



Town of Brookline

Massachusetts

PLANNING BOARD

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Mark J. Zarrillo

To: Brookline Board of Appeals

From: Brookline Planning Board

Date: March 17, 2016

Subject: Convert single-family dwelling into a lodging house for families of children receiving treatment at Boston Children's Hospital

Location: 132 Carlton Street

Atlas Sheet:	1	Case #:	2016-0004
Block:	004	Zoning:	S-7
Lot:	04-00	Lot Area (s.f.):	±11,732

Board of Appeals Hearing: March 24, 2016, at 7:30 p.m.

BACKGROUND

Summer – Fall 2015 – The applicant worked with the Preservation Commission to determine what alterations could be made to the structures on the subject property, since it is in the Cottage Farm Local Historic District. Initially, the applicant wished to demolish the detached garage. However, the Preservation Commission denied that request. The revised plans have now been reviewed and approved by the Preservation Commission.

SITE AND NEIGHBORHOOD

132 Carlton Street is a single-family dwelling and detached garage located at the intersection of Euston and Carlton Streets in the Cottage Farm Local Historic District. The two-and-a-half-story dwelling was built in 1908 in the French Renaissance style. The accessory garage was constructed at the same time, is one-and-a-half-stories, and has two parking spaces. The property abuts a private way that provides vehicular access to the garage as well as to other properties. In 1963 Boston University acquired the property, which had served as the home of former BU President John Silber.

APPLICANT'S PROPOSAL

The applicant, The Children's Hospital Corporation, proposes to renovate the main building and change the use from a single-family dwelling to a lodging house for use by families of inpatient children being cared for at Boston Children's Hospital. The lodging house would have 16 sleeping rooms without independent cooking facilities and one one-bedroom caretaker unit with independent cooking facilities. Along with the change of use, the applicant proposes to create two open air parallel parking spaces next to the private way, for a total of four parking spaces on site. Both parking spaces would be located in the front yard setback along the private way: one between the new reconfigured side entrance and a low wall, and the other in front of the existing garage.

The project involves mainly interior renovations and exterior repairs; other exterior changes aside from the two new parking spaces include reconfiguring the side entrance along the private way to install an ADA compliant entrance, new mechanical equipment at the roof level to accommodate the elevator, and landscaping improvements.

FINDINGS

Section 4.07 – Table of Use Regulations, Use #7: Licensed lodging houses are not permitted in S Districts. *Use variance required.*

Section 5.09.2.e and .k – Design Review: A new lodging house use or a project that requires a use variance under *Section 9.09.1.d* also requires a *special permit* subject to the design review standards listed under *Section 5.09.4(a-l)*. All the conditions have been met, and the most relevant sections of the design review standards are described below:

- **Preservation of Trees and Landscape** – A detailed landscaping plan has been submitted, and the proposal does not involve extensive tree or soil removal. Three trees (greater than 6 inch caliper) are being removed; two of the trees being removed are diseased and decaying and, as shown on the landscaping plan, numerous new trees and shrubs are being planted.
- **Relation of Buildings to Environment** – The project does not involve substantial exterior additions or changes to the existing buildings on site, which relate well to the other buildings in the neighborhood and to the streetscape.
- **Relation of Buildings to the Form of the Streetscape and Neighborhood** – The proposed development is nearly entirely within the existing building, and all of the changes have been approved by the Preservation Commission. The new parking is located along a private right of way, not along major streets.

- Open Space – Most of the site’s existing landscaping will be maintained, and a new deck and patio improvements will be attractive amenities to the site.
- Circulation – The property’s onsite circulation will not be substantially changing, as entrances and egresses will be retained. Vehicular access will still be provided via the private way, and the new parking spaces will not impede travel for others. The new ADA compliant entrance on the side of the building will facilitate pedestrian access to the building.
- Advertising Features – The development expects to have an identification sign, though plans for such have not yet been submitted.
- Heritage – The proposal would retain an historically significant building with minimal exterior changes, all of which have been approved by the Preservation Commission.

Section 5.20 – Floor Area Ratio

Floor Area	Allowed	Existing	Proposed	Finding
Floor Area Ratio (% of allowed)	0.35 100%	1.02 291%	1.02 291%	Pre-existing non-conforming
Floor Area (s.f.)	4,106	11,400	11,400	

Section 5.43 – Exceptions to Yard and Setback Regulations

Section 5.50 – Front Yard Requirements

Section 5.70 – Rear Yard Requirements

Dimensional Requirements	Required	Existing	Proposed	Relief
Front Yard Setback				
Carlton Street	30'	14.9	14.9	Special Permit*
Euston Street	30'	22.1	22.1	Special Permit*
Private way	30'	9.5	9.5	Special Permit*
Rear Yard Setback	40'	20.9	20.9	Special Permit*

* Under **Section 5.43**, the Board of Appeals may waive yard and setback requirements by special permit if a counterbalancing amenity is provided. In this case, because of the change in use, the setback requirements are greater than if the property was maintained as a single-family dwelling.

Section 6.04.5.c.1 and c.3 – Design of All Off-Street Parking Facilities

Section 6.04.12 – Design of all Off-Street Parking Facilities

Section 6.06.6 – Off-Street Loading Regulations

Section 6.06.7 – Off-Street Loading Regulations

Parking/Loading	Required	Existing	Proposed	Relief
Front Yard (parking) Setback	30'	NA	0'	Special Permit**
Rear Yard (parking) Setback	5'	NA	0'	Special Permit**
Loading Spaces	1	0	0	Special Permit†

** Under **Section 6.04.12**, the Board of Appeals may by special permit allow the substitution of other dimensional requirements for new parking facilities being installed to serve existing structures.

† Under **Section 6.06.7**, the Board of Appeals may reduce by special permit the number of required loading bays when the adequacy of the reduced number can be demonstrated by the proposed use, hours of operation, and delivery service requirements.

Section 8.02.2 – Alteration or Extension

A special permit is required to alter a pre-existing non-conforming structure or use (the existing main building is a non-conforming structure regarding Floor Area Ratio (FAR) and the garage is an existing non-conforming structure with respect to dimensional requirements applicable to accessory structures located in the rear yard).

Section 9.09 – Conditions for the Grant of a Use Variance: The Board of Appeals may grant a use variance, provided the statutory variance requirements are met, only on a lot that conforms to one of the following conditions. **This application is seeking use variance relief under condition (d).**

- a. Expiration of the time limit specified for a previously granted use variance.
- b. Existence prior to January 1, 1977, of uses of the same general classification as the use variance applied for, on lots adjoining the lot in question on both sides, or, if the lot in question is a corner lot, on both the side and the rear.
- c. Existence on an adjoining lot of a use of such nuisance characteristics as to render unreasonable any conforming use of the lot in question.
- d. Existence on the lot in question of a structure(s) of appearance compatible with its vicinity which is either of historical or architectural significance which shall be preserved or restored in a manner sufficient to justify the relief granted herein, and/or contains gross floor area excessive for the use permitted in the district wherein the structure is located, and which can reasonably be maintained as a visual and taxable asset only if a nonconformity of use is permitted.**

Modification of Board of Appeals Decisions: Case #1367, August 19, 1967 (denied conversion of residence into admissions office); Case #1703, August 12, 1971 (construct a 7-foot-high fence along three property lines)

PLANNING BOARD COMMENTS

The Planning Board is supportive of the proposal to convert the existing single-family dwelling into a lodging house for families with children receiving treatment at Boston Children's Hospital. The current home is exceedingly large, and it can adequately accommodate the proposed number of rooms and the intensified use. Most of the required zoning relief is due to the change of use from a single-family home to a lodging house, not due to physical changes on site.

The proposed exterior changes are minimal, consisting primarily of restored windows and doors, and they have been reviewed and approved by the Town's Preservation Commission. All vehicular access to the site will be located along the private way and away from residential neighbors. The two new parking spaces will not obstruct travel along the private way and will not be especially visible to other neighbors or from Carlton Street. However, the applicant should consider increasing the length of the parking space closest to Carleton to provide better maneuverability. The hospital will be providing on-call car transportation between the property and Children's Hospital, which will serve to reduce parking demand. The structure is a significant and attractive residential building, and this use should not detract from its standing in the neighborhood.

Therefore, should the Board of Appeals find that the statutory requirements for a use variance are met, the Planning Board recommends approval of the plans titled "132 Carlton Street Renovations" prepared by Isgenuity, dated 1/04/2016 and 3/7/16, subject to the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit final floor plans and elevations, including color, window and material details, subject to the review and approval of the Preservation Commission and the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a final site and landscaping plan, indicating all parking space dimensions and pickup areas, mechanical equipment, lighting, walls, fencing, and counterbalancing amenities, subject to the review and approval of the Preservation Commission and the Assistant Director of Regulatory Planning.
3. One identification sign shall be allowed subject to the review and approval of the Assistant Director of Regulatory Planning.
4. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

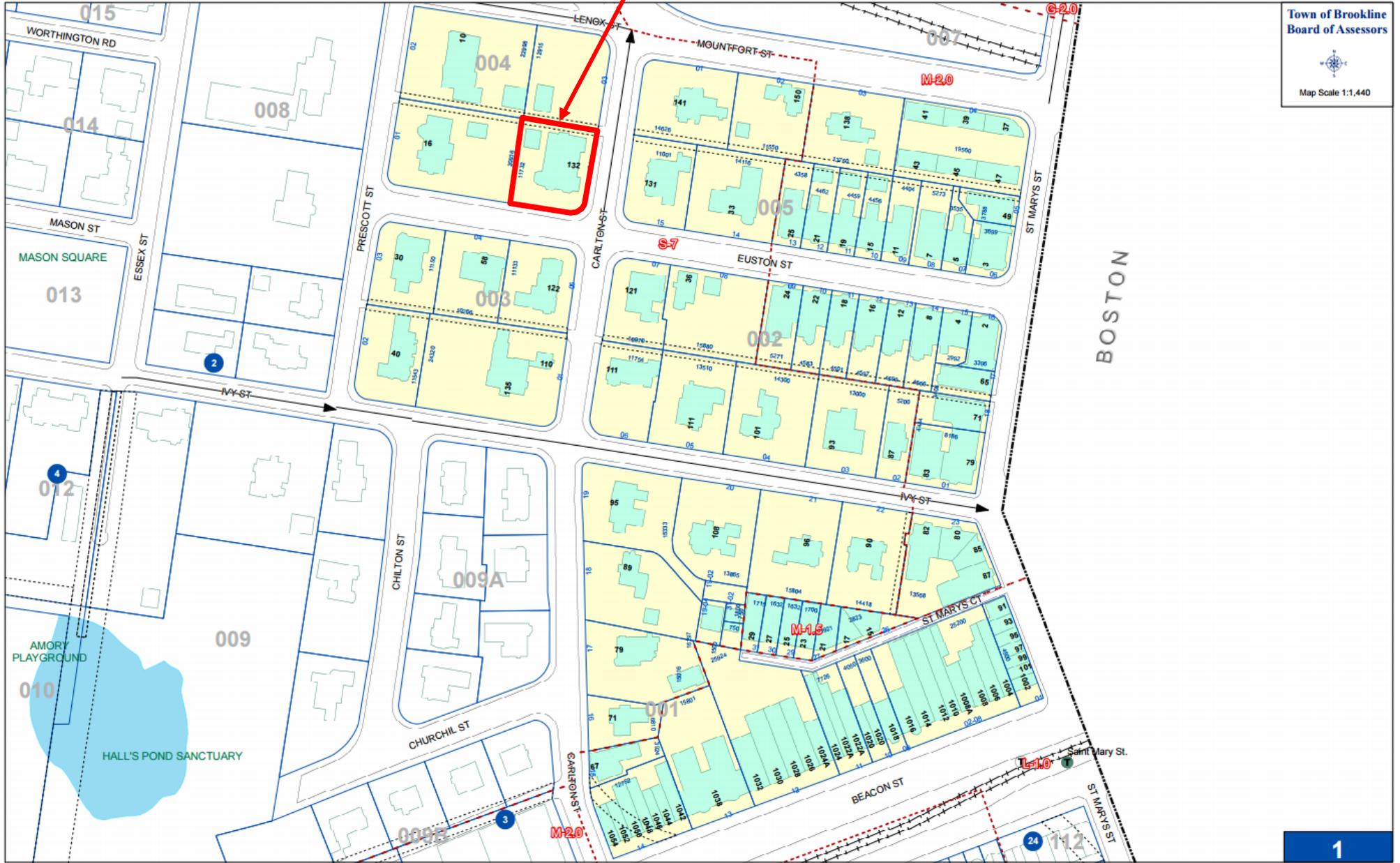


Pictometry image of 132 Carlton Street as seen from the east/Carlton Street (above).



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132 Carlton Street



Town of Brookline
Board of Assessors



Map Scale 1:1,440



Boston Children's Hospital
Until every child is wellSM

132 Carlton Street Renovations



DRAWING LIST

C001	EXISTING CONDITIONS PLAN
C101	PROPOSED SITE PLAN
L2.0	MATERIALS PLAN
L4.0	FINE GRADING PLAN
A0.00	GENERAL NOTES, ABBREVIATIONS, LEGENDS
A0.20	PHOTO DOCUMENTATION
A1.10	BASEMENT DEMOLITION PLAN, GENERAL NOTES, SPECIFIC NOTES
A1.11	GROUND FLOOR DEMOLITION PLAN
A1.12	SECOND FLOOR DEMOLITION PLAN
A1.13	THIRD FLOOR DEMOLITION PLAN
A2.00	FLOOR PLANS GENERAL NOTES, KEYS, LEGENDS
A2.10	BASEMENT FLOOR PLAN
A2.11	GROUND FLOOR PLAN
A2.12	SECOND FLOOR PLAN
A2.13	THIRD FLOOR PLAN
A3.10	NORTH, SOUTH & GARAGE EXTERIOR ELEVATIONS
A3.11	WEST, PARTIAL & EAST EXTERIOR ELEVATIONS

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Issuance Schedule		
Number	Date	Description

132 Carlton Street Renovations

Boston Children's Hospital

132 Carlton Street
Brookline, MA 02446

ISSUED FOR PERMIT

Date Issued: 01/04/16

Project Number: 105.403.00

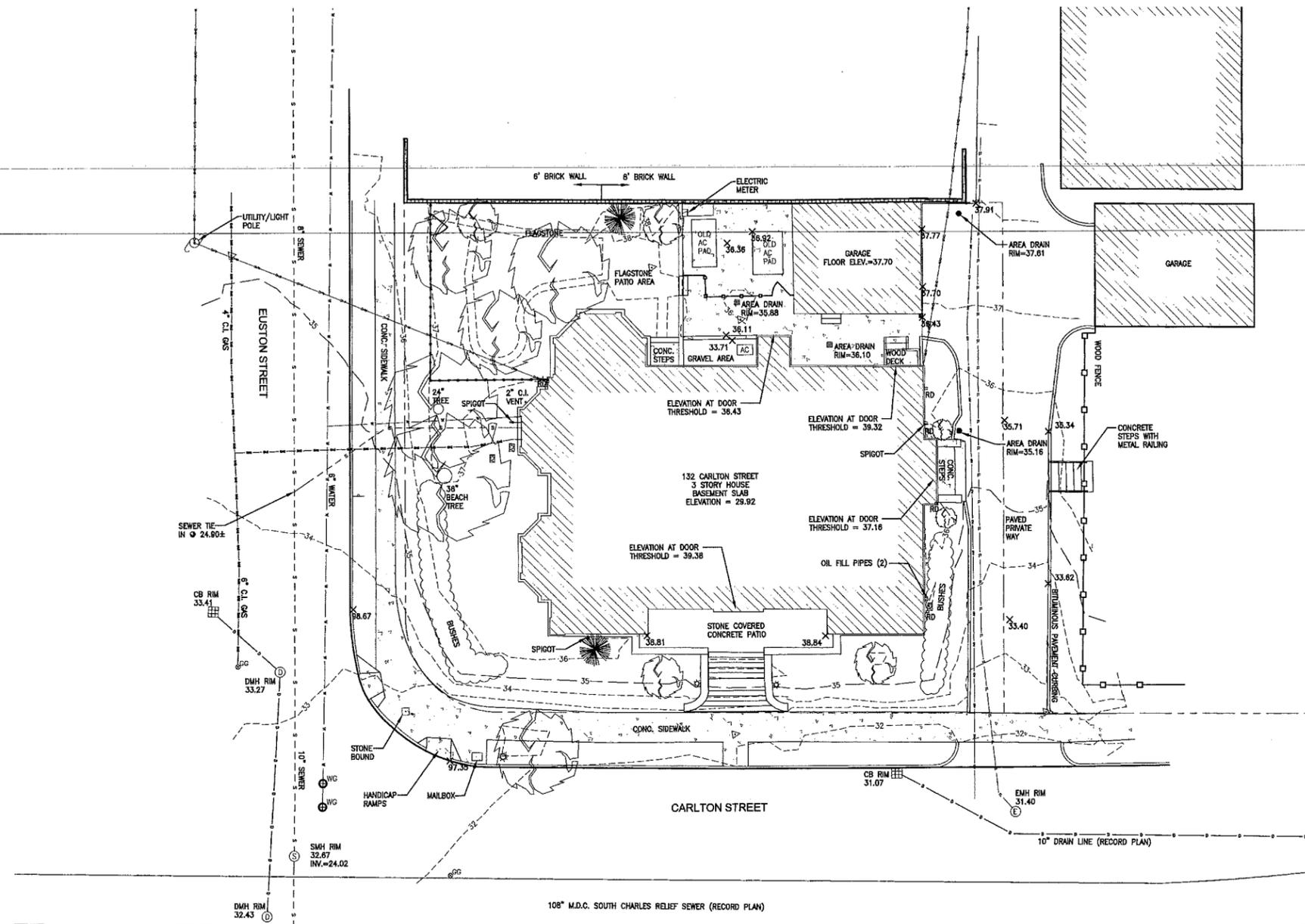
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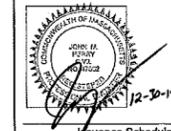
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LEGEND	
ISV	IRRIGATION CONTROL VALVE
⊕	DRAIN MANHOLE
⊙	SEWER MANHOLE
⊗	GAS GATE
⊕WG	WATER GATE
⊕	CATCH BASIN
⊕	AREA DRAIN
⊕	LIGHT POLE
RD	ROOF DRAIN DOWNSPOUT
⊕	SURVEY TRAVERSE POINT
⊕	STONE BOUND FOUND
⊕	IRRIGATION CONTROL VALVE
⊕	TREES
X 104.00	SPOT GRADE (EXISTING)
—	OVERHEAD WIRES
—	DRAIN LINE
—	SEWER LINE
—	GAS LINE
—	WATER LINE
—	UNDERGROUND ELECTRIC
—	COMMUNICATIONS LINE
—	4' PICKET FENCE
—	8' WOOD FENCE
—	35 MAJOR CONTOUR
—	34 MINOR CONTOUR
—	PROPERTY LINE (PLAN)
—	CONCRETE

- EXISTING CONDITIONS NOTES:**
- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE. LOCATIONS SHOWN ARE FROM FIELD OBSERVATION OR RECORD PLANS. OTHER UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAN.
 - TOPOGRAPHIC FIELD SURVEY WAS PERFORMED BY GALE ASSOCIATES INC. 163 LIBBEY PARKWAY, WEYMOUTH MASSACHUSETTS ON JANUARY 21, 2015. NO PROPERTY LINES OR EXISTING EASEMENTS WERE SURVEYED BY GALE. PROPERTY LINE SHOWN IS FROM ALTA/ACSM LAND TITLE SURVEY BY FELDMAN LAND SURVEYORS, DATED JUNE 24, 2014, PROVIDED BY THE OWNER.
 - HORIZONTAL DATUM IS ASSUMED. VERTICAL DATUM (ASSUMED TO BE THE BROOKLINE BASE) BASED ON SEWER INVERT ELEVATIONS FROM SEWER MAIN PLAN PROVIDED BY THE BROOKLINE DPW.
 - BUILDING OUTLINE WAS PROVIDED BY ISGENUITY INC.



Issuance Schedule

Number	Date	Description

ISSUED FOR PERMIT

Boston Children's Hospital
 132 Carlton Street
 Renovations

EXISTING CONDITIONS PLAN
 Scale: 1"=10'-0" Date Issued: 01/04/2016

C001
 Project Number: 105.403.00

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Issuance Schedule

Number	Date	Description



Boston Children's Hospital
 132 Carlton Street
 Renovations

MATERIALS PLAN

Scale: 1/8" = 1'-0" Date Issued: 01/04/2016

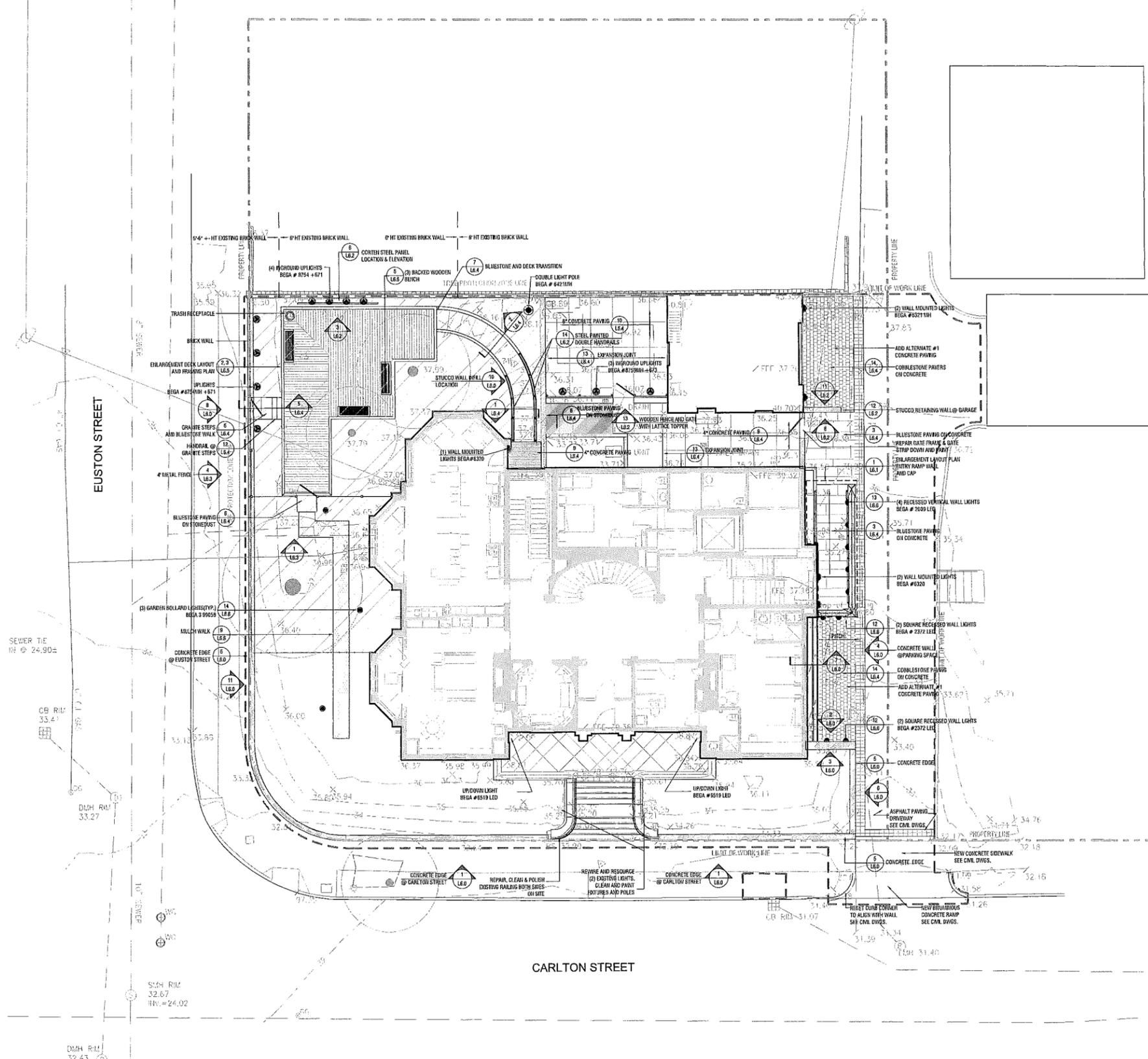
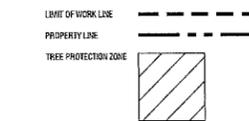
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Project Number: 105.403.00

LAYOUT NOTES:

- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD. REPORT ANY DISCREPANCIES TO THE ARCHITECT OF RECORD AND LANDSCAPE ARCHITECT FOR DISCUSSION PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTORS SHALL VERIFY ALL HORIZONTAL AND VERTICAL UNDERGROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- VERIFY BUILDING LOCATION AND PLAN RELATIONSHIPS PRIOR TO CONSTRUCTION.
- STAKE OR OTHERWISE FLAG DESIGN ELEMENTS AND FEATURES IN THE FIELD. OBTAIN ARCHITECT OF RECORD AND LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT, AND FINISH GRADE PRIOR TO COMMENCING CONSTRUCTION.
- DIMENSIONS FROM STRUCTURE ARE FROM FACE OF FINISH OF EXTERIOR WALL, UNLESS OTHERWISE STATED.
- ANGLES ARE ASSUMED TO BE 90 DEGREES UNLESS OTHERWISE STATED.
- INTERFACES OF EXISTING AND PROPOSED CURBS AND WALKS TO MEET FLUSH AT TOP AND AT FACE.
- CROSS PITCH NEW SIDEWALKS AT 2% TYPICAL UNLESS OTHERWISE INDICATED.
- CONCRETE PAVING TO BE LIGHT BROOM FINISHED PERPENDICULAR TO THE FLOW OF TRAFFIC, WITH TROWEL EDGE, UNLESS OTHERWISE INDICATED.
- SEE PLANTING PLANS FOR LOCATION OF TREES, SHRUBS, PLANTING BEDS AND EXTENT OF SOODING AND SEEDING.
- FOR ELECTRICAL FIXTURES AND WIRING SEE ELECTRICAL DRAWINGS.
- ANY CHANGES PROPOSED TO DIMENSIONS SHOWN ON THIS DRAWING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

LEGEND:



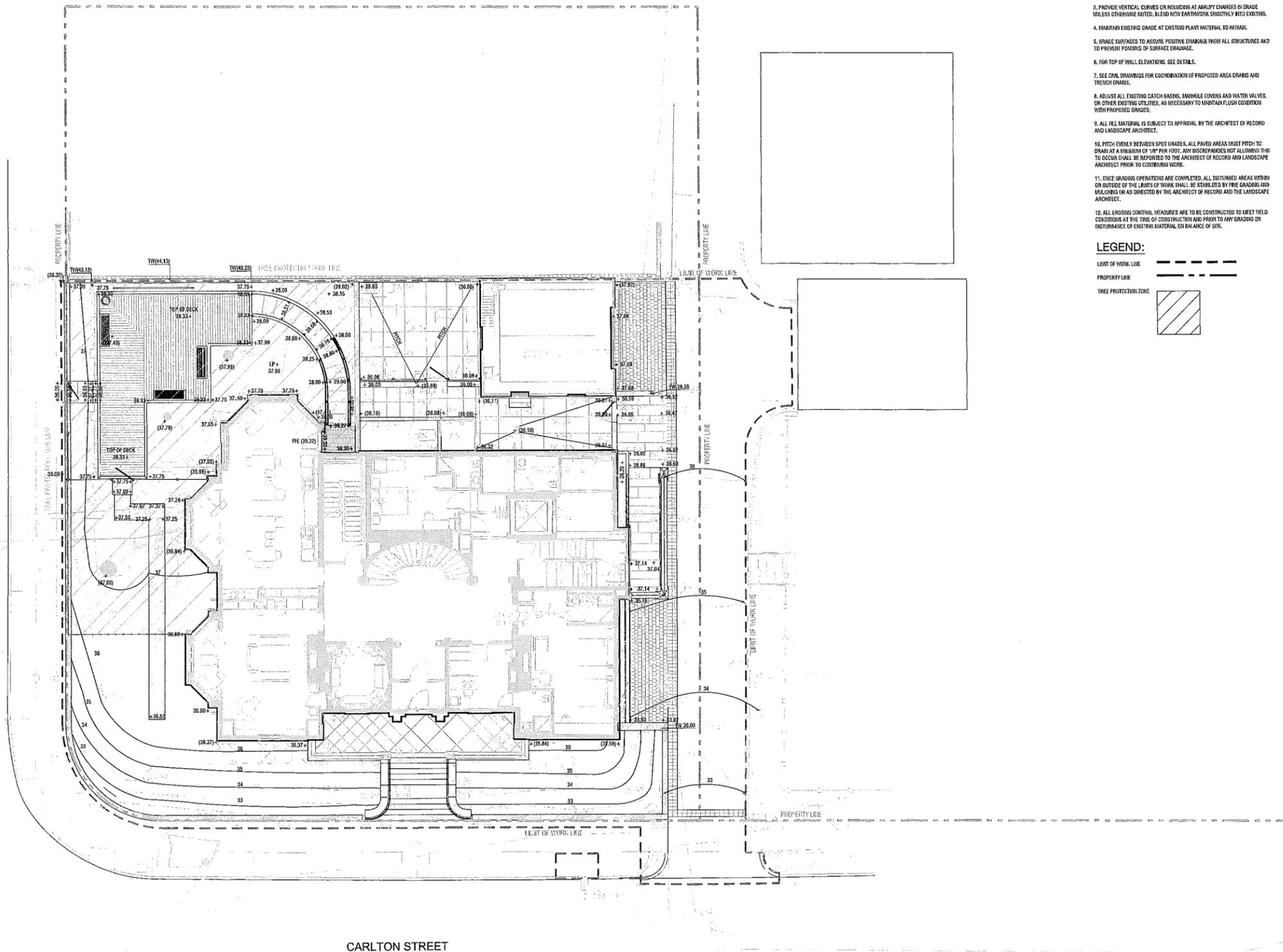
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SITE GRADING NOTES:

1. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE ARCHITECT OF RECORD AND LANDSCAPE ARCHITECT BEFORE BEGINNING WORK.
2. SLOPE AWAY FROM ALL BUILDINGS.
3. PROVIDE VERTICAL CURVES OR ROLLOVERS AT ABRUPT CHANGES IN GRADE UNLESS OTHERWISE NOTED. BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.
4. MAINTAIN EXISTING GRADE AT EXISTING PLANT MATERIAL TO REMAIN.
5. GRADE SURFACES TO ASSURE POSITIVE DRAINAGE FROM ALL STRUCTURES AND TO PREVENT FLOWING OF SURFACE DRAINAGE.
6. FOR TOP OF WALL ELEVATIONS, SEE DETAILS.
7. SEE CIVIL DRAWINGS FOR COORDINATION OF PROPOSED AREA DRAINS AND TRENCH DRAINS.
8. ADJUST ALL EXISTING CATCH BASINS, MANHOLE COVERS AND WATER VALVES, OR OTHER EXISTING UTILITIES, AS NECESSARY TO MAINTAIN FLSH CONDITION WITH PROPOSED GRADES.
9. ALL FILL MATERIAL IS SUBJECT TO APPROVAL BY THE ARCHITECT OF RECORD AND LANDSCAPE ARCHITECT.
10. PITCH DRAINS BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT. ANY DISCREPANCIES NOT ALLOWED THIS TO OCCUR SHALL BE REPORTED TO THE ARCHITECT OF RECORD AND LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
11. ONCE GRADING OPERATIONS ARE COMPLETED, ALL DISTURBED AREAS WITHIN OR OUTSIDE OF THE LIMITS OF WORK SHALL BE STABILIZED BY FINE GRADING AND MULCHING OR AS DIRECTED BY THE ARCHITECT OF RECORD AND THE LANDSCAPE ARCHITECT.
12. ALL EROSION CONTROL MEASURES ARE TO BE CONSTRUCTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING MATERIAL ON BALANCE OF SITE.

LEGEND:

- LIMIT OF WORK LINE 
- PROPERTY LINE 
- TREE PROTECTION ZONE 



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Issuance Schedule		
Number	Date	Description

 NORTH
 ISSUED FOR PERMIT

Boston Children's Hospital
 132 Carlton Street
 Renovations

FINE GRADING PLAN

Scale: 1/8" = 1'-0" Date Issued: 01/04/2016

L 4.0

Project Number: 105.403.00

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Issuance Schedule

Number	Date	Description



ISSUED FOR PERMIT

Boston Children's Hospital
 132 Carlton Street
 Renovations

PHOTO DOCUMENTATION

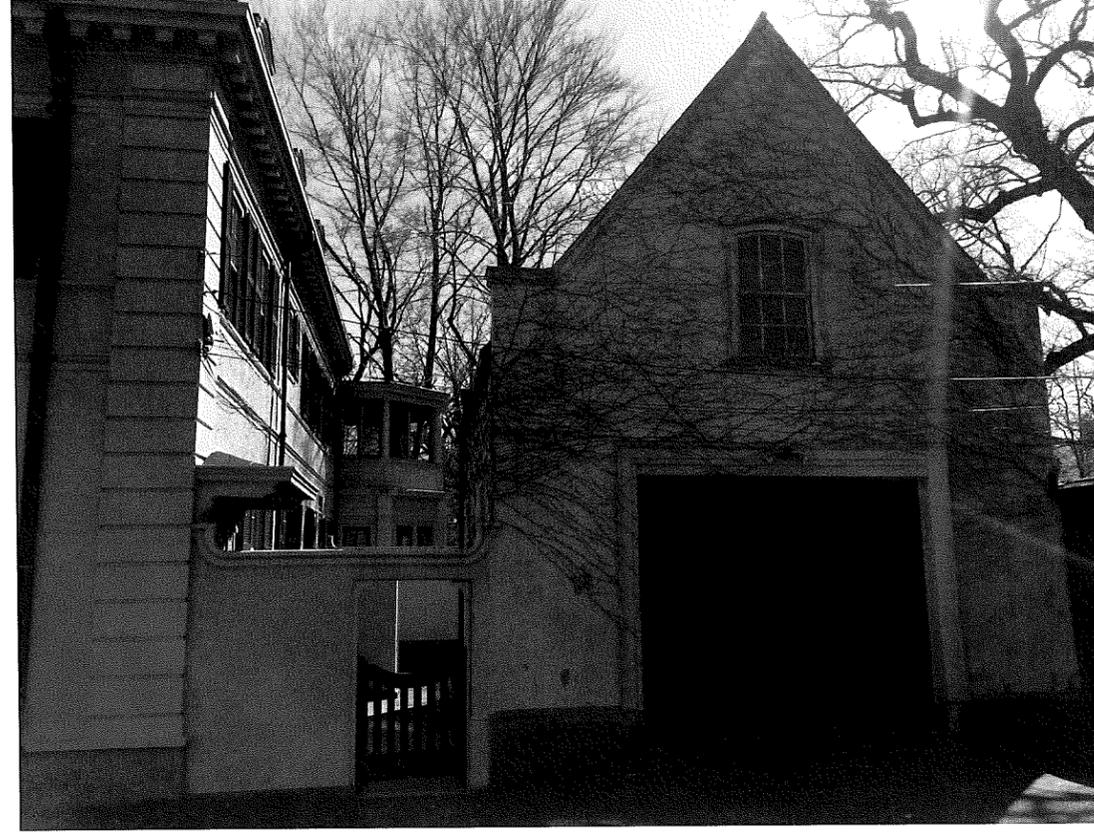
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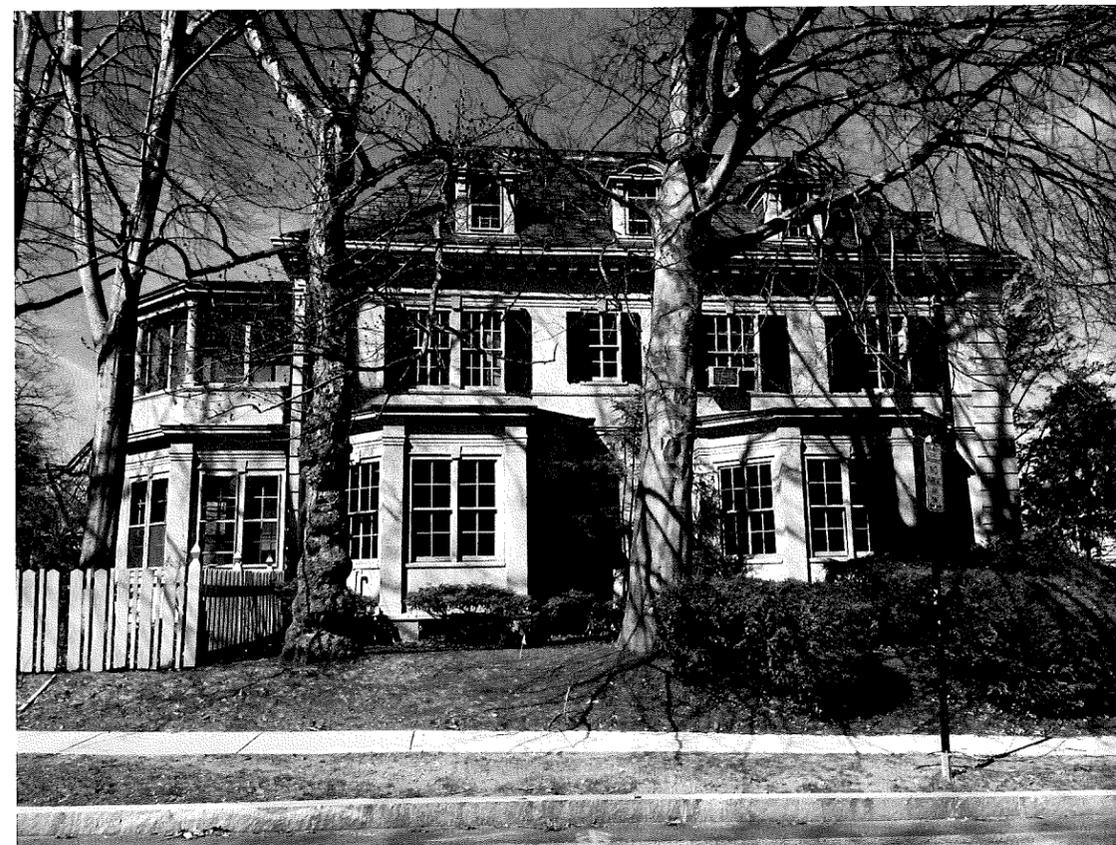
Project Number: 105.A03.00



34 EXISTING EXTERIOR NORTH ELEVATION
 SCALE: 1/2" = 1'-0"



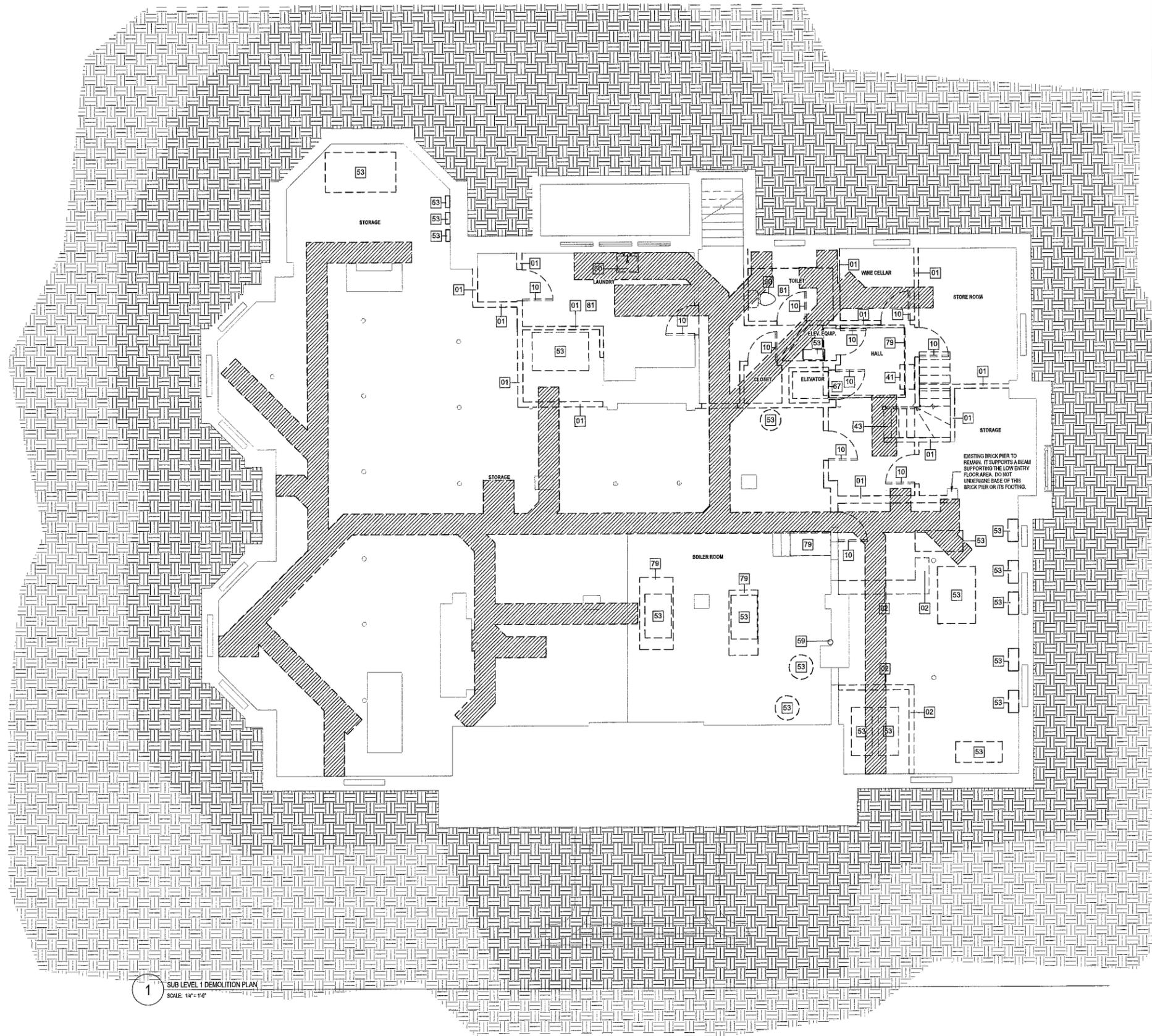
30 EXISTING EXTERIOR NORTH ELEVATION (CONT.)
 SCALE: 1/2" = 1'-0"



14 EXISTING EXTERIOR SOUTH ELEVATION
 SCALE: 1/2" = 1'-0"



10 EXISTING EXTERIOR EAST ELEVATION
 SCALE: 1/2" = 1'-0"



1 SUB LEVEL 1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- A. SCOPE OF WORK LINE GENERALLY INDICATES THE AREA OF GREATEST IMPACT DURING RENOVATIONS. EXISTING AREAS OUTSIDE THE SCOPE OF WORK LINE THAT ARE DISTURBED IN ORDER TO COMPLETE THIS AREA ARE CONSIDERED TO BE PART OF THE SCOPE OF WORK WHETHER INDICATED SPECIFICALLY OR NOT. CONTRACTOR SHALL ALLOW FOR REMOVAL AND REPLACEMENT OF EXISTING FINISHES OUTSIDE THE SCOPE OF WORK LINE IN ORDER TO COMPLETE THE WORK.
- B. SEE HOURS OF WORK REQUIREMENTS AND COORDINATE DEMOLITION ACTIVITIES ACCORDINGLY.
- C. REFER TO ALL OTHER CONSULTANT AND VENDOR DRAWINGS AND SPECIFICATIONS FOR EXTENT AND REQUIREMENTS OF REMOVAL/SALVAGE/RELOCATION OF STRUCTURAL, PLUMBING/FIRE PROTECTION, MECHANICAL AND ELECTRICAL ITEMS. COORDINATE WITH ALL ASSOCIATED TRADES.
- D. REFER TO DIV. 01 SECTION 'CUTTING AND PATCHING' FOR REQUIREMENTS RELATED TO CUTTING AND PATCHING DUE TO DEMOLITION ACTIVITIES.
- E. REFER TO DEMOLITION SPECIFICATION (DIVISION 01) FOR REQUIREMENTS RELATED TO DEMOLITION ACTIVITIES.
- F. DISPOSE OF ALL DEMOLITION ITEMS IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- G. REMOVE ALL ITEMS SHOWN AS DASHED LINES ON THE DEMOLITION DRAWINGS, INCLUDING ALL ASSOCIATED FITTINGS AND ACCESSORIES ASSOCIATED WITH ITEMS) BEING REMOVED.
- H. DEMOLITION KEYNOTES NOT SPECIFICALLY TAGGING AN INDIVIDUAL ITEM (NO LEADER ARROW), REFER TO ALL ITEMS WITHIN THE ROOM OR AREA IN WHICH THE NOTE IS LOCATED.
- I. WHERE A PARTITION IS SHOWN TO BE DEMOLISHED, CONTRACTOR TO REMOVE ALL WALL MOUNTED FIXTURES/FITTINGS/EQUIPMENT.
- J. FIRE RATINGS TO BE MAINTAINED AT ALL RATED ASSEMBLIES AT ALL TIMES.
- K. ALL WALLS TO BE DEMOLISHED SHOULD HAVE CEILING REMOVED DURING DEMO FOR SDE TO REVIEW AND CONFIRM THAT JOISTS DO NOT BEAR ON THEM AND THAT SUPPORT COLUMNS AND BEAMS ABOVE THEM ARE AS EXPECTED.
- L. RELOCATION OF ALL EQUIPMENT TO BE COORDINATED WITH OWNER.
- M. PROVIDE TEMPORARY SUPPORTS FOR PORTION OF DEMOLISHED WALLS TO REMAIN.
- N. WHERE A PARTITION IS SHOWN TO BE DEMOLISHED WITHIN A ROOM, CONTRACTOR TO ASSUME WALLS HAVE TILING.
- O. WHERE HARDWOOD FLOORING IS SHOWN TO BE DEMOLISHED, CONTRACTOR TO SALVAGE IN PREPARATION FOR NEW WORK.

SPECIFIC DEMOLITION NOTES

- 01 REMOVE PORTION OF PLASTER LATH PARTITION AS INDICATED.
- 02 REMOVE PORTION OF MASONRY PARTITION AS INDICATED.
- 10 REMOVE DOOR, FRAME, HARDWARE AND ALL ASSOCIATED FITTINGS/LIGHTS.
- 41 REMOVE COUCH, CABINETS, SHELVES AND ALL ASSOCIATED HARDWARE/FIXTURES/FITTINGS.
- 43 REMOVE STAIRS OR STAIRCASE AND ALL ASSOCIATED HARDWARE/FIXTURES/FITTINGS.
- 49 REMOVE SINK/TILE/BATH AND ALL ASSOCIATED FITTINGS (COORDINATE WITH PLUMBING DRAWINGS).
- 53 REMOVE MECHANICAL EQUIPMENT AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 59 REMOVE/DESCRIBE SPECIALTY MEP ITEM EX. FIN TUBE RADIATOR AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 67 REMOVE ELEVATOR CAB AND ALL ASSOCIATED HARDWARE/FITTINGS.
- 78 REMOVE PORTION OF CHIMNEY AS INDICATED (COORDINATE WITH MEP/FP STRUCTURAL DRAWINGS).
- 81 REMOVE PORTION OF FIREPLACE AS INDICATED (COORDINATE WITH MEP/FP STRUCTURAL DRAWINGS).



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Issuance Schedule

Number	Date	Description



ISSUED FOR PERMIT

Boston Children's Hospital
 132 Carlton Street
 Renovations
**BASEMENT DEMOLITION
 PLAN, GENERAL NOTES,
 SPECIFIC NOTES**

Scale: 1/4" = 1'-0" Date Issued: 01/04/16

A1.10

Project Number: 105.403.00

GENERAL DEMOLITION NOTES

- A. SCOPE OF WORK LINE GENERALLY INDICATES THE AREA OF GREATEST IMPACT DURING RENOVATIONS. EXISTING AREAS OUTSIDE THE SCOPE OF WORK LINE THAT ARE DISTURBED IN ORDER TO COMPLETE THE AREA ARE CONSIDERED TO BE PART OF THE SCOPE OF WORK WHETHER INDICATED SPECIFICALLY OR NOT. CONTRACTOR SHALL ALLOW FOR REMOVAL AND REPLACEMENT OF EXISTING FINISHES OUTSIDE THE SCOPE OF WORK LINE IN ORDER TO COMPLETE THE WORK.
- B. SEE HOURS OF WORK REQUIREMENTS AND COORDINATE DEMOLITION ACTIVITIES ACCORDINGLY.
- C. REFER TO ALL OTHER CONSULTANT AND VENDOR DRAWINGS AND SPECIFICATIONS FOR EXTENT AND REQUIREMENTS OF REMOVAL/SALVAGE/LOCATION OF STRUCTURAL, PLUMBING/FIRE PROTECTION, MECHANICAL AND ELECTRICAL ITEMS. COORDINATE WITH ALL ASSOCIATED TRADES.
- D. REFER TO DIV. 01 SECTION "CUTTING AND PATCHING" FOR REQUIREMENTS RELATED TO CUTTING AND PATCHING DUE TO DEMOLITION ACTIVITIES.
- E. REFER TO DEMOLITION SPECIFICATION (DIVISION 01) FOR REQUIREMENTS RELATED TO DEMOLITION ACTIVITIES.
- F. DISPOSE OF ALL DEMOLITION ITEMS IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- G. REMOVE ALL ITEMS SHOWN AS DASHED LINES ON THE DEMOLITION DRAWINGS, INCLUDING ALL ASSOCIATED FITTINGS AND ACCESSORIES ASSOCIATED WITH ITEMS BEING REMOVED.
- H. DEMOLITION KEYNOTES NOT SPECIFICALLY TAGGING AN INDIVIDUAL ITEM (NO LEADER ARROW) REFER TO ALL ITEMS WITHIN THE ROOM OR AREA IN WHICH THE NOTE IS LOCATED.
- I. WHERE A PARTITION IS SHOWN TO BE DEMOLISHED, CONTRACTOR TO REMOVE ALL WALL MOUNTED FIXTURES/FITTINGS/EQUIPMENT.
- J. FIRE RATINGS TO BE MAINTAINED AT ALL RATED ASSEMBLIES AT ALL TIMES.
- K. ALL WALLS TO BE DEMOLISHED SHOULD HAVE CEILING REMOVED DURING DEMO FOR SOLE TO REVIEW AND CONFIRM THAT JOISTS DO NOT BEAR ON THEM AND THAT SUPPORT COLUMNS AND BEAMS ABOVE THEM ARE AS EXPECTED.
- L. RELOCATION OF ALL EQUIPMENT TO BE COORDINATED WITH OWNER.
- M. PROVIDE TEMPORARY SUPPORTS FOR PORTION OF DEMOLISHED WALLS TO REMAIN.
- N. WHERE A PARTITION IS SHOWN TO BE DEMOLISHED WITHIN A ROOM, CONTRACTOR TO ASSUME WALLS HAVE TILING.
- O. WHERE HARDWOOD FLOORING IS SHOWN TO BE DEMOLISHED, CONTRACTOR TO SALVAGE IN PREPARATION FOR NEW WORK.

SPECIFIC DEMOLITION NOTES

- 01 REMOVE PORTION OF PLASTER LATH PARTITION AS INDICATED.
- 02 REMOVE PORTION OF MASONRY PARTITION AS INDICATED.
- 10 REMOVE DOOR, FRAME, HARDWARE AND ALL ASSOCIATED FITTINGS/LIGHTS.
- 13 REMOVE FRAME AND ALL ASSOCIATED FITTINGS/LIGHTS.
- 20 REMOVE FLOORING TO SUBFLOOR OR FLOORING SUITABLE SURFACE FOR INSTALLATION OF NEW FLOOR (COORDINATE WITH FINISH PLAN).
- 25 REMOVE RAISED PLATFORM TO SUBFLOOR OR FLOORING SUITABLE SURFACE FOR INSTALLATION OF NEW FLOOR (COORDINATE WITH FINISH PLAN).
- 26 REMOVE ALL TILE FROM FLOORING FOR INSTALLATION OF SUBFLOOR OR FLOORING SUITABLE SURFACE FOR SURFACE OF NEW FLOOR.
- 27 REMOVE FIREPLACE HEARTH EXTENSION TO SUBFLOOR OR FLOORING SUITABLE SURFACE FOR SURFACE OF NEW FLOOR.
- 30 REMOVE CEILING OFFTITS AND ALL ASSOCIATED FRAMING/FIXTURES/DEVICES/EQUIPMENT (COORDINATE WITH MEP/FP/STRUCTURAL).
- 35 REMOVE CEILING MOUNTED POT RACK, SUPPORT SYSTEM AND ALL ASSOCIATED ATTACHMENTS.
- 38 REMOVE CEILING FIXTURES / DEVICES, INCLUDING PLASTER LATH SHEATHING EXISTING FLOOR STRUCTURE TO REMAIN (COORDINATE WITH MEP/FP/STRUCTURAL).
- 40 REMOVE ALL INTERIOR ARCHITECTURAL BRICKWORK AND ALL ASSOCIATED HARDWARE/FIXTURES/FITTINGS.
- 41 REMOVE COUNTER, CABINETS, SHELVES AND ALL ASSOCIATED HARDWARE/FIXTURES/FITTINGS.
- 43 REMOVE STAIRS OR STAIRCASE AND ALL ASSOCIATED HARDWARE/FIXTURES/FITTINGS.
- 44 REMOVE FABRIC WALL PANELS IN COORDINATION WITH NEW WORK.
- 47 REMOVE DECORATIVE TRIM.
- 50 REMOVE SHOWER/BATH AND ALL ASSOCIATED FITTINGS (COORDINATE WITH PLUMBING DRAWINGS).
- 51 REMOVE FAN COIL UNIT AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 52 REMOVE FIN TUBE RADIATOR AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 53 REMOVE MECHANICAL COUPLER AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 54 REMOVE LIGHT FIXTURE AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 55 REMOVE DIFFUSER AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 56 REMOVE ELECTRICAL DEVICE AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 57 REMOVE TELEPHONE OUTLET AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 58 REMOVE THERMOSTAT AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 60 REMOVE WINDOW SHADES, DRAPERY AND ALL ASSOCIATED FITTINGS/FASCIA/CHANNELS/ATTACHMENTS.
- 61 REMOVE CURTAIN TRACKS AND ALL ASSOCIATED FITTINGS/ATTACHMENT/SUPPORTS.
- 64 REMOVE OVEN, COOKTOP, HOOD AND ALL ASSOCIATED HARDWARE/FITTINGS (COORDINATE WITH MEP/FP/STRUCTURAL DRAWINGS).
- 65 REMOVE DISHWASHER AND ALL ASSOCIATED HARDWARE/FITTINGS (COORDINATE WITH MEP/FP/STRUCTURAL DRAWINGS).
- 66 REMOVE REFRIGERATOR AND ALL ASSOCIATED HARDWARE/FITTINGS.
- 70 REMOVE PORTION OF STEEL ANGLE FRAMED AND STUCCO EXTERIOR WALL AS INDICATED (COORDINATE WITH MEP/FP/STRUCTURAL DRAWINGS), ROOF & 2ND FLOOR TO REMAIN; COORDINATE DEMOLITION WITH TEMPORARY SHORING.
- 73 REMOVE EXTERIOR DOOR, FLASHING, TRIM AND THRESHOLD DOWN TO STRUCTURE.
- 76 REMOVE REINFORCED CONCRETE SLAB AS INDICATED (COORDINATE WITH MEP/FP/STRUCTURAL DRAWINGS).
- 81 REMOVE PORTION OF FIREPLACE AS INDICATED (COORDINATE WITH MEP/FP/STRUCTURAL DRAWINGS).
- 83 REMOVE FABRIC WALL COVERING, COORDINATE WITH FINISH PLAN.
- 85 REMOVE STORM WINDOW, METAL GUARD RAILS AND ALL ASSOCIATED ASSEMBLIES.
- 86 REMOVE FENCE AND ALL ASSOCIATED HARDWARE/FITTINGS.
- 87 REMOVE EXTERIOR WINDOW, FLASHING, TRIM AND SILL DOWN TO STRUCTURE. COORDINATE WINDOW REMOVAL WITH SALVAGE OF GLAZING AND HARDWARE. SALVAGE PORTION OF IRON AND SILL AS PROFILE TEMPLATE FOR NEW TRIM.
- 88 REMOVE EXTERIOR OVER-HEAD GARAGE DOOR, FLASHING, TRIM AND ALL ASSOCIATED HARDWARE/FIXTURES/FITTINGS AND TRACK. SALVAGE PORTION OF TRIM AS PROFILE TEMPLATE FOR NEW TRIM.
- 90 REMOVE AND SALVAGE EXISTING DOORS, ACCESSORIES AND FITTINGS, STABILIZE FOR REHABILITATION TO COORDINATE WITH NEW SWING.
- 92 REMOVE AND SALVAGE EXISTING RAILING, COORDINATE WITH NEW WORK DETAILS.
- 93 REMOVE AND SALVAGE WOOD WALL PANEL, PANEL TO BE MOVED AND REINSTALLED AT DAMAGED PANEL IN KITCHEN.
- 95 REMOVE AND SALVAGE BENCH CUSHIONS TO BE USED AS TEMPLATE FOR NEW CUSHIONS.
- 97 REMOVE AND SALVAGE BARN DOOR AND ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE AND GLAZING, STABILIZE FOR RESTORATION AND COORDINATION WITH REINSTALLATION. SALVAGE PORTION OF TRIM AS PROFILE TEMPLATE FOR NEW TRIM.
- 100 REMOVE AND SALVAGE EXISTING WINDOW HARDWARE AND GLAZING, IN COORDINATION WITH NEW WINDOW ASSEMBLY AND INSTALLATION.
- 101 REMOVE AND SALVAGE EXISTING GUTTER DOWNSPOUT IN COORDINATION WITH REINSTALLATION.
- 103 REMOVE AND SALVAGE EXISTING WOOD TRIM AT HEAD OF WALL IN COORDINATION WITH REINSTALLATION.
- 104 REMOVE AND SALVAGE EXISTING GATE AND FRAME IN COORDINATION WITH REINSTALLATION.

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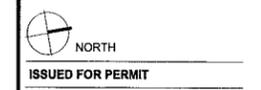
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Issuance Schedule

Number	Date	Description



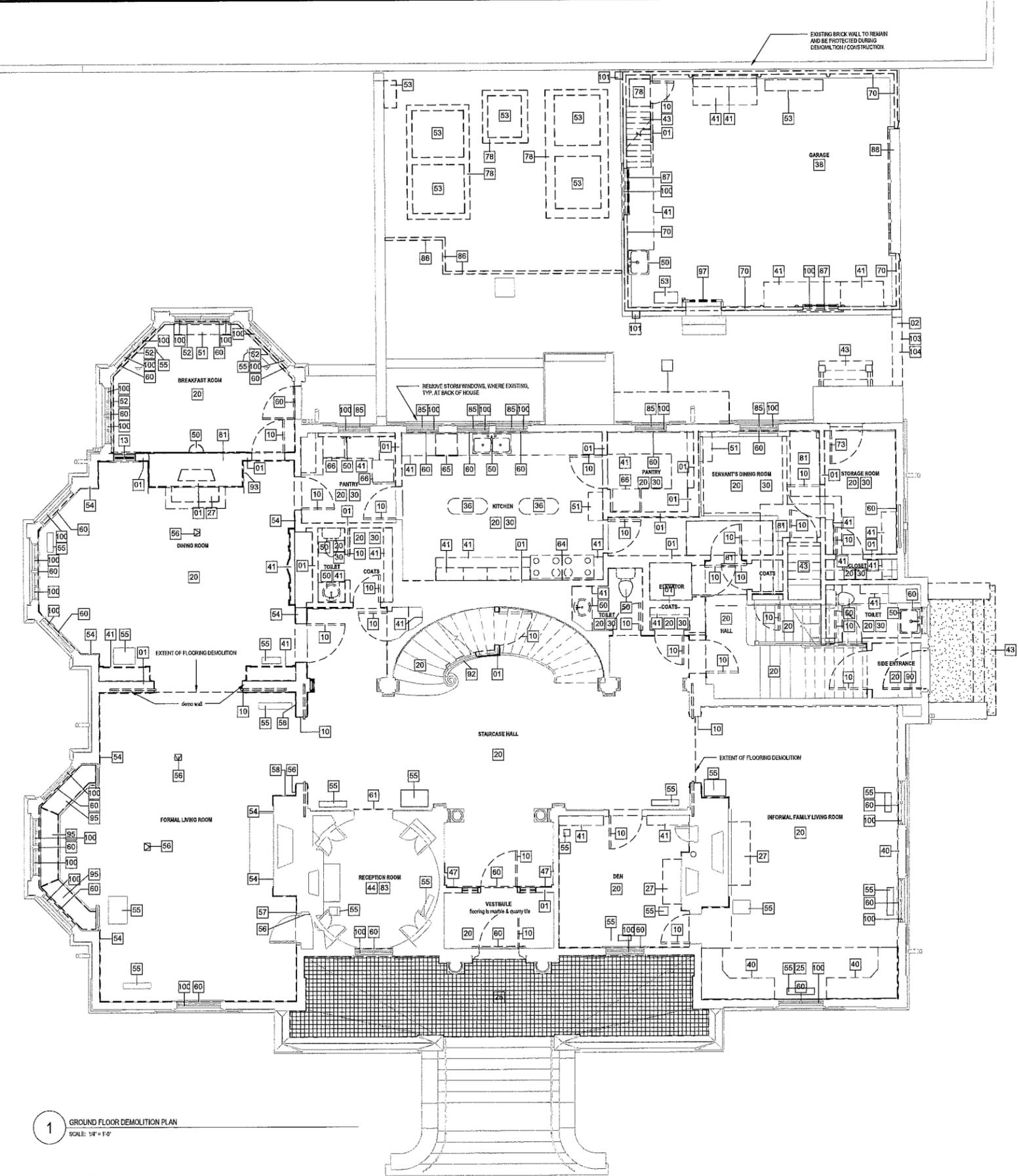
Boston Children's Hospital
 132 Carlton Street
 Renovations

GROUND FLOOR DEMOLITION PLAN

Scale: 1/4" = 1'-0" Date Issued: 01/04/16

A1.11

Project Number: 105.403.00



1 GROUND FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

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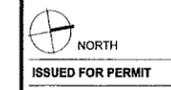
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Issuance Schedule

Number	Date	Description
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Boston Children's Hospital
 132 Carlton Street
 Renovations

SECOND FLOOR DEMOLITION PLAN

Scale: 1/4" = 1'-0" Date Issued: 01/04/16

A1.12

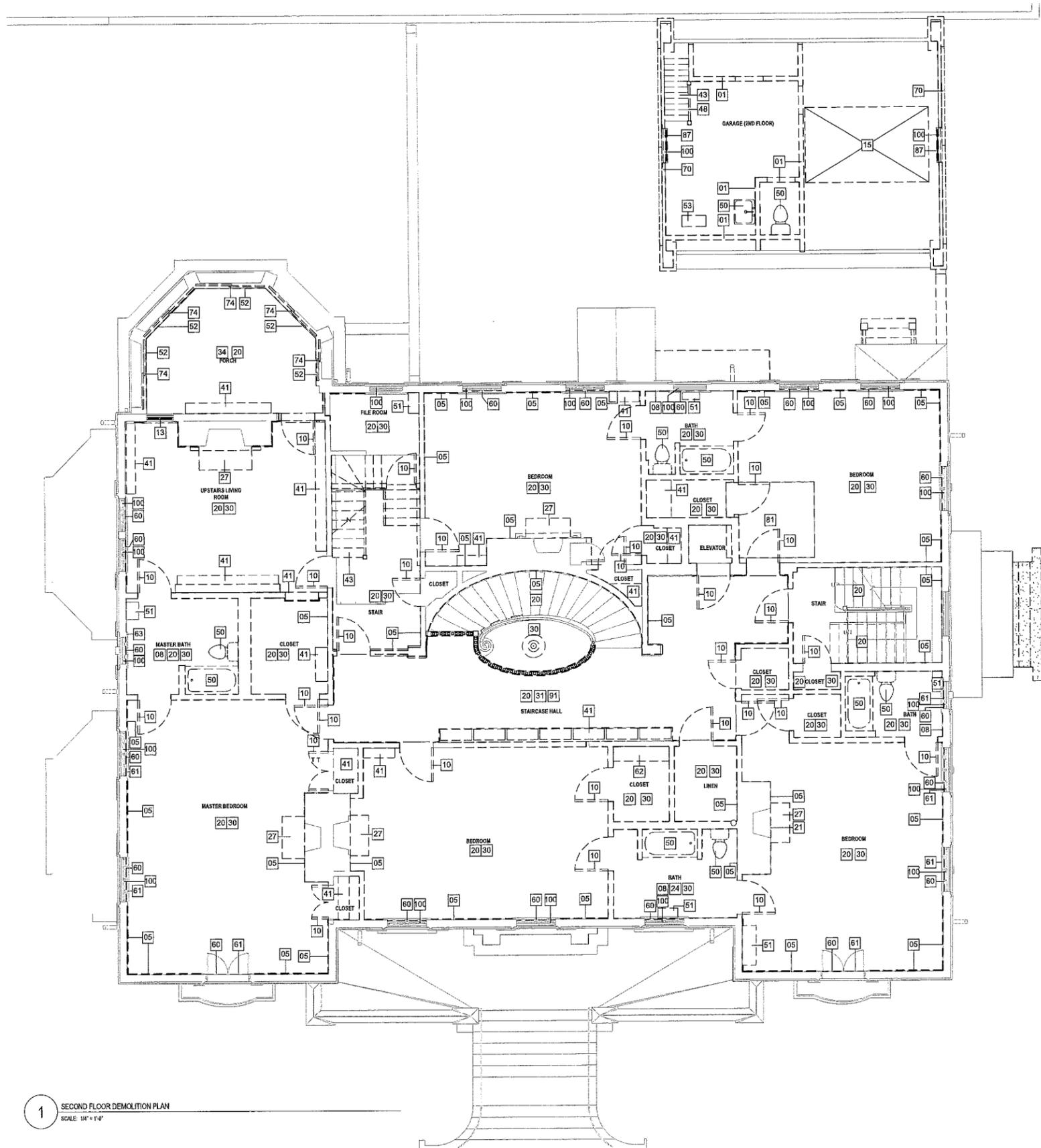
Project Number: 105.403.00

GENERAL DEMOLITION NOTES

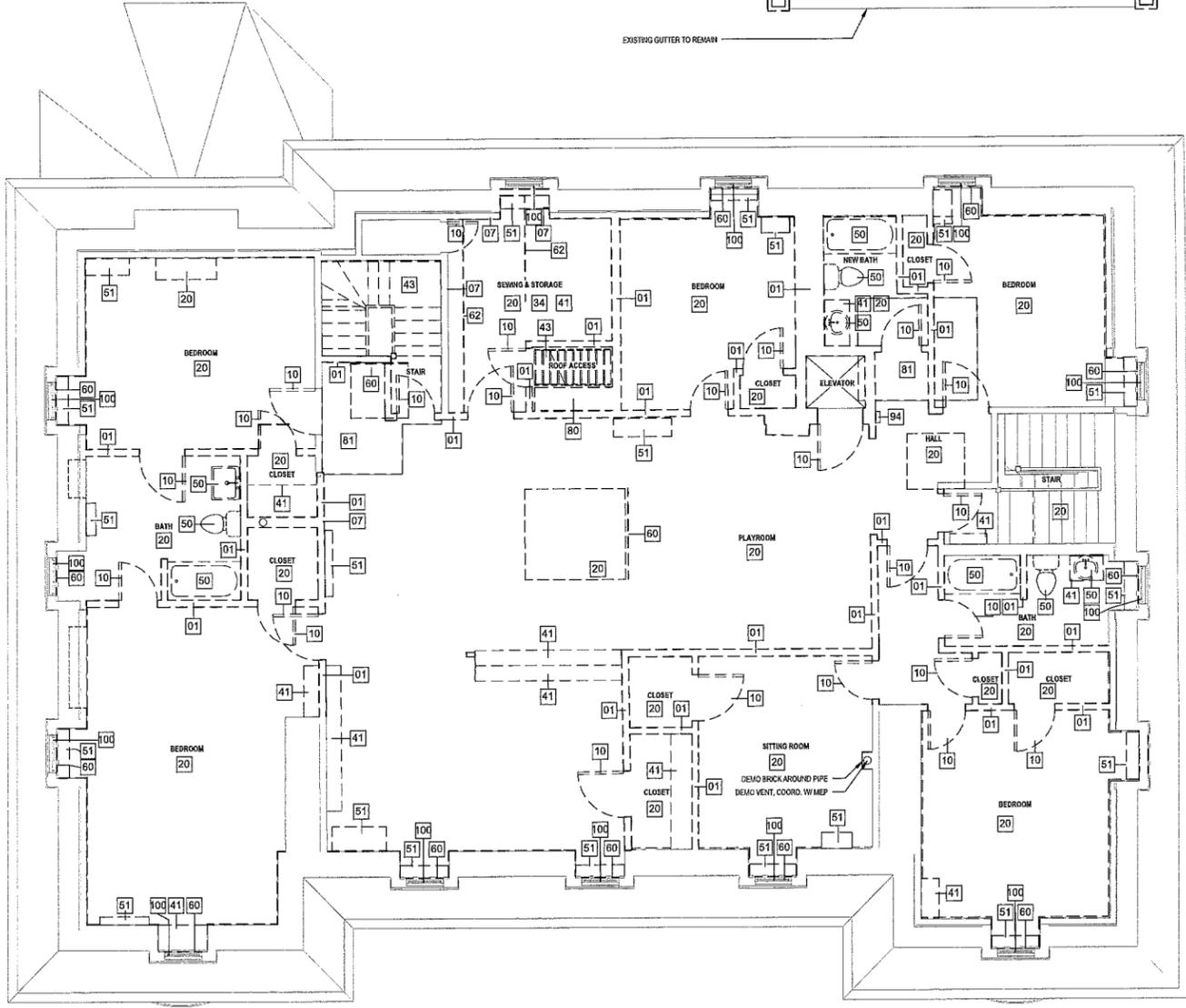
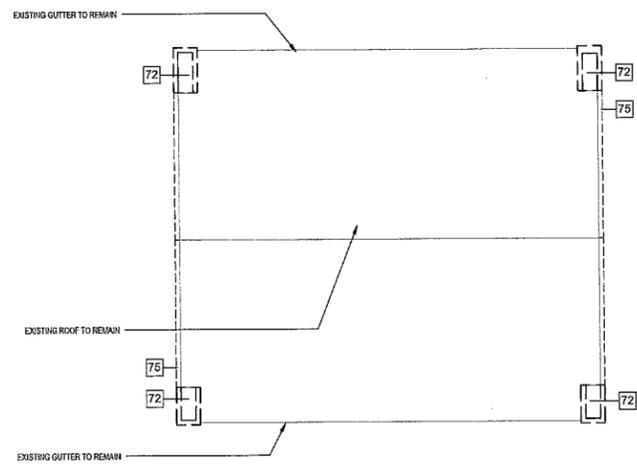
- A. SCOPE OF WORK LINE GENERALLY INDICATES THE AREA OF GREATEST IMPACT DURING RENOVATIONS. EXISTING AREAS OUTSIDE THE SCOPE OF WORK LINE THAT ARE DISTURBED IN ORDER TO COMPLETE THIS AREA ARE CONSIDERED TO BE PART OF THE SCOPE OF WORK UNLESS INDICATED SPECIFICALLY OTHERWISE. CONTRACTOR SHALL ALLOW FOR REMOVAL AND REPLACEMENT OF EXISTING FINISHES OUTSIDE THE SCOPE OF WORK LINE IN ORDER TO COMPLETE THE WORK.
- B. SEE HOURS OF WORK REQUIREMENTS AND COORDINATE DEMOLITION ACTIVITIES ACCORDINGLY.
- C. REFER TO ALL OTHER CONSULTANT AND VENDOR DRAWINGS AND SPECIFICATIONS FOR EXTENT AND REQUIREMENTS OF REMOVAL/SALVAGE/RELOCATION OF STRUCTURAL, PLUMBING/FIRE PROTECTION, MECHANICAL AND ELECTRICAL ITEMS. COORDINATE WITH ALL ASSOCIATED TRADES.
- D. REFER TO DIV. 01 SECTION "CUTTING AND PATCHING" FOR REQUIREMENTS RELATED TO CUTTING AND PATCHING DUE TO DEMOLITION ACTIVITIES.
- E. REFER TO DEMOLITION SPECIFICATION (DIVISION 01) FOR REQUIREMENTS RELATED TO DEMOLITION ACTIVITIES.
- F. DISPOSE OF ALL DEMOLITION ITEMS IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- G. REMOVE ALL ITEMS SHOWN AS DASHED LINES ON THE DEMOLITION DRAWINGS, INCLUDING ALL ASSOCIATED FITTINGS AND ACCESSORIES ASSOCIATED WITH ITEMS BEING REMOVED.
- H. DEMOLITION KEYNOTES NOT SPECIFICALLY TAGGING AN INDIVIDUAL ITEM (NO LEADER ARROW) REFER TO ALL ITEMS WITHIN THE ROOM OR AREA IN WHICH THE NOTE IS LOCATED.
- I. WHERE A PARTITION IS SHOWN TO BE DEMOLISHED, CONTRACTOR TO REMOVE ALL WALL MOUNTED PICTURES/FITTINGS/EQUIPMENT.
- J. FIRE RATINGS TO BE MAINTAINED AT ALL RATED ASSEMBLIES AT ALL TIMES.
- K. ALL WALLS TO BE DEMOLISHED SHOULD HAVE CEILING REMOVED DURING DEMO FOR SOE TO REVIEW AND CONFIRM THAT JOISTS DO NOT BEAR ON THEM AND THAT SUPPORT COLUMNS AND BEAMS ABOVE THEM ARE AS EXPECTED.
- L. RELOCATION OF ALL EQUIPMENT TO BE COORDINATED WITH OWNER.
- M. PROVIDE TEMPORARY SUPPORTS FOR PORTION OF DEMOLISHED WALLS TO REMAIN.
- N. WHERE A PARTITION IS SHOWN TO BE DEMOLISHED WITHIN A ROOM, CONTRACTOR TO ASSUME WALLS HAVE TILING.
- O. WHERE HARDWOOD FLOORING IS SHOWN TO BE DEKILISHED, CONTRACTOR TO SALVAGE IN PREPARATION FOR NEW WORK.

SPECIFIC DEMOLITION NOTES

- 01 REMOVE PORTION OF PLASTER LATH PARTITION AS INDICATED.
- 05 REMOVE LAYERS OF GYP/SUM BOARD AND/OR PLASTER LATH. EXISTING PARTITION FRAMING TO REMAIN.
- 06 REMOVE LAYERS OF TILE AND/OR GYPSUM BOARD AND/OR PLASTER LATH, EXISTING PARTITION FRAMING TO REMAIN.
- 10 REMOVE DOOR, FRAME, HARDWARE AND ALL ASSOCIATED FITTINGS/LIGHTS.
- 13 REMOVE FRAME AND ALL ASSOCIATED FITTINGS/LIGHTS.
- 15 REMOVE SLIDING TRAP DOOR, FRAME, HARDWARE AND ALL ASSOCIATED FITTINGS/LIGHTS.
- 20 REMOVE FLOORING TO SUBFLOOR OR FLOORING SUITABLE SURFACE FOR INSTALLATION OF NEW FLOOR (COORDINATE WITH FINISH PLAN).
- 21 REMOVE PORTION OF FLOORING TO SUBFLOOR OR FLOORING SUITABLE SURFACE FOR INSTALLATION OF NEW FLOOR (COORDINATE WITH FINISH PLAN).
- 24 REMOVE TERRAZZO FLOORING TO SUBFLOOR OR FLOORING SUITABLE SURFACE FOR SURFACE OF NEW FLOOR (COORDINATE WITH FINISH PLAN).
- 27 REMOVE FIREPLACE HEARTH EXTENSION TO SUBFLOOR OR FLOORING SUITABLE SURFACE FOR SURFACE OF NEW FLOOR.
- 30 REMOVE CEILING OFFSETS AND ALL ASSOCIATED FRAMING/FITTINGS/DEVICES/EQUIPMENT (COORDINATE WITH MEP/FP STRUCTURAL).
- 31 REMOVE PORTION OF CEILING OFFSETS AND ALL ASSOCIATED FRAMING/FITTINGS/DEVICES/EQUIPMENT IN COORDINATION WITH MEP/FP STRUCTURAL.
- 34 REMOVE WOOD CEILING AND ALL ASSOCIATED FRAMING/FITTINGS/DEVICES/EQUIPMENT (COORDINATE WITH MEP/FP STRUCTURAL).
- 41 REMOVE COUNTER, CABINETS, SHELVES AND ALL ASSOCIATED HARDWARE/FITTINGS.
- 43 REMOVE STAIRS OR STAIRCASE AND ALL ASSOCIATED HARDWARE/FITTINGS.
- 48 REMOVE STAIR GUARDRAIL.
- 50 REMOVE SINK/TOLET/BATH AND ALL ASSOCIATED FITTINGS (COORDINATE WITH PLUMBING DRAWINGS).
- 51 REMOVE FAN COIL UNIT AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 52 REMOVE FIN TUBE RADIATOR AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 53 REMOVE MECHANICAL EQUIPMENT AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 60 REMOVE WINDOW SHAKES, DRAPERY AND ALL ASSOCIATED FITTINGS/FASER/MACHINES/SATTACHMENTS.
- 61 REMOVE CURETAIN TRACKS AND ALL ASSOCIATED FITTINGS/TACKETS/SUPPORTS.
- 62 REMOVE CLOSET ROD AND ALL ASSOCIATED HARDWARE/FITTINGS.
- 63 REMOVE WALL MOUNTED MIRROR AND ALL ASSOCIATED HARDWARE/FITTINGS.
- 70 REMOVE PORTION OF STEEL ANGLE FRAMED AND STUCCO EXTERIOR WALL AS INDICATED (COORDINATE WITH MEP/FP STRUCTURAL DRAWINGS), ROOF & 2ND FLOOR TO REMAIN. COORDINATE DEMOLITION WITH TEMPORARY SHORING.
- 74 REMOVE ASPHALT SHINGLE ROOF, INCLUDING ALL LAYERS OF SHINGLES, FLASHING AND ASSOCIATED ASSEMBLIES.
- 81 REMOVE PORTION OF FIREPLACE AS INDICATED (COORDINATE WITH MEP/FP STRUCTURAL DRAWINGS).
- 87 REMOVE EXTERIOR WINDOW, FLASHING, TRIM AND SILL DOWN TO STRUCTURE. COORDINATE WINDOW REMOVAL WITH SALVAGE OF GLAZING AND HARDWARE. SALVAGE PORTION OF TRIM AND SILL AS PROFILE TEMPLATE FOR NEW TRIM.
- 91 REMOVE AND SALVAGE PORTION OF CEILING TRIM IN COORDINATION WITH NEW CEILING. STABILIZE FOR RESTORATION OR AS TEMPLATES FOR REPLACEMENT.
- 100 REMOVE AND SALVAGE EXISTING WINDOW HARDWARE AND GLAZING, IN COORDINATION WITH NEW WINDOW ASSEMBLY AND INSTALLATION.



1 SECOND FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



1 THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- A. SCOPE OF WORK LINE GENERALLY INDICATES THE AREA OF GREATEST IMPACT DURING RENOVATIONS. EXISTING AREAS OUTSIDE THE SCOPE OF WORK LINE THAT ARE DISTURBED IN ORDER TO COMPLETE THIS PROJECT ARE CONSIDERED TO BE PART OF THE SCOPE OF WORK UNLESS INDICATED SPECIFICALLY OTHERWISE. CONTRACTOR SHALL ALLOW FOR REMOVAL AND REPLACEMENT OF EXISTING FINISHES OUTSIDE THE SCOPE OF WORK LINE IN ORDER TO COMPLETE THE WORK.
- B. SEE HOURS OF WORK REQUIREMENTS AND COORDINATE DEMOLITION ACTIVITIES ACCORDINGLY.
- C. REFER TO ALL OTHER CONSULTANT AND VENDOR DRAWINGS AND SPECIFICATIONS FOR EXTENT AND REQUIREMENTS OF REMOVAL, LOCATION OF STRUCTURAL, PLUMBING/FIRE PROTECTION, MECHANICAL AND ELECTRICAL ITEMS. COORDINATE WITH ALL ASSOCIATED TRADES.
- D. REFER TO DIV. 01 SECTION "CUTTING AND PATCHING" FOR REQUIREMENTS RELATED TO CUTTING AND PATCHING DUE TO DEMOLITION ACTIVITIES.
- E. REFER TO DEMOLITION SPECIFICATION (DIVISION 01) FOR REQUIREMENTS RELATED TO DEMOLITION ACTIVITIES.
- F. DISPOSE OF ALL DEMOLITION ITEMS IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- G. REMOVE ALL ITEMS SHOWN AS DASHED LINES ON THE DEMOLITION DRAWINGS, INCLUDING ALL ASSOCIATED FITTINGS AND ACCESSORIES ASSOCIATED WITH ITEMS BEING REMOVED.
- H. DEMOLITION KEYNOTES NOT SPECIFICALLY TAGGING AN INDIVIDUAL ITEM (NO LEADER ARROW) REFER TO ALL ITEMS WITHIN THE ROOM OR AREA IN WHICH THE NOTE IS LOCATED.
- I. WHERE A PARTITION IS SHOWN TO BE DEMOLISHED, CONTRACTOR TO REMOVE ALL WALL MOUNTED FIXTURES/FITTINGS/EQUIPMENT.
- J. FIRE RATINGS TO BE MAINTAINED AT ALL RATED ASSEMBLIES AT ALL TIMES.
- K. ALL WALLS TO BE DEMOLISHED SHOULD HAVE CEILING REMOVED DURING DEMO FOR EDE TO REVIEW AND CONFIRM THAT JOISTS DO NOT BEAR ON THEM AND THAT SUPPORT COLUMNS AND BEAMS ABOVE THEM ARE AS EXPECTED.
- L. RELOCATION OF ALL EQUIPMENT TO BE COORDINATED WITH OWNER.
- M. PROVIDE TEMPORARY SUPPORTS FOR PORTION OF DEMOLISHED WALLS TO REMAIN.
- N. WHERE A PARTITION IS SHOWN TO BE DEMOLISHED WITH A ROOM, CONTRACTOR TO ASSURE WALLS HAVE TRIM.
- O. WHERE HARDWOOD FLOORING IS SHOWN TO BE DEMOLISHED, CONTRACTOR TO SALVAGE IN PREPARATION FOR NEW WORK.

SPECIFIC DEMOLITION NOTES

- 01 REMOVE PORTION OF PLASTER LATH PARTITION AS INDICATED.
- 07 REMOVE LAYERS OF WOOD PANELING AND/OR GYPSUM BOARD AND/OR PLASTER LATH, EXISTING PARTITION FRAMING TO REMAIN.
- 10 REMOVE DOOR, FRAME, HARDWARE AND ALL ASSOCIATED FITTINGS/LIGHTS.
- 20 REMOVE FLOORING TO SUBFLOOR OR FLOORING SUITABLE SURFACE FOR INSTALLATION OF NEW FLOOR (COORDINATE WITH FRESH PLUMB).
- 34 REMOVE WOOD CEILING AND ALL ASSOCIATED FRAMING/FIXTURES/DEVICES/EQUIPMENT (COORDINATE WITH MEP/STRUCTURAL).
- 41 REMOVE COUNTER, CABINETS, SHELVES AND ALL ASSOCIATED HARDWARE/FIXTURES/FITTINGS.
- 43 REMOVE STAIRS OR STAIRCASE AND ALL ASSOCIATED HARDWARE/FIXTURES/FITTINGS.
- 50 REMOVE SINK/TUB/BATH AND ALL ASSOCIATED FITTINGS (COORDINATE WITH PLUMBING DRAWINGS).
- 51 REMOVE FAN COIL UNIT AND ALL ASSOCIATED FITTINGS (COORDINATE WITH MEP DRAWINGS).
- 60 REMOVE WINDOW SHADES, DRAPERY AND ALL ASSOCIATED FITTINGS/FASTENERS/ATTACHMENTS.
- 62 REMOVE CLOSET ROD AND ALL ASSOCIATED HARDWARE/FITTINGS.
- 72 REMOVE PORTION OF STEEL ANGLE FRAMED AND STUCCO EXTERIOR WALL AS INDICATED, INCLUDING TRIM. SALVAGE PORTION OF TRIM AS PROFILE TEMPLATE FOR NEW TRIM.
- 75 REMOVE PORTION OF DECORATIVE ROOF TRIM IN COORDINATION WITH WALL REMOVAL. ROOF TO REMAIN. SALVAGE PORTION OF TRIM AS PROFILE TEMPLATE FOR NEW TRIM.
- 80 REMOVE PORTION OF RAISED FLOOR ASSEMBLY (COORDINATE WITH MEP/STRUCTURAL DRAWINGS).
- 81 REMOVE PORTION OF FIREPLACE AS INDICATED (COORDINATE WITH MEP/STRUCTURAL DRAWINGS).
- 84 REMOVE AND SALVAGE WALL MOUNTED TELEPHONE DEVICE AND ALL ASSOCIATED FITTINGS.
- 100 REMOVE AND SALVAGE EXISTING WINDOW HARDWARE AND GLAZING, IN COORDINATION WITH NEW WINDOW ASSEMBLY AND INSTALLATION.



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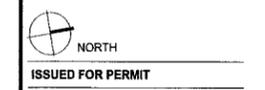
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Issuance Schedule

Number	Date	Description



Boston Children's Hospital
132 Carlton Street
Renovations

THIRD FLOOR DEMOLITION PLAN

Scale: 1/4" = 1'-0" Date Issued: 01/04/16

A1.13

Project Number: 105.403.00

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Issuance Schedule

Number	Date	Description

ISSUED FOR PERMIT

Boston Children's Hospital
132 Carlton Street
Renovations

FLOOR PLANS GENERAL
NOTES, KEYS, LEGENDS

Scale: As Indicated Date Issued: 01/04/16

A2.00

Project Number: 105.403.00

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED PER APPLICABLE CODES, ORDINANCES AND PER REQUIREMENTS OF ALL APPLICABLE REGULATORY AGENCIES AND AUTHORITIES WITHIN JURISDICTION.
- ALTERATIONS/RENOVATIONS ON THIS AND OTHER FLOORS NOT SPECIFICALLY CALLED OUT AS RENOVATION AREAS ARE TO BE DONE AS NECESSARY TO COMPLETE WORK SHOWN ON THE CONTRACT DOCUMENTS. REFER TO ARCHITECT CONSULTANT AND VENDOR DRAWINGS TO IDENTIFY THE SCOPE OF WORK IN AREAS IDENTIFIED OUTSIDE THE ARCHITECTURAL DOCUMENTS. THE G.C. SHALL BE RESPONSIBLE FOR THE REMOVAL AND RESTORATION OF ALL EXISTING FINISHES DISTURBED BY THE WORK, WHERE TEMPORARY U.P.F. CONNECTIONS ARE REQUIRED, ALL FINISHES SHALL BE RESTORED IMMEDIATELY TO MAINTAIN OPERATION OF THE FACILITY, EVEN IF THE WORK WILL REQUIRE TO BE REMOVED AGAIN DURING THE PROJECT.
- ALL OPENINGS IN EXISTING FLOORS AND WALLS ABOVE AND BELOW THE CEILING PLENUM, BOTH EXISTING AND AS A RESULT OF DEMOLITION ACTIVITIES SHALL BE PATCHED TO COMPLETE AND FINISH EXISTING WALLS AND FLOORS CONSISTENT WITH VENDOR. ALL PATCHES SHALL BE MADE WITH MATERIALS CONSISTENT WITH THE WALL IN WHICH THE PATCH WILL BE LOCATED.
- THE G.C. SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE CLIENT AND/OR CLIENTS AUTHORIZED REPRESENTATIVE PROJECT MANAGER. WORK SCHEDULED IN OCCUPIED AREAS SHALL BE UNDERTAKEN IN A MANNER SO AS NOT TO DISTURB THE OPERATION OF THE FACILITY.
- WHERE A NEW SERVICE PENETRATES AN EXISTING WALL WHICH EXTENDS TO THE UNDERSIDE OF THE STRUCTURE, THE G.C. WILL BE RESPONSIBLE FOR PATCHING AND FIRE SAFING THE WALL AND FOR PROVIDING THE REQUIRED FIRE RATING AND FINISH.
- PROVIDE BLOCKING IN WALLS AS INDICATED ON DRAWINGS FOR ALL WALL MOUNTED ITEMS, INCLUDING ITEMS FINISHED BY OWNER.
- ITEMS IDENTIFIED AS NOT IN CONTRACT (N/C) ARE TO BE PURCHASED AND INSTALLED BY THE OWNER. THE G.C. SHALL COORDINATE INSTALLATION OF ALL ITEMS WITH THE OWNER.
- PROVIDE ALL HEADERS, LINTELS AND SUPPORTS FOR ALL WALLS AND PARTS OF WALLS SHOWN TO BE REMOVED. ALL NEW HEADERS SHALL BE IN CONFORMANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, BY REFERENCE. THE G.C. IS RESPONSIBLE FOR IDENTIFYING ANY STRUCTURAL BEARING CONDITIONS THAT BECOME APPARENT DURING DEMOLITION. ANY FOUND STRUCTURAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO REMOVAL OF STRUCTURAL MEMBERS.
- IT IS THE INTENT OF THIS DOCUMENT THAT ALL NEW WORKING, PIPING, FIXTURES, FITTINGS AND DEVICES BE RECESSED INTO EXISTING WALLS. THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, REPAIRING, ETC. AS REQUIRED TO RECESS ITEMS IDENTIFIED ABOVE.
- WHERE WALL MOUNTED ITEMS HAVE BEEN REMOVED, PATCH AND REPAIR EXISTING WALL.

PARTITION NOTES

- ALL WALL PARTITIONS TO BE TYPE "B" UNLESS OTHERWISE NOTED.
- WHERE NEW WALL IS NOT DIMENSIONED LAYOUT TO ASSURE NEW WALL IS ADJACENT WITH ADJACENT WALL.
- ALL PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF THE EXISTING DECK AND TO BE SEALED ON BOTH SIDES.
- ALL PENETRATIONS IN SMOKE AND FIRE RATED PARTITIONS ABOVE CEILING TO BE FIRE STOPPED.
- ALL PENETRATIONS IN NON RATED PARTITIONS ABOVE CEILING TO BE SEALED.

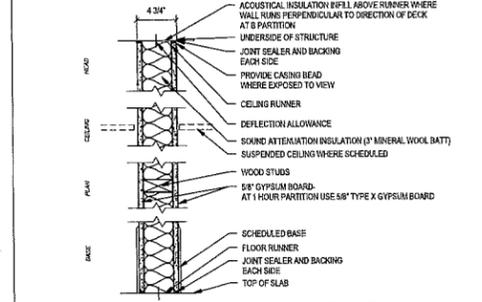
ACOUSTIC NOTES

- PIPING AND CONDUIT ASSOCIATED WITH THE ELEVATOR MACHINE EQUIPMENT SHOULD BE SUPPORTED BY THE FLOOR OR WALLS, NOT THE CEILING. THE PIPING PENETRATING THE ELEVATOR SHAFT WALL SHOULD HAVE A 1/2" GAP BETWEEN THE PIPING AND GYPSUM FRAMING, TO BE SEALED WITH NON-HARDENING CAULKING.
- RESILIENT HANGING GYPSUM CEILING TO PROVIDE GOOD CONTROL OF AIRBORNE SOUND TO THE SPACES ABOVE. WE RECOMMEND PIPING AND CONDUIT ASSOCIATED WITH ROTATING OR RECIPROCATING EQUIPMENT BE FLOOR SUPPORTED (STANCHIONS, WALL SUPPORTS, ETC.)
- WALL CAVITIES TO INCLUDE BATT INSULATION.
- KINETICS "ISO-MAX" ISOLATORS AND 7/8" FIBRING CHANNEL BE ATTACHED TO THE SHAFT WALL, WITH IN-GAP BATT INSULATION AND TWO LAYERS 5/8" GYPSUM FACING THE SLEEPING ROOMS TO PROVIDE GOOD CONTROL OF SOUND/VIBRATION TRANSMISSION DURING ELEVATOR OPERATION.
- WALL CAVITIES TO INCLUDE BATT INSULATION.
- DOOR GASKETS (AIRBORNE PARTITION) GASKETS & DOOR BOTTOM SEAL TO PROVIDE MODERATE SOUND ISOLATION BETWEEN SLEEPING ROOMS AND COMMON AREAS.

ACCESSORY KEY

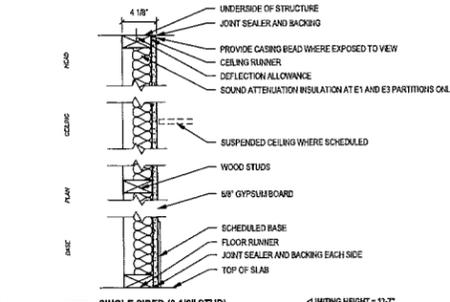
- CR CRASH RAIL
- WINDOW TREATMENT - TYPICAL
- ADA GRAB BAR
- FLOOR INFILL
- FLOOR DRAINS
- FIREPLACE INSULATION
- ELEVATOR CALL BUTTON
- FIRE EXTINGUISHER CABINET

40 PLAN DETAIL
DOOR FRAME LOCATION
SCALE: 3/4" = 1'-0"



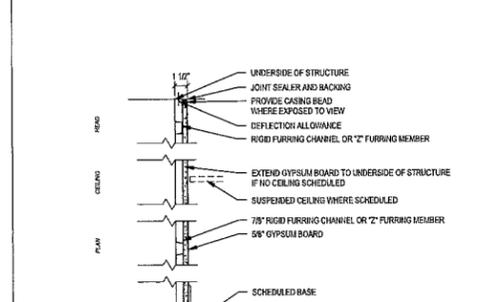
- B** 4 7/8" (3 5/8" STUD)
 - <LIMITING HEIGHT = 15'-0" BASED ON DETRICH PROSTUD COMPOSITE 19 MIL, 9/16", 1/2", 11/16" O.C.>
- B1** 4 7/8" (3 5/8" STUD)
 - <LIMITING HEIGHT = 15'-0" BASED ON DETRICH PROSTUD COMPOSITE 19 MIL, 9/16", 1/2", 11/16" O.C.>

41 SECTION DETAIL
TYPICAL PARTITION AT BASE DETAIL
SCALE: 3/4" = 1'-0"



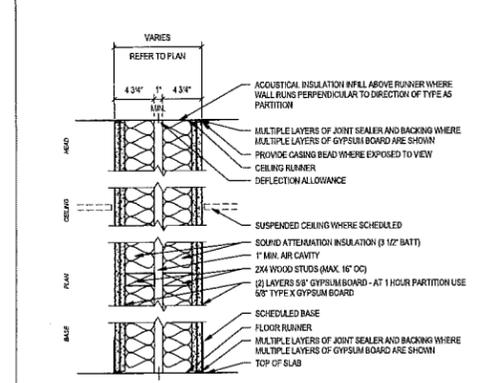
- E** SINGLE SIDED (3 1/2" STUD)
 - NO FIRE RESISTANCE RATING
 - NO ACOUSTICAL RATING
 - <LIMITING HEIGHT = 13'-0" BASED ON DETRICH PROSTUD NON-COMPOSITE 19 MIL, 9/16", 1/2", 11/16" O.C.>
- E1** SINGLE SIDED (3 1/2" STUD)
 - NO FIRE RESISTANCE RATING
 - NO ACOUSTICAL RATING
 - <LIMITING HEIGHT = 13'-0" BASED ON DETRICH PROSTUD NON-COMPOSITE 19 MIL, 9/16", 1/2", 11/16" O.C.>
- E2** SINGLE SIDED (6" STUD)
 - NO FIRE RESISTANCE RATING
 - NO ACOUSTICAL RATING
 - <LIMITING HEIGHT = 20'-0" BASED ON DETRICH PROSTUD NON-COMPOSITE 19 MIL, 9/16", 1/2", 11/16" O.C.>
- E3** SINGLE SIDED (6" STUD)
 - NO FIRE RESISTANCE RATING
 - NO ACOUSTICAL RATING
 - <LIMITING HEIGHT = 20'-0" BASED ON DETRICH PROSTUD NON-COMPOSITE 19 MIL, 9/16", 1/2", 11/16" O.C.>

42 SECTION DETAIL
TYPICAL GYPSUM BOARD PARTITION / ADJACENT MATERIAL
SCALE: 3/4" = 1'-0"



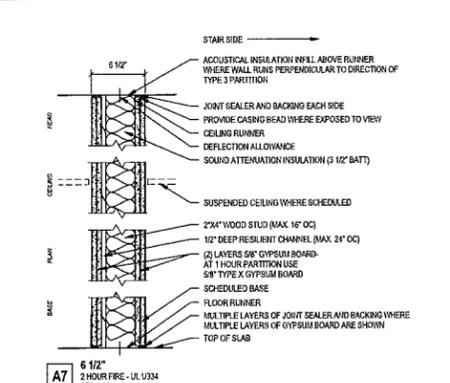
- F** 1 1/2" FURRED WALL 7/8" RIGID FURRING CHANNEL
 - NO FIRE RESISTANCE RATING
 - NO ACOUSTICAL RATING

30 SECTION DETAIL
PARTITION TYPE B, B1
SCALE: 1 1/2" = 1'-0"



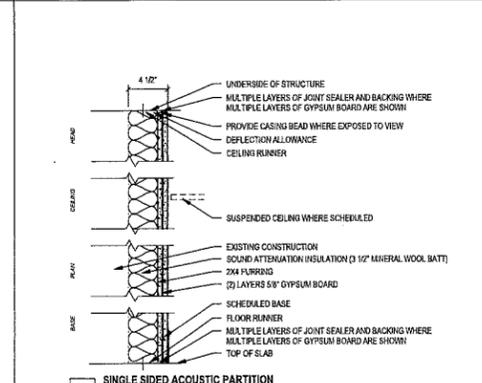
- A6** ACOUSTIC WALL
 - 2x4 FRAMING - GA WP-350
 - STC = 60

31 SECTION DETAIL
PARTITION TYPE E, E1, E2 & E3
SCALE: 1 1/2" = 1'-0"



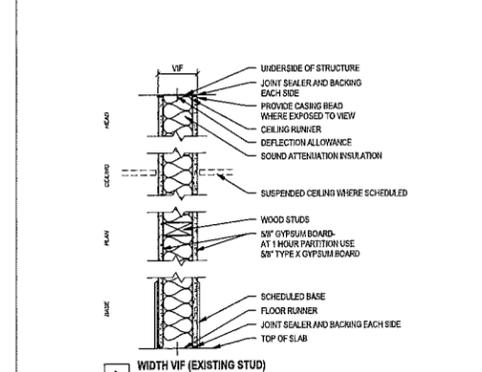
- A7** 6 1/2" 2 HOUR FIRE - UL U334
 - STC = 58

32 SECTION DETAIL
PARTITION TYPE F
SCALE: 1 1/2" = 1'-0"



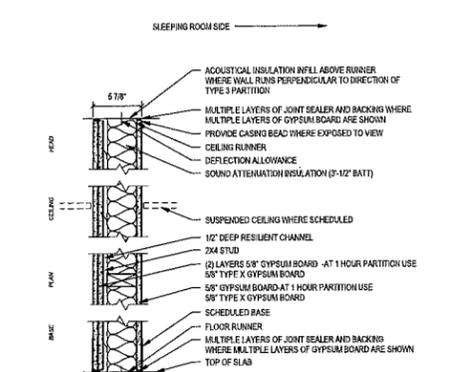
- A8** SINGLE SIDED ACOUSTIC PARTITION
 - NO FIRE RESISTANCE RATING
 - NO ACOUSTICAL RATING

20 SECTION DETAIL
PARTITION TYPE A6
SCALE: 1 1/2" = 1'-0"



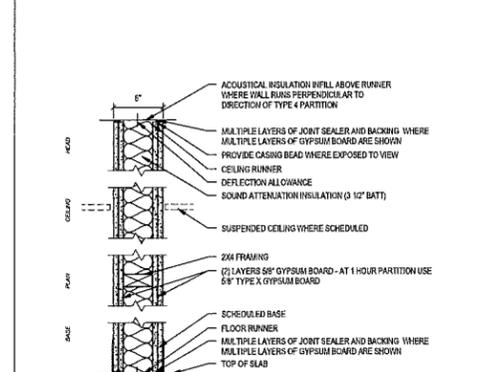
- A** WIDTH W/F (EXISTING STUD)
 - NO FIRE RESISTANCE RATING W/F
 - STC = 41
 - <LIMITING HEIGHT = 15'-0" BASED ON DETRICH PROSTUD COMPOSITE 19 MIL, 9/16", 1/2", 11/16" O.C.>

21 SECTION DETAIL
PARTITION TYPE A7
SCALE: 1 1/2" = 1'-0"



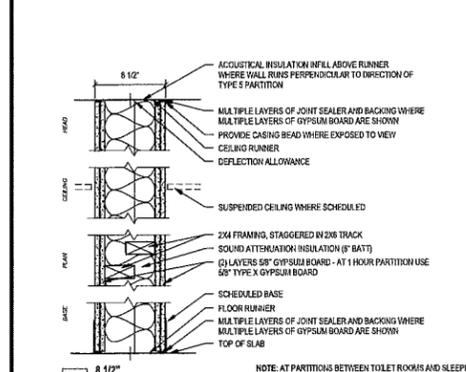
- A3** 5 1/2"
 - NO FIRE RESISTANCE RATING
 - STC = 48
 - <LIMITING HEIGHT = 15'-0" BASED ON DETRICH PROSTUD COMPOSITE 19 MIL, 9/16", 1/2", 11/16" O.C.>

22 SECTION DETAIL
PARTITION TYPE A8
SCALE: 1 1/2" = 1'-0"



- A4** 6 1/8"
 - 2x4 FRAMING - UL 263
 - STC = 43
 - <LIMITING HEIGHT = 15'-0" BASED ON DETRICH PROSTUD COMPOSITE 19 MIL, 9/16", 1/2", 11/16" O.C.>

23 SECTION DETAIL
PARTITION TYPE A9
SCALE: 1 1/2" = 1'-0"



- A5** 8 1/2"
 - NO FIRE RESISTANCE RATING
 - STC = 85
- NOTE: AT PARTITIONS BETWEEN TOILET ROOMS AND SLEEPING ROOMS, PIPING SERVING THE TOILET ROOMS SHALL BE ATTACHED TO FRAMING ON THE TOILET ROOM SIDE.
- RECESSED OUTLETS SHOULD BE OFFSET A MINIMUM OF (3) FRAMING ROWS, OR INCLUDE SOUND ATTENUATION BACKING MATERIAL.

13 SECTION DETAIL
PARTITION TYPE A5
SCALE: 1 1/2" = 1'-0"



12 SECTION DETAIL
PARTITION TYPE A4
SCALE: 1 1/2" = 1'-0"



11 SECTION DETAIL
PARTITION TYPE A3
SCALE: 1 1/2" = 1'-0"



10 SECTION DETAIL
PARTITION TYPE A, A1, A2, A3
SCALE: 1 1/2" = 1'-0"



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Issuance Schedule

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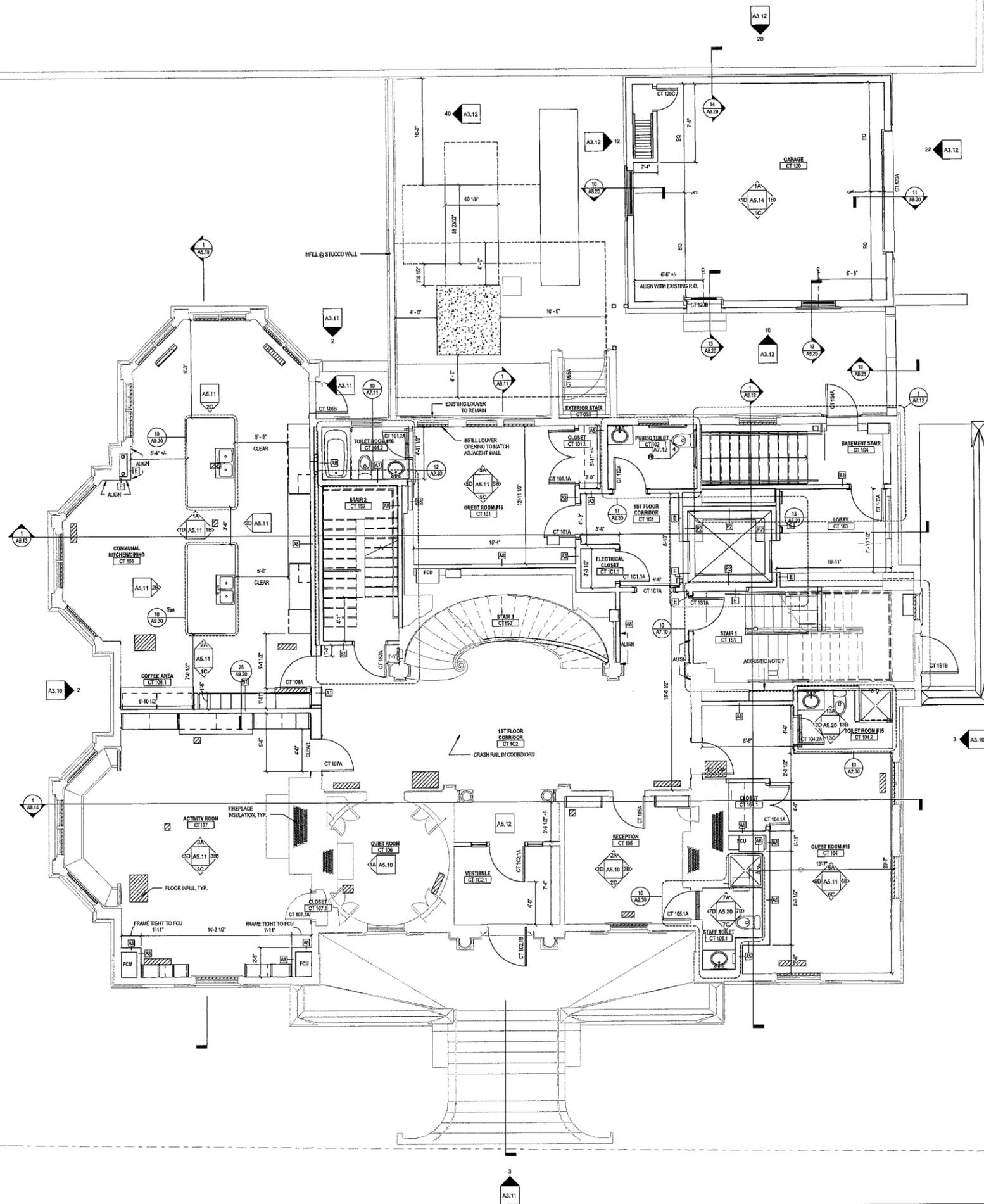
Boston Children's Hospital
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 Renovations

GROUND FLOOR PLAN

Scale: 1/4" = 1'-0" Date Issued: 6/10/16

A2.11

Project Number: 105.403.00



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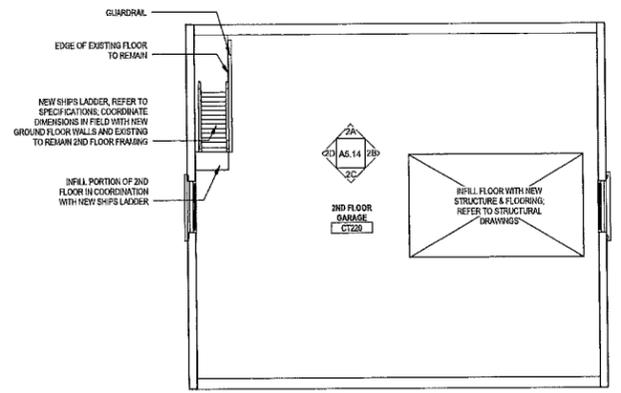
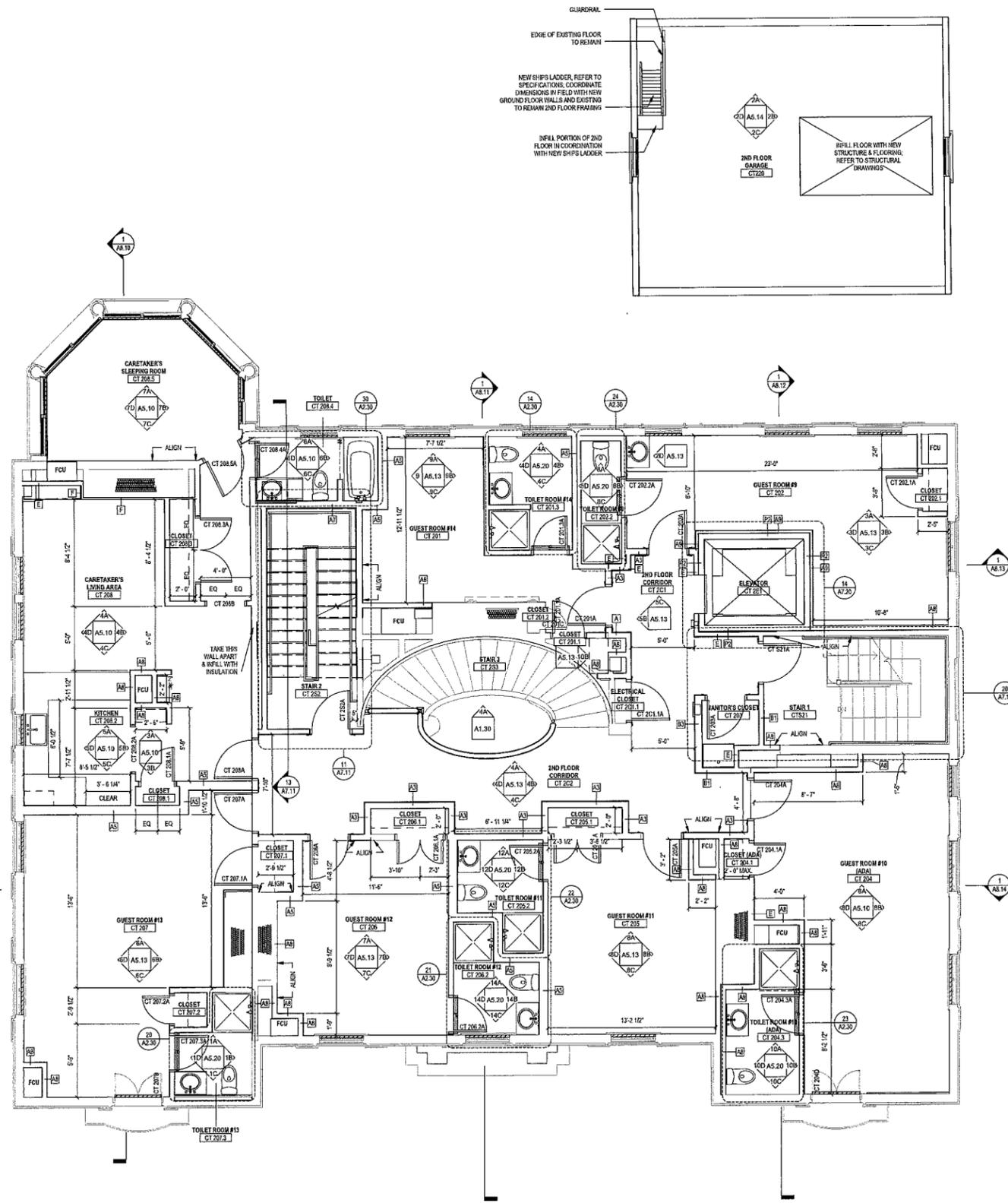
Boston Children's Hospital
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SECOND FLOOR PLAN

Scale: 1/4" = 1'-0" Date Issued: 01/04/16

A2.12

Project Number: 105.403.00



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31	AS 20	



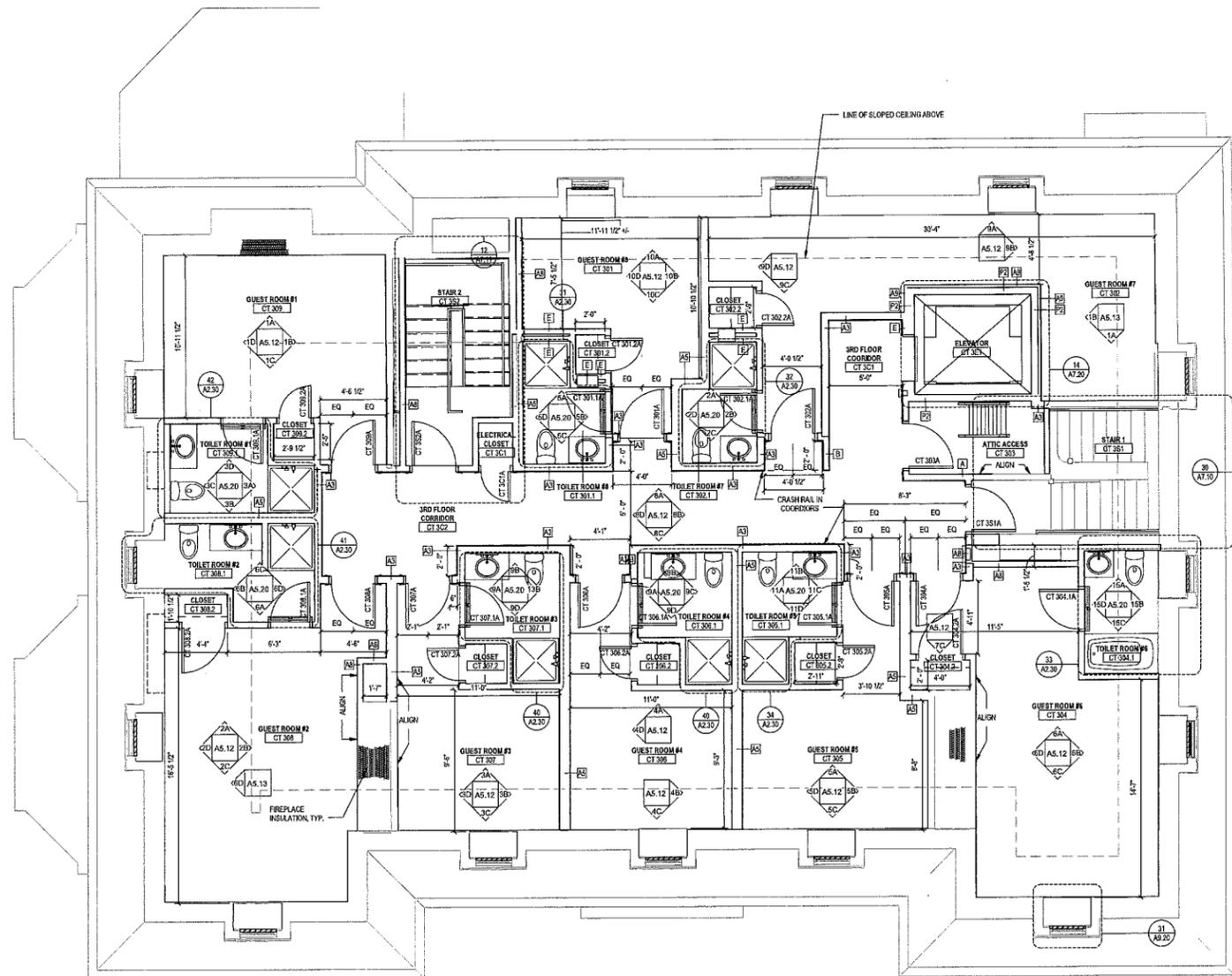
Boston Children's Hospital
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THIRD FLOOR PLAN

Scale: 1/4" = 1'-0" Date Issued: 01/04/16

A2.13

Project Number: 105.403.00



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Issuance Schedule

Number	Date	Description

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Boston Children's Hospital
 132 Carlton Street
 Renovations

**NORTH, SOUTH & GARAGE
 EXTERIOR ELEVATIONS**

Scale: 3/16" = 1'-0" Date Issued: 01/04/16

A3.10

Project Number: 105.403.00



3 EXTERIOR ELEVATION
 NEW NORTH
 SCALE: 3/16" = 1'-0"



2 NEW SOUTH
 SCALE: 3/16" = 1'-0"

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Issuance Schedule

Number	Date	Description
1		PARTIAL
2		WEST
3		EXTERIOR ELEVATION EAST

ISSUED FOR PERMIT

Boston Children's Hospital
 132 Carlton Street
 Renovations

**WEST, PARTIAL & EAST
 EXTERIOR ELEVATIONS**

Scale: 3/16" = 1'-0" Date Issued: 01/04/16

A3.11

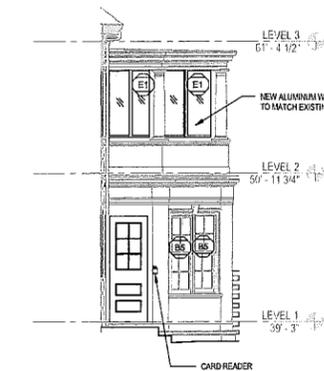
Project Number: 105.403.00



3 EXTERIOR ELEVATION EAST
 SCALE: 3/16" = 1'-0"



2 WEST
 SCALE: 3/16" = 1'-0"



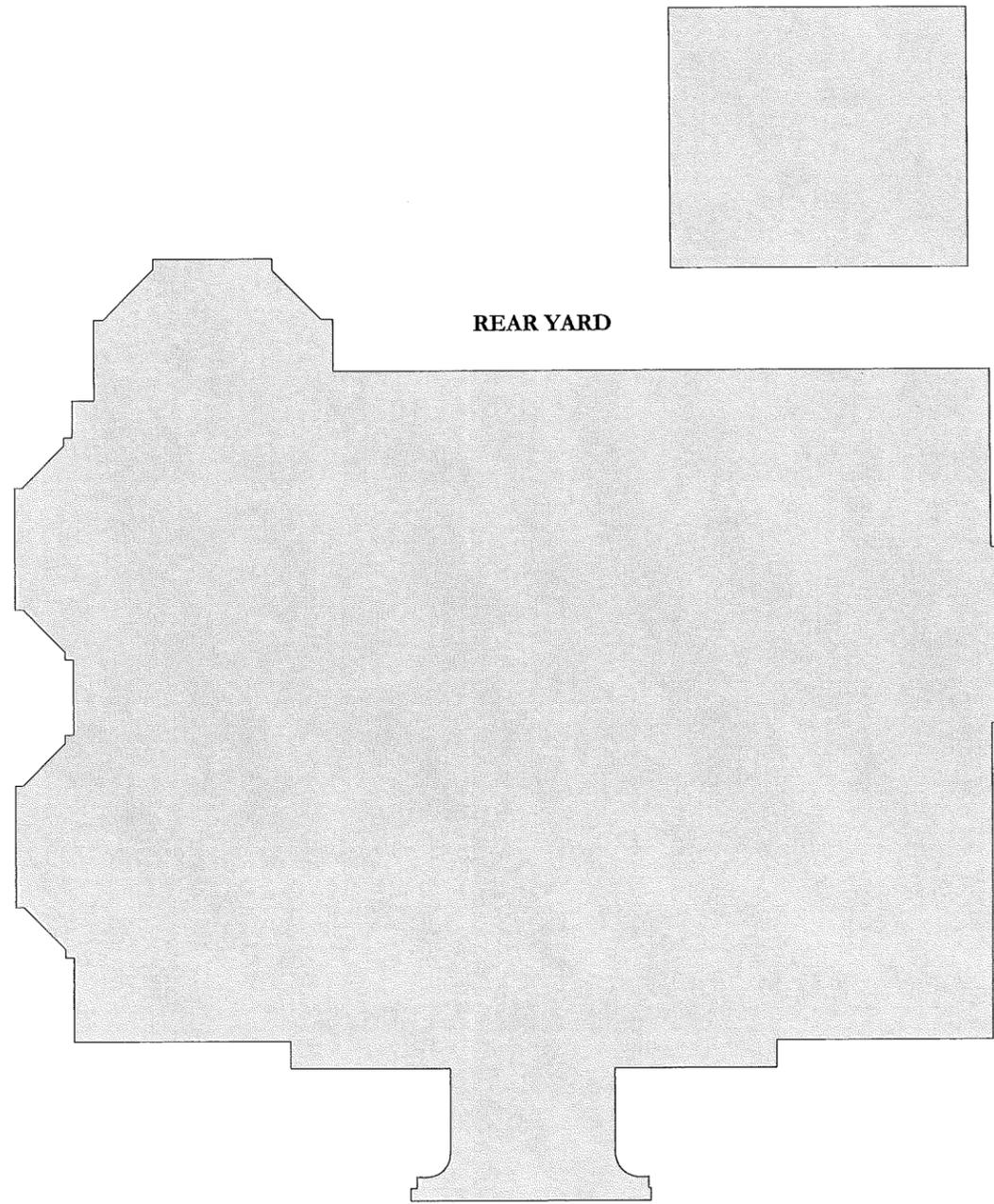
1 PARTIAL
 SCALE: 3/16" = 1'-0"





LOCUS PLAN

EUSTON STREET



REAR YARD

PRIVATE WAY

CARLTON STREET

132 Carlton Street

- Located in the Cottage Farm Historic District in Brookline, MA
- Proposing to convert a single family residence to a lodging house, consisting of 16 sleeping units and 1 accessory 1-bedroom caretaker unit with independent cooking facility, used by families of inpatient children being cared for at Boston Children's Hospital

Exterior Improvements

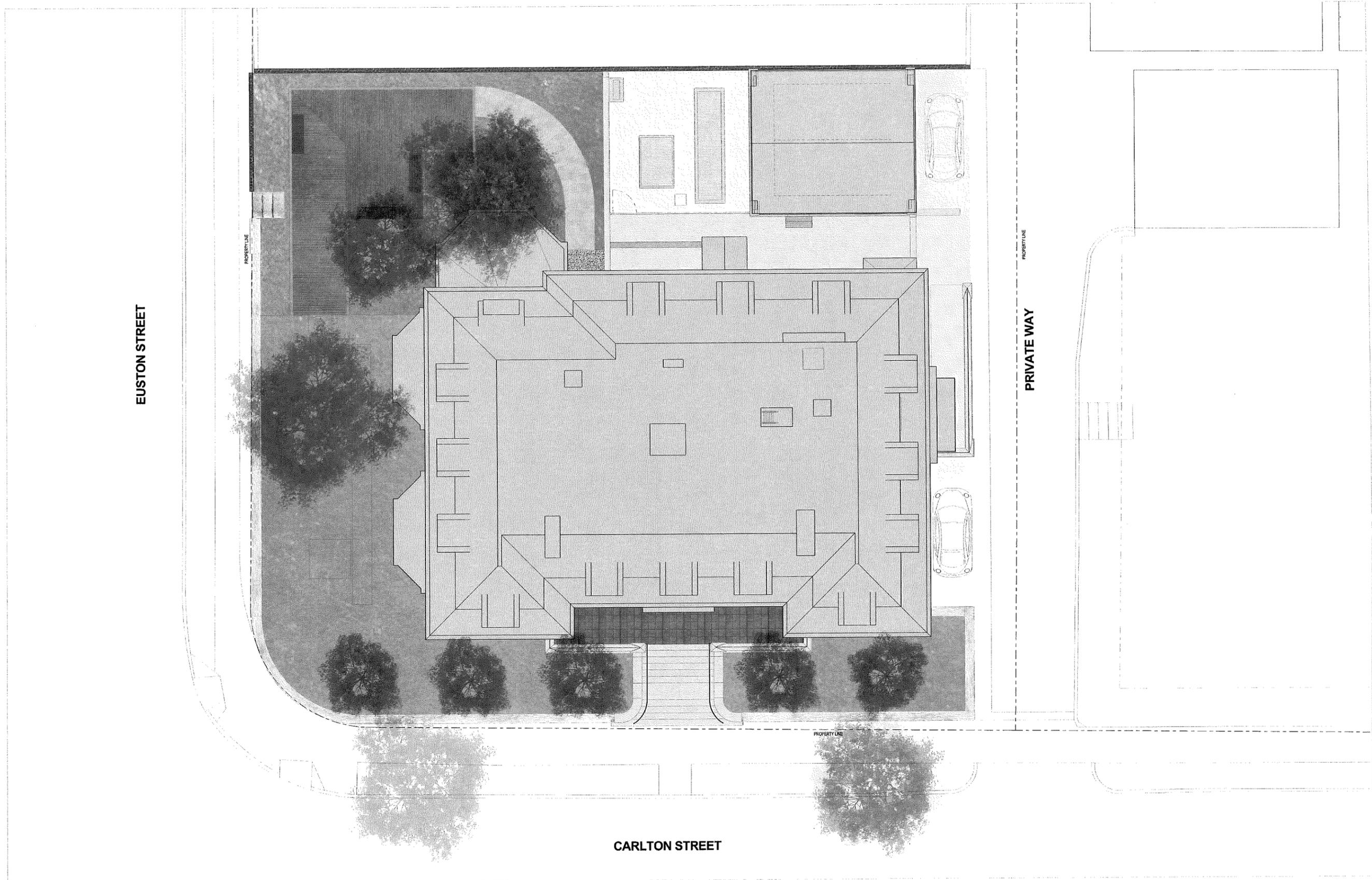
- Minor re-grading to be coordinated with final site layout
- Rebuild garage & wall with archway; New parking spaces and wood fence around mechanical area
- New landscaping to be installed and planted during the appropriate season
- The front door is primarily ceremonial and the side door is intended to be the main ingress/egress door
- New ADA compliant entrance with low stucco wall to match main entrance
- 4" Fire Department connection at corner of Carlton Street and Euston Street
- Rehabilitate wood shutters, like for like
- Rehabilitate gutters, like for like
- Rehabilitate all wood trim at openings, like for like
- New aluminum vent for elevator (visible only from Private Way)
- New elevator penetrates through roof, cladding to match existing roof (visible from Private Way and Euston Street)
- Remove existing aluminum windows; replace like for like
- Remove existing wood deck and stair; Install new door with transom (visible only from Private Way)

Interior Improvements

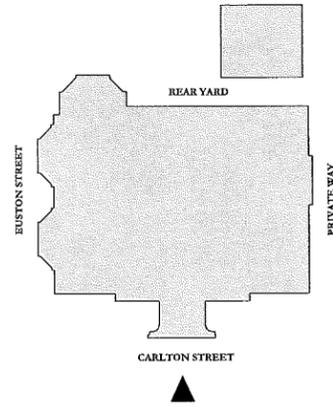
- Upgrading utilities, such as providing automatic sprinkler protection, fire alarm and detection system, carbon monoxide detection, fire department radio repeater system
- An elevator must be provided to fully comply with 521 CMR
- Providing an additional exit stairway
- Mechanical, storage and laundry to be located in the basement
- Common areas and two sleeping units on the first floor
- 6 sleeping units & a Caretaker's suite on the second floor
- 8 sleeping units on the third floor

All proposed improvements have been reviewed and approved by the Historic Preservation Commission

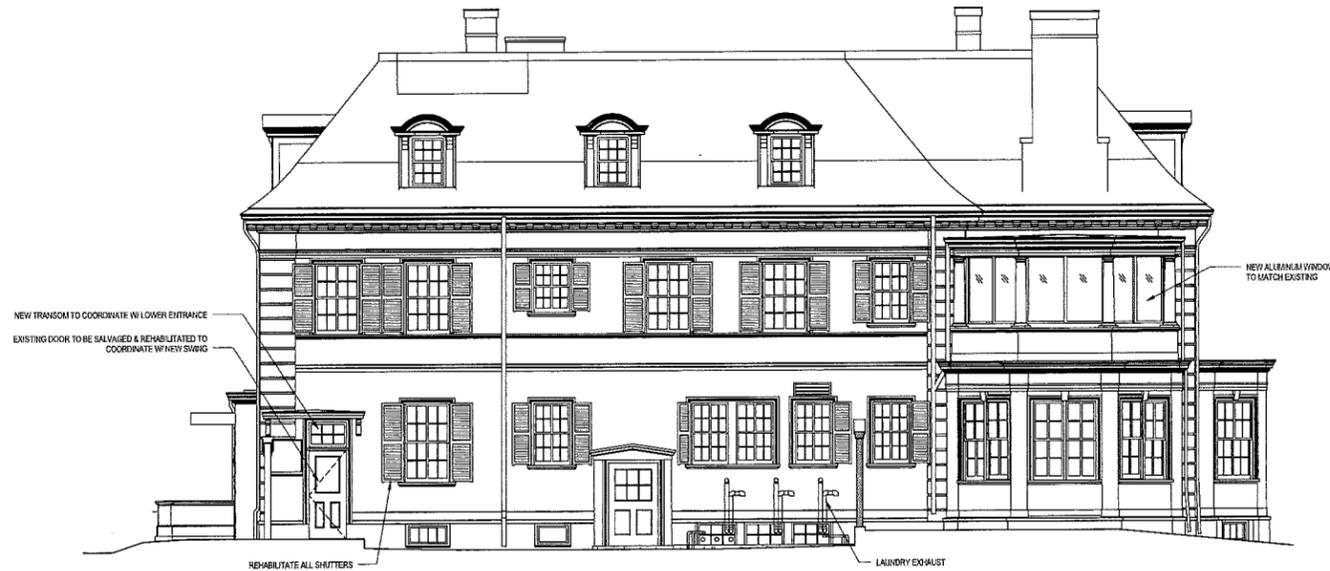
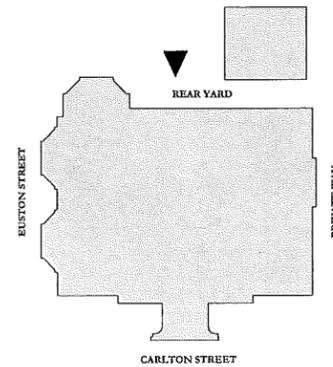




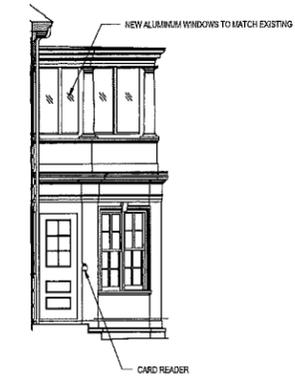
SITE PLAN



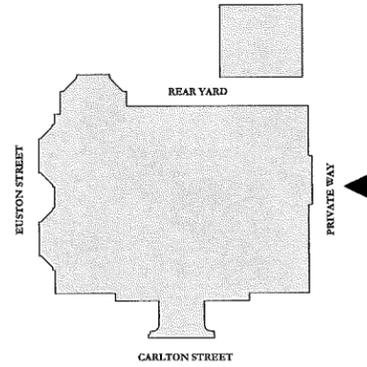
CARLTON STREET
EAST ELEVATION



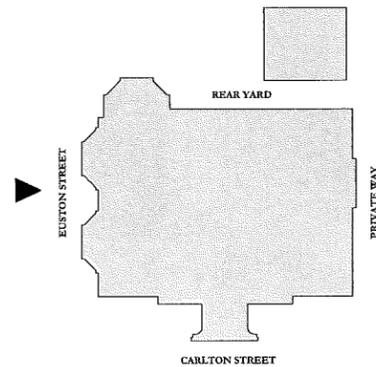
REAR YARD
WEST ELEVATION



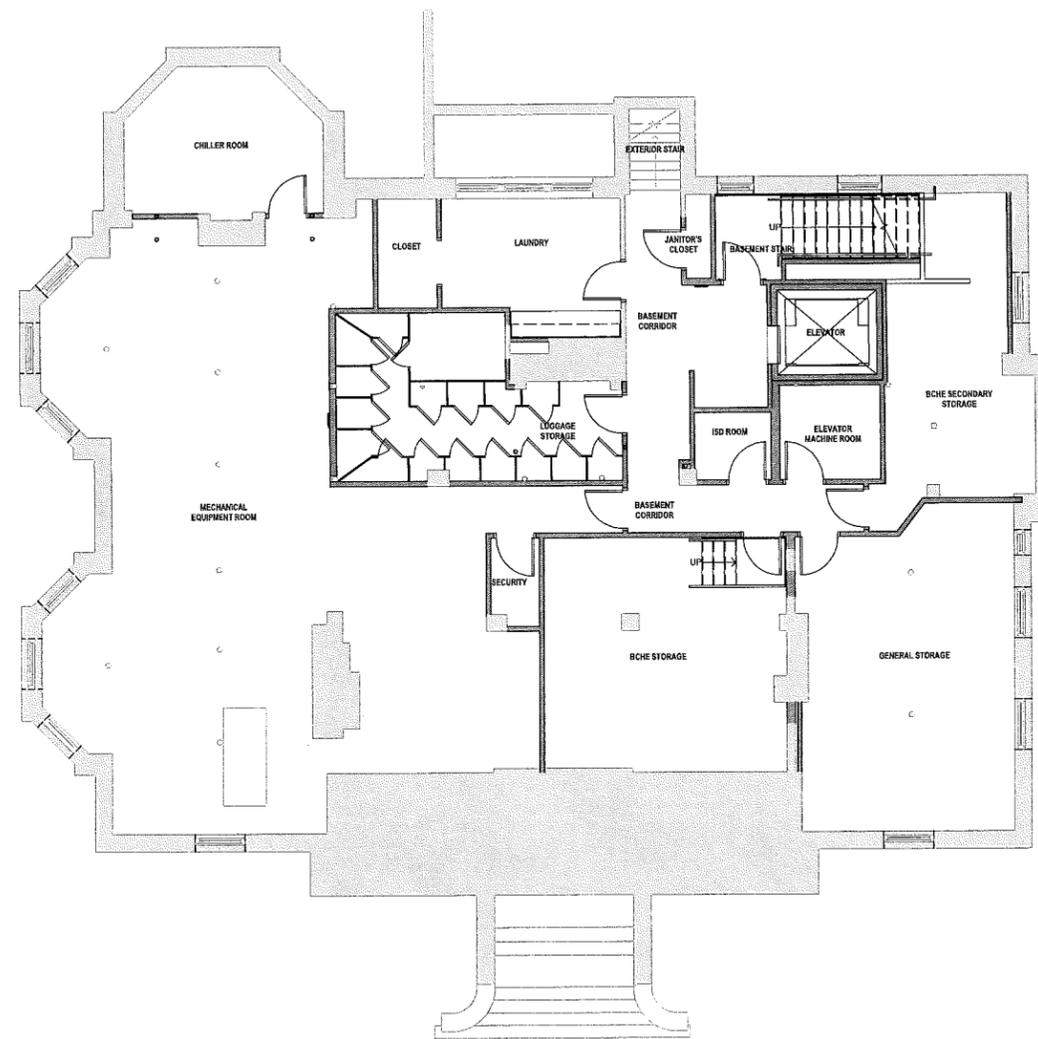
REAR YARD (CONT.)
NORTH ELEVATION



PRIVATE WAY
NORTH ELEVATION



EUSTON STREET
SOUTH ELEVATION

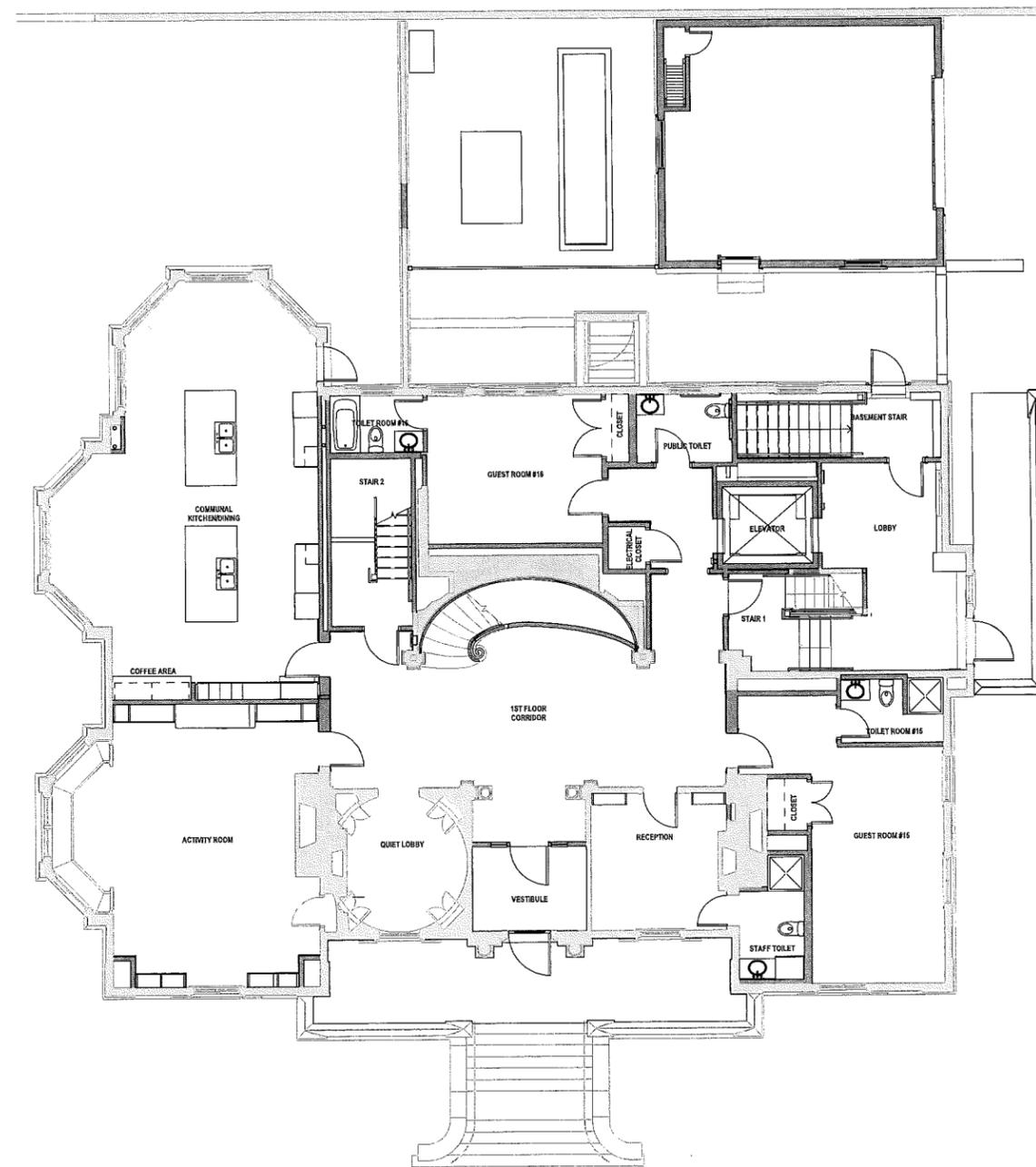


BASEMENT

ANTICIPATED PLAN

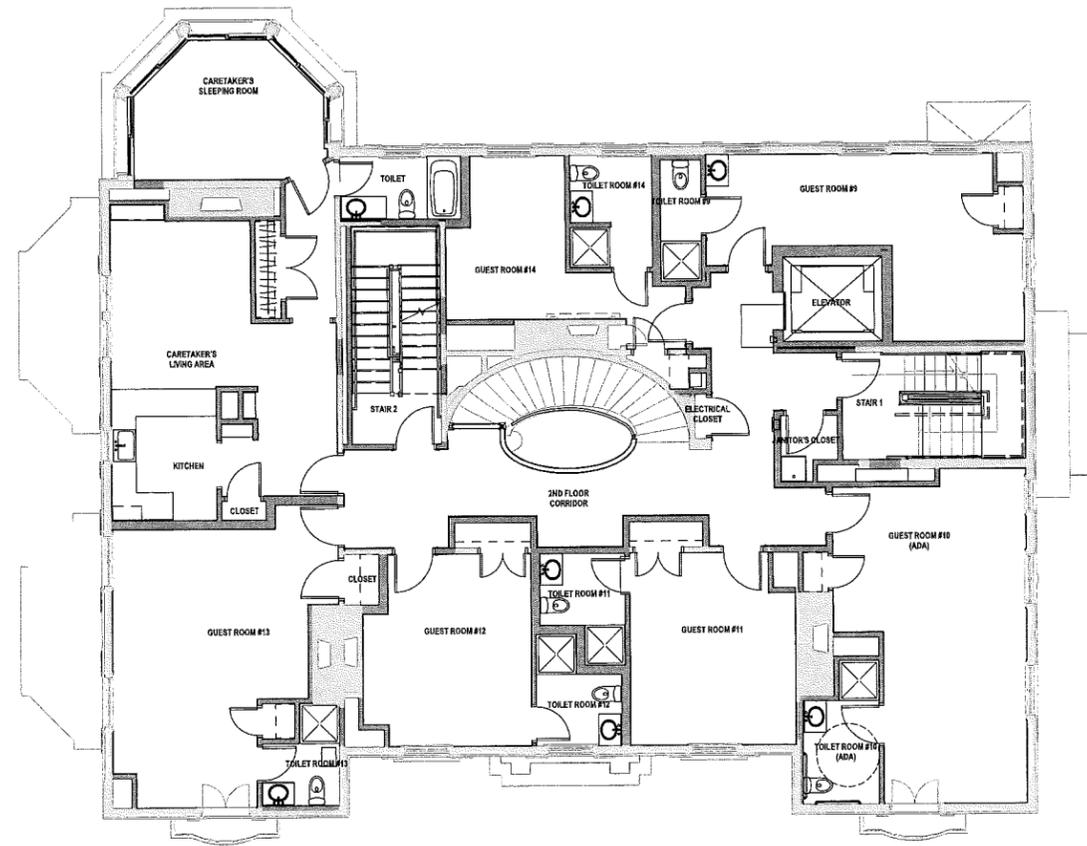


ANTICIPATED FLOOR PLAN



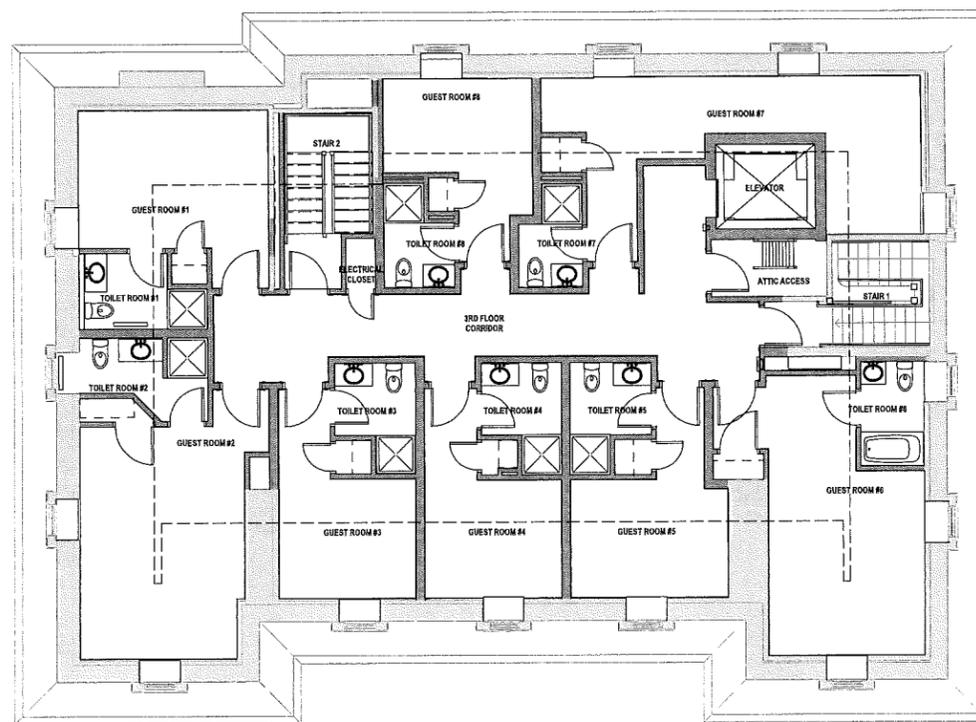
GROUND FLOOR
ANTICIPATED PLAN





SECOND FLOOR
ANTICIPATED PLAN





THIRD FLOOR
ANTICIPATED PLAN





- The Property is located in the S-7 Zoning.
- The existing main building is a non-conforming structure regarding Floor Area Ratio (FAR) and the garage is an existing non-conforming structure with respect to dimensional requirements.
- Any dimensional non-compliance of the existing building would be a validly existing structural non-conformity with respect to the dimensional requirements applied to 1-family detached dwellings. However, since the use of the Property is being converted to Lodging House, the Property will be subject to the dimensional requirements for structures and uses other than 1-family detached dwellings, which will result in more stringent setbacks applied to the Property.

	Allowed	Existing	Proposed	Relief Required (Main Building)
Minimum Lot Size	7,000	11,162 SF (excludes private way)	11,162 SF (excludes private way)	N/A
Maximum FAR	0.35	Approx. 1.02	Approx. 1.02	N/A – validly existing non-conformity because the FAR requirement for the 1 family detached dwelling is the same as the requirement for Lodging House.
Front Yard	30	14.9 feet (Carlton St.) ¹ 9.5 feet (excluding land in Alleyway) ² 22.1 feet (Euston St.)	14.9 feet (Carlton St.) ¹ 9.5 feet (excluding land in Alleyway) ² 22.1 feet (Euston St.)	Special Permits required under Section 5.43
Rear Yard ³	40	20.9	20.9	N/A
Landscaped Open Space	30%	In excess of 30%	In excess of 30%	N/A

¹ Concrete steps extending from landing area projecting to the property line and walls are permitted projections in a front yard under Section 5.52.

² See Footnote 1.

³ Pursuant to the definition of "Lot Line, Rear", in the case of a more or less rectangular lot where three of the lot lines are street lot lines, the fourth lot line shall be considered a rear lot line if it is also the rear lot line of an adjoining lot.

- **Application for Special Permits pursuant to the following provisions of the Zoning By-Law of the Town of Brookline, Massachusetts (the “Zoning By-Law”):**
 - **Section 5.09.2.e (design review)**
 - **Section 5.43 (exception for front yard setback)**
 - **Section 6.04 (design of off-street parking facilities)**
 - **Section 6.06 (reduction in number of loading bays)**
 - **Section 8.02 (alteration of pre-existing non-conforming structures)**
- **Application for Variance of Section 4.07.7 under 9.09(d) (variance for lodging house use) of the Zoning Bylaw**