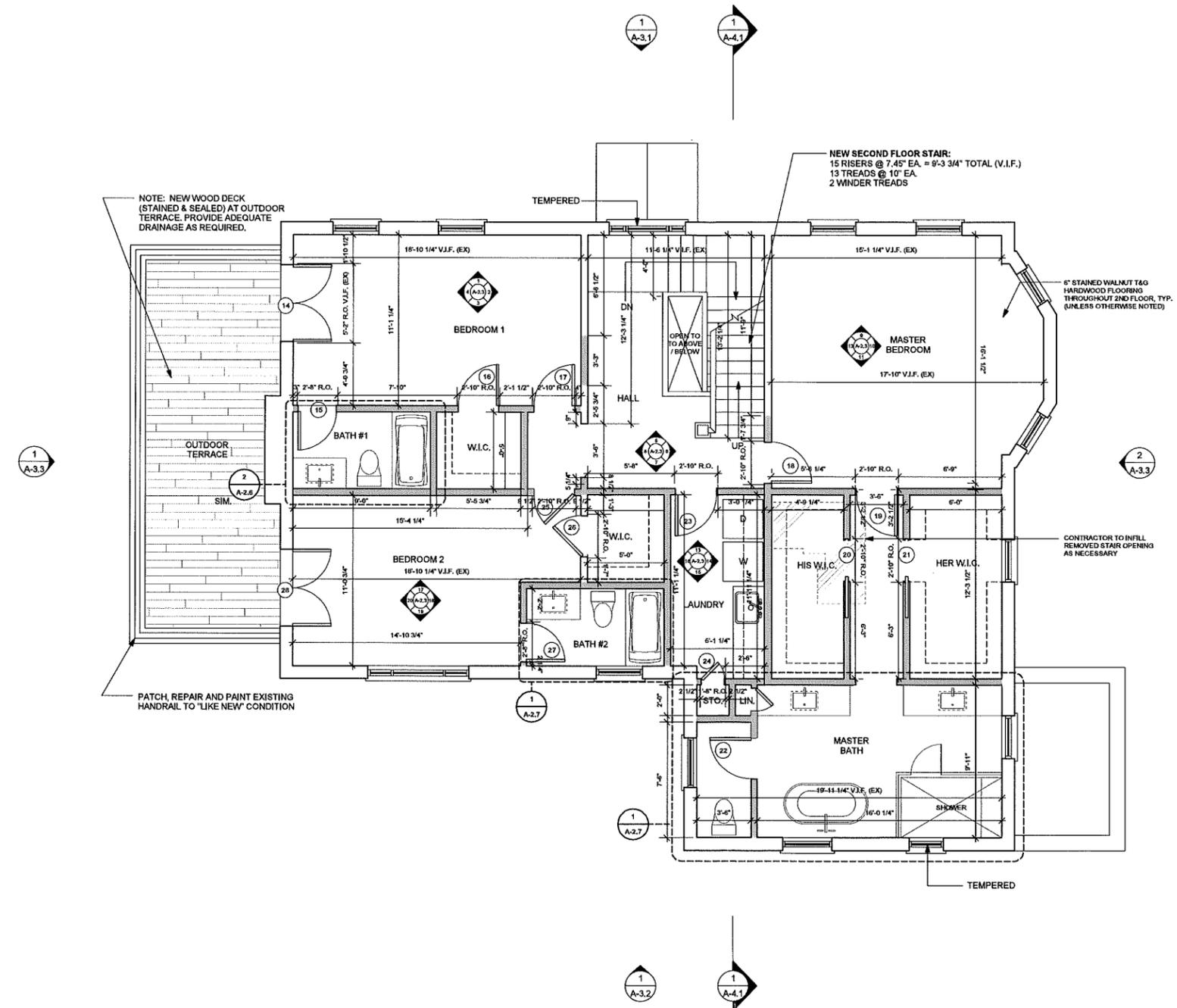
A-1.2

LEGEND

■ NEW GWB PARTITION

□ EXISTING PARTITION TO REMAIN

* CONTRACTOR TO PROVIDE SAMPLES OF BASEMENT WINDOWS FOR APPROVAL



1 SECOND FLOOR CONSTRUCTION PLAN
Scale: 1/4" = 1'-0"

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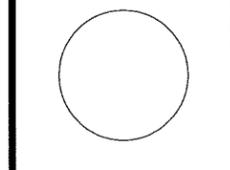
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Date 10.08.15

Revisions

No.	Description

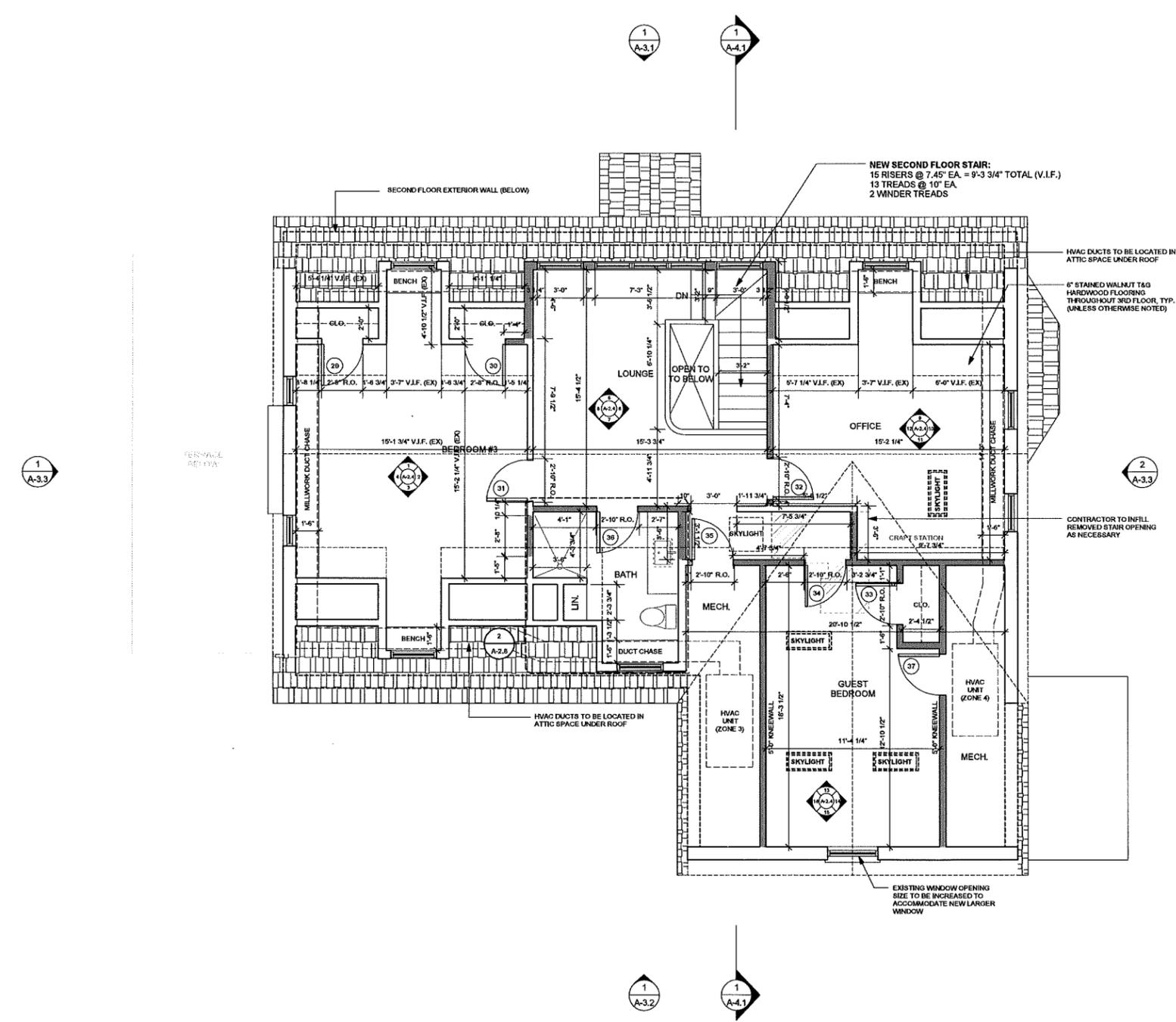
**THIRD FLOOR
CONSTRUCTION
PLAN**

A-1.3

LEGEND

- NEW GWB PARTITION
- EXISTING PARTITION TO REMAIN

* CONTRACTOR TO PROVIDE SAMPLES OF BASEMENT WINDOWS FOR APPROVAL



1 THIRD FLOOR CONSTRUCTION PLAN
Scale: 1/4" = 1'-0"

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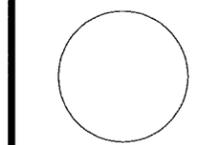
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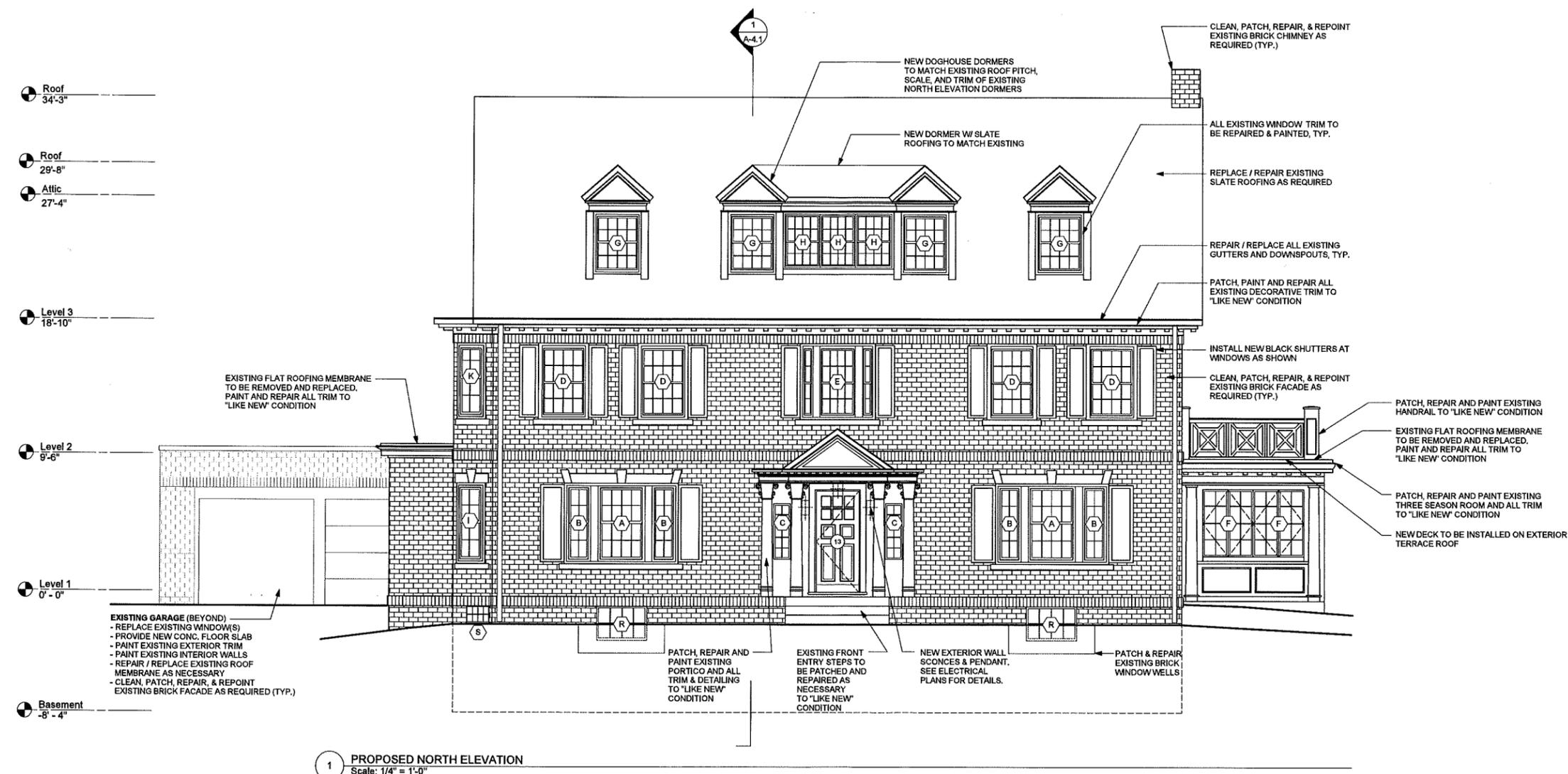
Date 05.03.2015

Revisions

No.	Description

**EXTERIOR
ELEVATIONS**

A-3.1



1 PROPOSED NORTH ELEVATION
Scale: 1/4" = 1'-0"

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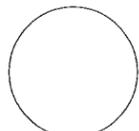
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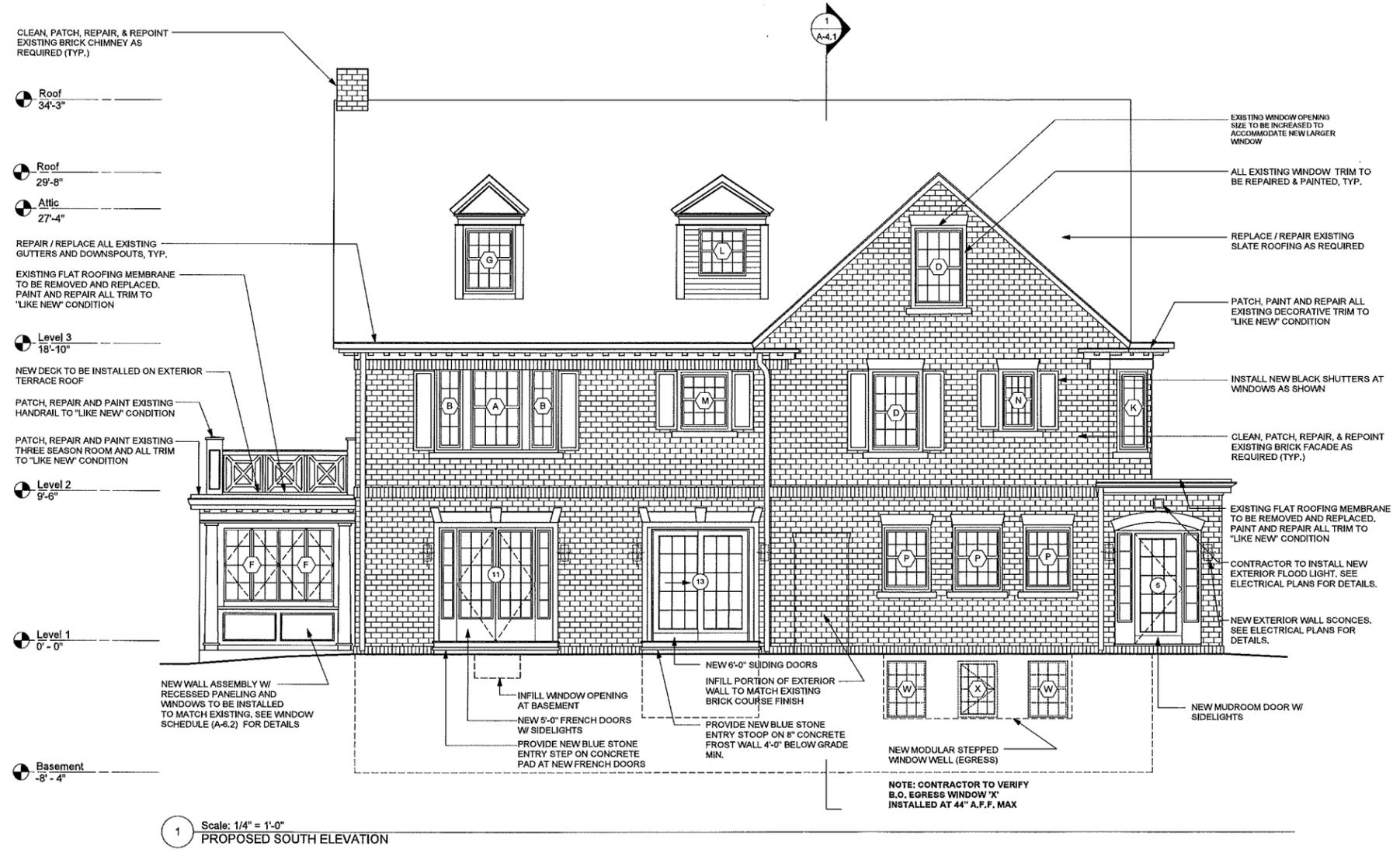
Date 08.17.2015

Revisions

No.	Description

**EXTERIOR
ELEVATIONS**

A-3.2



1 Scale: 1/4" = 1'-0"
PROPOSED SOUTH ELEVATION

SABHARWAL RESIDENCE

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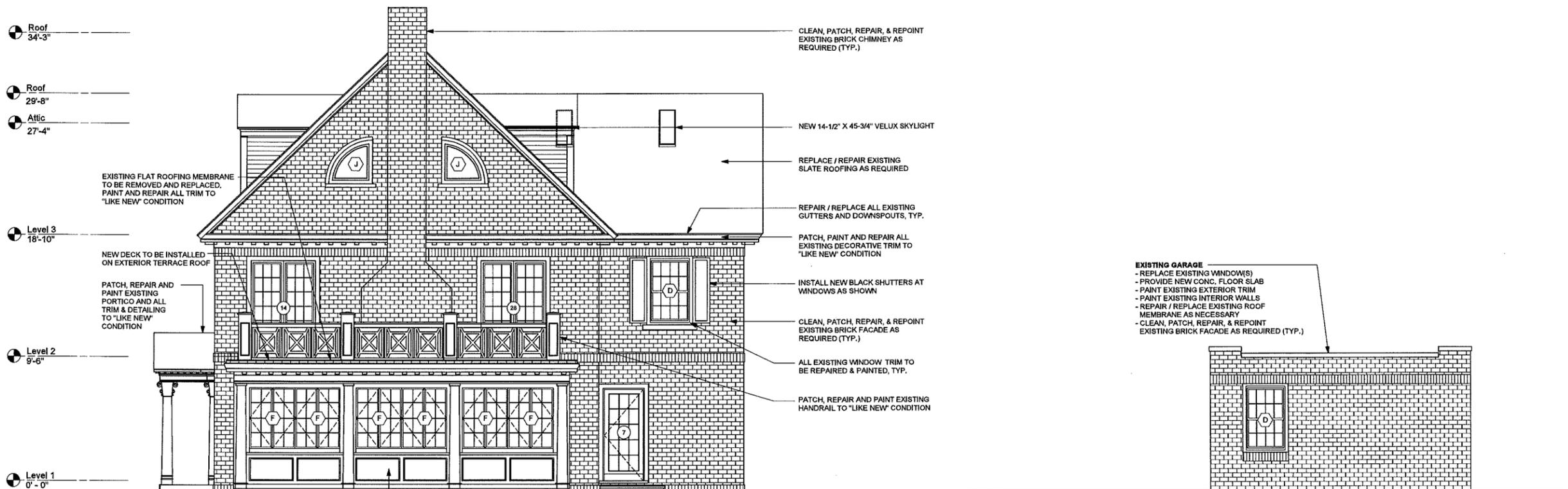
Date 06.17.2015

Revisions

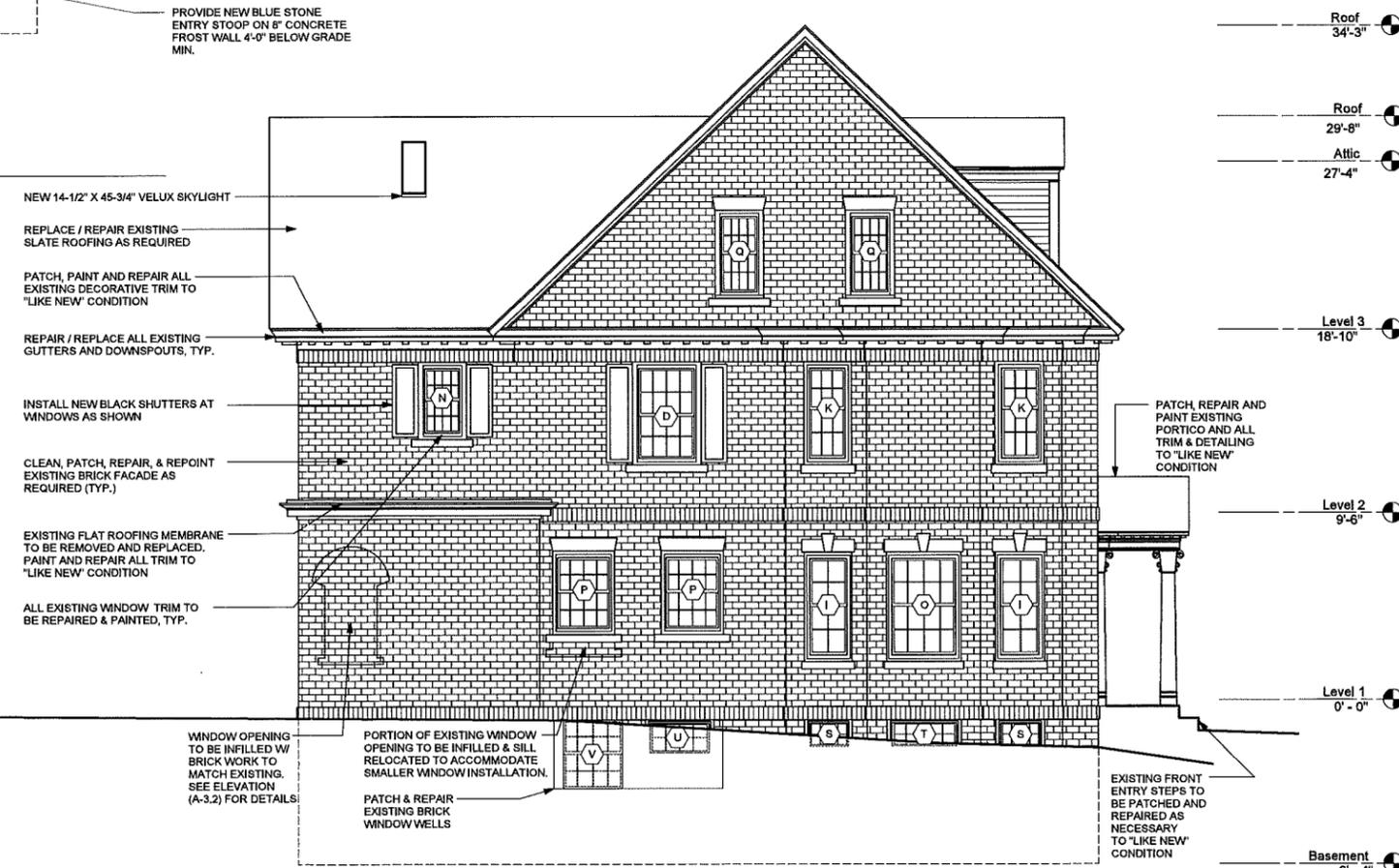
NO.	DESCRIPTION

EXTERIOR ELEVATIONS

A-3.3



1 PROPOSED WEST ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
Scale: 1/4" = 1'-0"