



# Town of Brookline

## Massachusetts

### PLANNING BOARD

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Brookline, MA 02445-6899  
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Linda Hamlin, Chairman  
Steven Heikin, Clerk  
Robert Cook  
Blair Hines  
Sergio Modigliani  
Mathew Oudens  
Mark J. Zarrillo

To: Brookline Board of Appeals

From: Brookline Planning Board

Date: March 17, 2016

Subject: Convert a three-family to a four-family dwelling by finishing the basement, and construct a rear garage and reconfigure the parking area for a total of 7 spaces

Location: 118 Pleasant Street

Atlas Sheet:	7	Case #:	2016-0002
Block:	036	Zoning:	M-1.5
Lot:	12	Lot Area (s.f.):	±4,627

Board of Appeals Hearing: March 24, 2016, at 7:10 p.m.

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### **BACKGROUND**

November 15, 2007, BOA Case # 070051 – The Board of Appeals granted relief to convert the three-family dwelling at 118 Pleasant Street into a four-family dwelling with a roof deck and reconstruct the rear garage and parking area for six cars, five of the spaces in a new garage. Those plans are largely similar to what is currently proposed, although the current proposal involves an additional parking space and does not have a roof deck.

### **SITE AND NEIGHBORHOOD**

118 Pleasant Street is a three and one-half story, three-unit row house located north of the intersection of Browne and Pleasant Streets in Coolidge Corner. Built in 1914, the building is one of seven attached row houses, all with similar architectural details and identical footprints. Five of the row houses, including the subject property, have detached two-car garages in the rear, accessed by a rear shared right-of-way. The alley is at a grade significantly higher than the backyards of the adjoining properties. The surrounding neighborhood consists of other residential uses including single- and two-family homes, row houses, and large multi-family structures.

### **APPLICANT'S PROPOSAL**

The applicants, Milijana and Milenko Beslic, are proposing to convert an existing basement into a residential dwelling unit and reconstruct a multilevel parking structure for five (5) cars on the property at 118 Pleasant Street. There would continue to be two additional surface parking spaces for a total of seven parking spaces on the lot. The proposal would increase the building's gross floor area by 1,252 s.f. The two-bedroom, two-bathroom basement unit would be accessed by a new door inside the main entry hall and through an existing stairway and egress on the side of the building. Two new window wells would be constructed, one for each of the two proposed bedrooms to provide building code-compliant egress windows, as well as a new window for one of the proposed bathrooms.

The existing two-bay cinder block garage would be demolished and a new three-bay garage with two rooftop parking spaces would be constructed. The covered portion of the garage would allow for the parking of three vehicles, face the rear of the main dwelling, and would be accessed from the existing driveway, which descends approximately six feet from the alley grade to the rear of the building. Each of the three garage entry doors would be 8 feet wide. The roof of the garage would allow for the parking of two additional vehicles, accessed from the alleyway, and would include an area for storage of trash containers and planters for screening landscaping. The roof would be surrounded by a 42" high parapet wall to screen vehicles and trash barrels from surrounding properties. The applicant's plans indicate the two surface parking spaces located immediately behind the building would remain, for a total of seven parking spaces on site.

The applicant had received a Certificate of Non-Significance from the Preservation Commission in the past for the demolition of the garage, but it has since expired.

To control drainage on the site, the applicant is proposing to install a new trench drain at the rear of the proposed garage which will drain to a new drywell located at the rear of the building.

### **FINDINGS**

**Section 5.01 – Table of Dimensional Requirements, Footnote 1 and 2:** Footnote 1 requires garage or covered vehicular passageway entrances to be at least 20 feet from the street lot line. In this case, the covered garage area actually faces the rear of the building, not the access way.

Footnote 2 allows for buildings in M districts to be built to the side lot line if another principal building is already along the side lot line or by special permit if the Board of Appeals finds that reasonable development of the lot necessitates building to the side lot line.

**Section 5.05 – Conversion:** When converting a dwelling to create additional dwelling units in an M District, the Board of Appeals may by special permit waive any dimensional requirements except minimum lot size, provided no previously existing nonconformity to such requirements is increased and all other requirements of the By-law for conversions are met. *Special permit required.*

**Section 5.09.2.d – Design Review:** Any exterior alteration to a dwelling with four or more units requires a special permit subject to the design review standards listed under *Section 5.09.4(a-1)*. All the conditions have been met, and the most relevant sections of the design review standards are described below:

- a. **Preservation of Trees and Landscape** – The only landscaped space on site now is in the front yard, which is not changing with this proposal. The plans indicate new planters on

the roof of the new garage to help screen the additional parking spaces.

b. Relation of Buildings to Environment – The proposal does not affect the natural features of the neighborhood, nor is expected to create significant shadows on abutting properties.

c. Relation of Buildings to the Form of the Streetscape and Neighborhood – The exterior changes to the principal building are minimal and will not be visible from Pleasant Street. Although the proposed garage would be unique for this neighborhood due to its two-story aspect, there are several other garages and parking areas situated similarly in relation to the principal buildings in the immediate area.

d. Open Space – There will be no usable open space on site. There is no proposed increase in landscaped open space on site.

e. Circulation – Proposed vehicular circulation is tight and would require maneuvering vehicles in order to access all spaces. The project does make use of the lot’s existing vehicular access, and the exterior handrail on the garage and slip-resistant finish on the access drive improves pedestrian safety in the parking area.

f. Stormwater Drainage – Previous plans indicated a new trench drain and drywell to address drainage in the parking area.

**Section 5.22.3.b.2 – Exceptions to Floor Area Ratio (FAR) for Residential Units**

Floor Area	Allowed	Existing	Proposed	Finding
<b>Floor Area Ratio (% of allowed)</b>	1.5 100%	1.3 87%	1.56 104%	Special Permit*
<b>Floor Area (s.f.)</b>	6,940.5	5,994	7,246	

\*Under **Section 5.22.3.b.2**, the Board of Appeals may grant a special permit for up to 120% of allowed gross floor area by addition or interior conversion in M districts.

**Section 5.43 – Exceptions to Yard and Setback Regulations**

**Section 5.50 – Front Yard Requirements**

**Section 5.53 – Accessory Structures in the Front Yard**

**Section 5.90 – Minimum Landscaped Open Space**

**Section 5.91 – Minimum Usable Open Space**

Dimensional Requirements	Required	Existing	Proposed	Relief
<b>Front Yard Setback (Garage)</b>	19.15' (15' + H/10)	0'	0'	Special Permit**
<b>Side Yard Setback (Garage)</b>	6'	2.2'	0'	Special Permit**
<b>Landscaped Open Space</b>	724 s.f. (10% g.f.a.)	443 s.f.	443 s.f.	Variance
<b>Usable Open Space</b>	1,086 s.f. (15% g.f.a.)	0 s.f.	0 s.f.	Variance

\*\* Under **Section 5.43**, the Board of Appeals may waive yard and setback requirements if a counterbalancing amenity is provided.

**Section 6.02, paragraph 1 – Table of Off-Street Parking Requirements**

**Section 6.04.5.b – Design of All Off-Street Parking Facilities**

**Section 6.04.12 – Design of All Off-Street Parking Facilities**

Parking Requirements	Required	Existing	Proposed	Relief
Parking Spaces	9	4	7	Special Permit†

† Under **Section 6.01.2.a**, the Board of Appeals may waive by special permit up to half of the required parking spaces when converting a structure in an M district for additional units.

\*\*Due to the project proposing seven parking spaces (as opposed to six in the previously-approved proposal), additional zoning relief is required, including maneuvering aisle width, obstructed parking, entrance/exit drive width, and parking within 10 feet of a building with windows of habitable rooms at the basement or first-story level. \*\*

**Section 8.02.2 – Alteration or Extension**

A special permit is required to alter a pre-existing non-conforming structure or use.

**PLANNING BOARD COMMENTS**

The Planning Board is not opposed to the proposal to convert the basement of the subject property into a fourth dwelling unit. The changes to the building are minimal and are not visible from the street.

The proposed parking garage is a creative way to provide additional parking, and the rooftop screening should improve the garage's overall appearance. However, the Board feels that the width of the proposed garage should be decreased slightly to ensure access to the the passage way because it is shared with the abutters. This would result in a garage with two cars at the lower level, not three, and two on the roof as originally proposed. The Planning Board would then support the retention of the two existing surface parking spaces as well. Reducing the number of parking spaces to six, also substantially reduces the amount of zoning relief needed, because dimensional requirements for parking areas with more than six cars are more stringent.

**Therefore, the Planning Board recommends approval of the plans titled “118 Pleasant Street” prepared by CYMA2 Inc., dated 12/31/15, subject to the following conditions:**

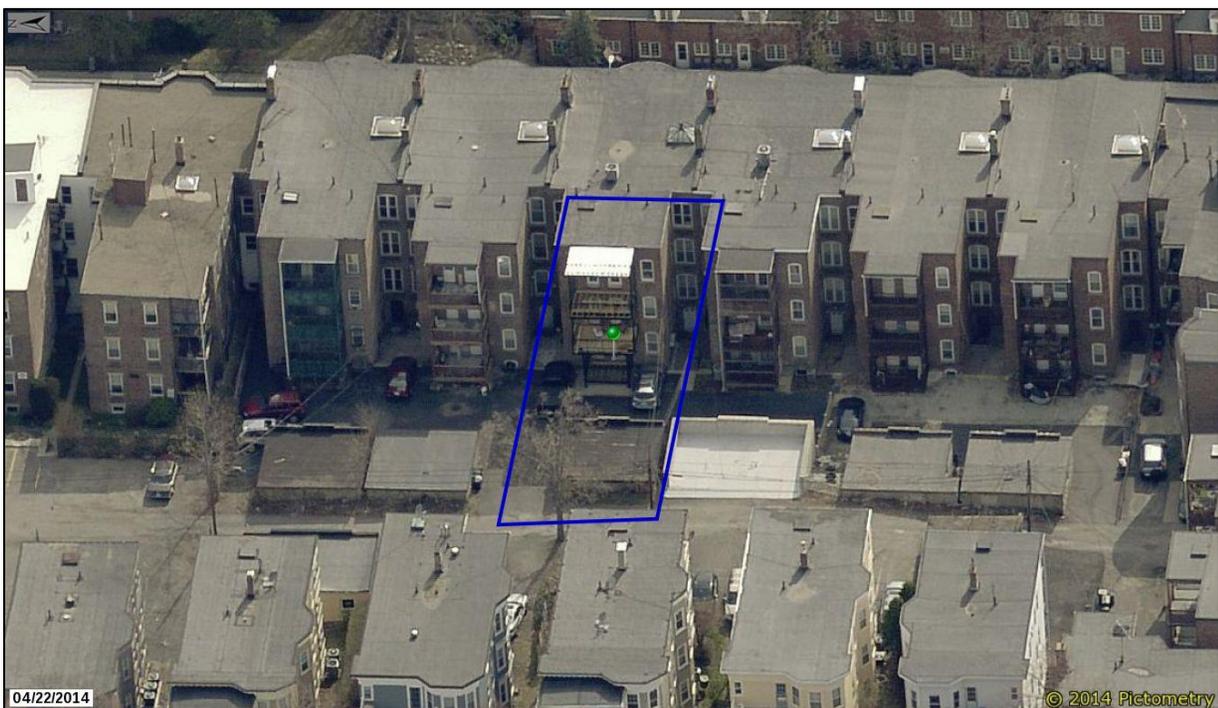
1. Prior to the issuance of a building permit, the applicant shall submit final floor plans and elevations, showing a two over two car garage, subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a final landscaping plan indicating all counterbalancing amenities subject to the review and approval of the Assistant Director of Regulatory Planning.
3. Prior to the issuance of a building permit, the applicant shall submit a final site plan indicating two surface parking spaces as well as all drainage improvements.

4. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

*lkch*

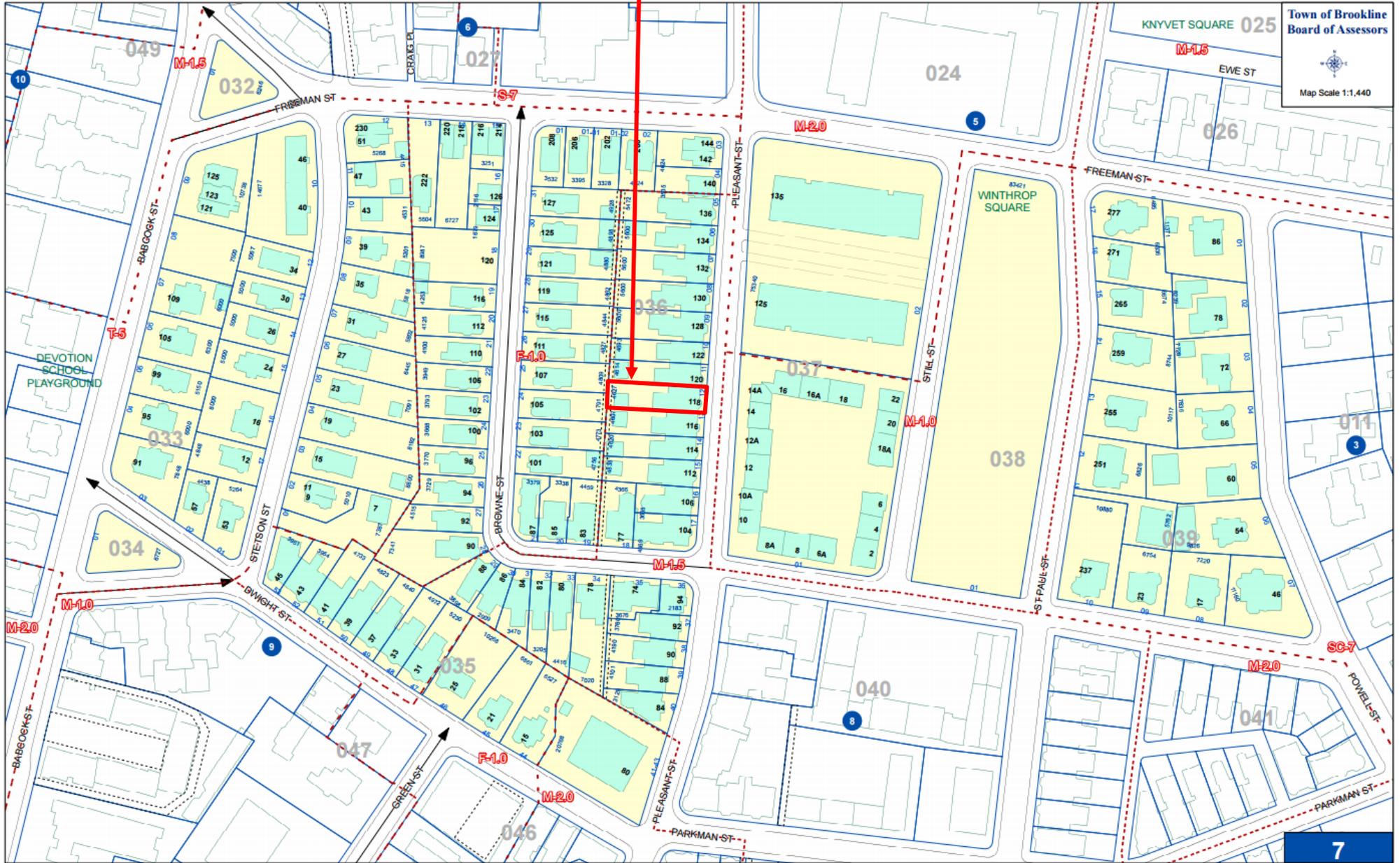


Pictometry Views of 118 Pleasant Street from Pleasant Street (above) and from the rear alleyway (below).





# 118 Pleasant Street



# 118 PLEASANT STREET

BROOKLINE, MASSACHUSETTS

## LIST OF DRAWINGS

T1 TITLE SHEET

### CIVIL

S-1 TOPOGRAPHIC PLAN OF LAND  
C-1 PROPOSED SITE PLAN

### ARCHITECTURAL

A-1 PROPOSED FLOOR PLANS  
A-2 PROPOSED SECTIONS AND ELEVATIONS  
EX-1 EXISTING FLOOR PLANS  
EX-2 EXISTING ELEVATIONS

## CONSULTANTS LIST

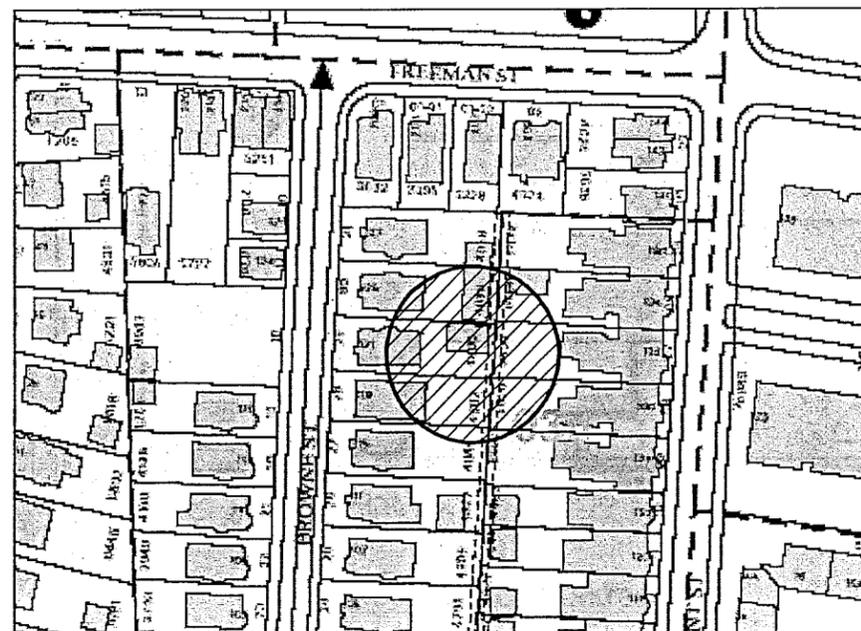
### ARCHITECT

CYMA 2 Inc.  
17 Ivaloo Street, Suite# 400  
Somerville, Massachusetts 02143  
Phone: 617 623-1112  
Fax: 617-591-2086

### SURVEYOR/CIVIL ENGINEER

VTP Associates Inc.  
132 Adams Street, 2nd floor, suite 3  
Newton, MA 02458  
Phone: 617-332-8271

## LOCUS PLAN



## ZONING TABLE

Item	Req's/Allowed	Existing	Proposed Design	Strategy
1. Zone	M-1.5	M-1.5	M-1.5	NA
2. Use	Use #6 and #54	Use #6 Multiple 3 Units Use #54	Use #6 Multiple 4 Units Use #54	Complies
3. Lot Size	None	4,627 SF	4,627 SF	Complies
4. FAR	1.5 (6,940 SF)	1.3 (5,994 SF)	1.56 (7,246 SF*)	SP 5.22
5. Lot Width (min)	None	33.05 FT	33.05 FT	Complies
6. Height (max)	45 FT	41.5 FT	41.5 FT	Complies
7. Front Yard (min)	19.15 FT	11.5 FT	11.5 FT	Unchanged SP 5.05
8. Side yard (min)	(H+LY)6	None	None	Unchanged SP 5.05
9. Rear yard (min)	30 FT	62.25 FT	62.25 FT	Complies
10. Open Space- Landscape (min)	10% (724 SF)	7.4% (443 SF)	7.4% (443 SF)	Existing non-conforming
11. Open Space- Usable (min)	15% (1086 SF)	None	None	Existing non-conforming
12. Parking	9	4	7	SP 6.01.2.a
13. Parking Garage Setbacks	6'	2.2' - 9.3' - 8.8'	0' - 9.8' - 6.2'	Existing non-conforming SP 5.43
14. Accessory Structure in rear yard	max 25% (515 SF)	432 SF	515 SF	Complies

\*FAR  
BASEMENT 1,546  
FIRST FLOOR 1,900  
SECOND FLOOR 1,900  
THIRD FLOOR 1,900  
TOTAL 7,246 SF



Incorporated  
ARCHITECTURE - PLANNING  
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Tel. 617 623-1112  
Fax. 617 591-2086  
E-Mail CYMA2@aol.com

Alterations to:  
**118 PLEASANT STREET**

118 PLEASANT STREET  
BROOKLINE, MASSACHUSETTS 02446

REGISTRATION:

DRAWING TITLE:  
**TITLE SHEET**

PROJECT PHASE:  
**PERMIT SET**

PROGRESS DATE:

PHASE DATE:  
**12/31/15**

#	REVISION DESCRIPTION	DATE
1	ELEVATIONS	09/12/07
2	PARKING SLOPE	10/01/07
3	SECURITY ENHANCEMENTS	09/15/08
4	MECH/ BEDRM CHANGE	12/31/15

JOB NO.: 07011

REF. NORTH

SCALE: NONE

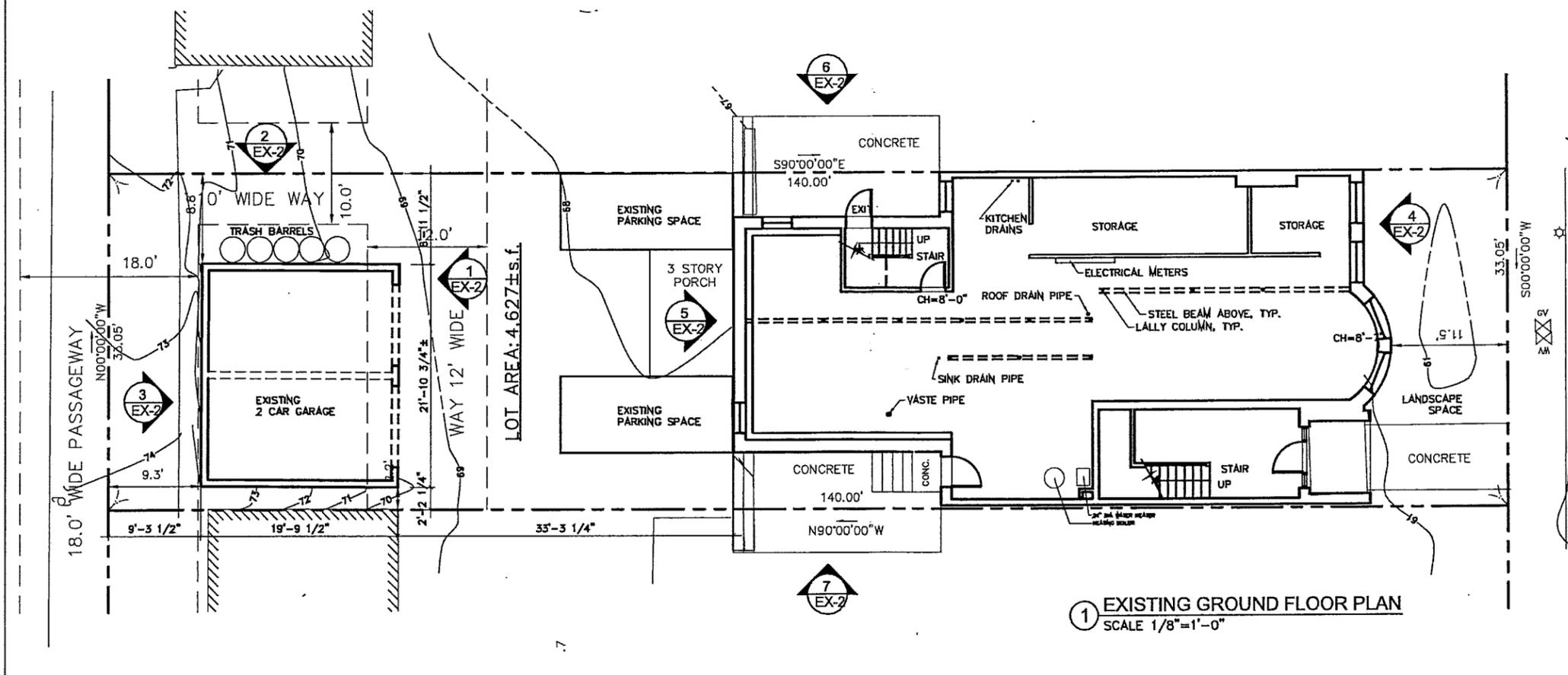
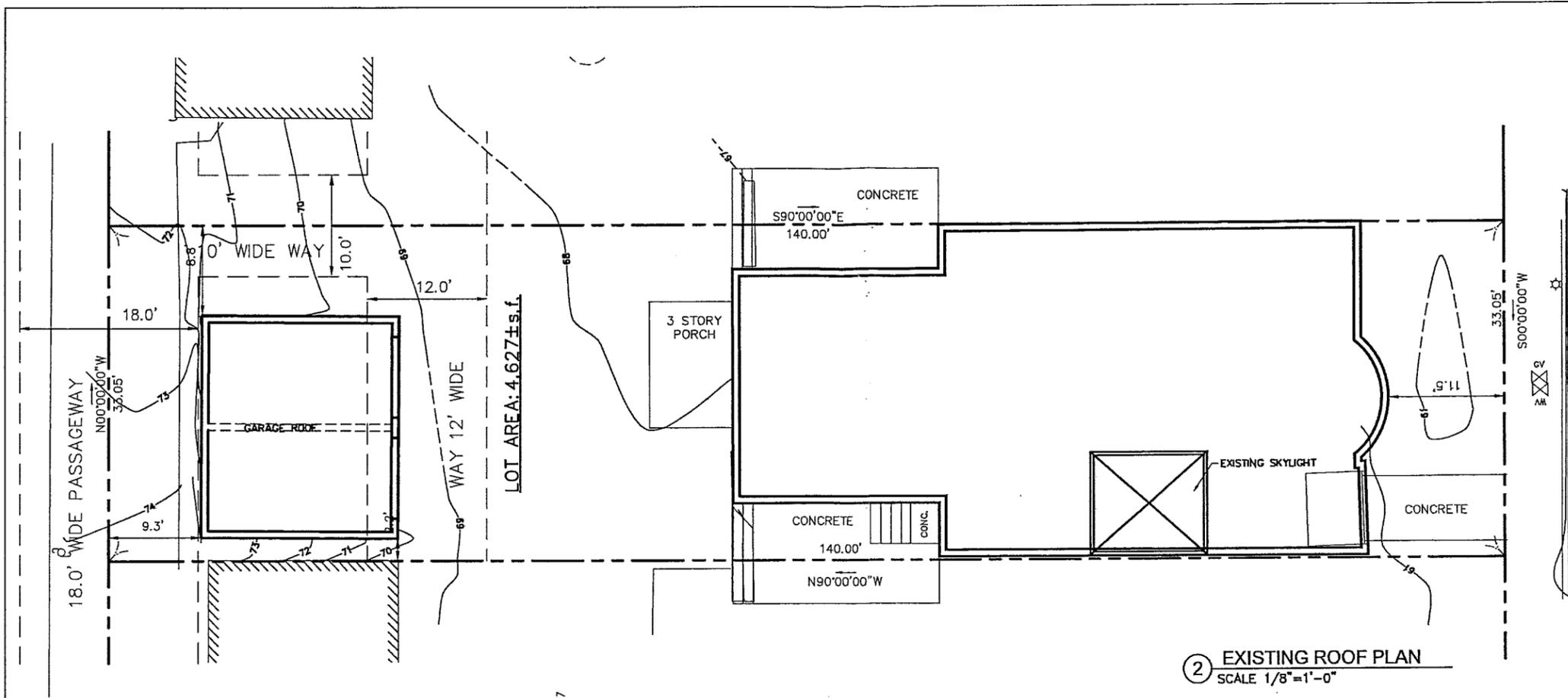
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DRAWING NUMBER:

**T-1**



Alterations to:  
**118 PLEASANT STREET**

118 PLEASANT STREET  
BROOKLINE, MASSACHUSETTS 02446  
REGISTRATION:

DRAWING TITLE:  
**EXISTING FLOOR PLANS**

PROJECT PHASE:  
**PERMIT SET**

PROGRESS DATE:

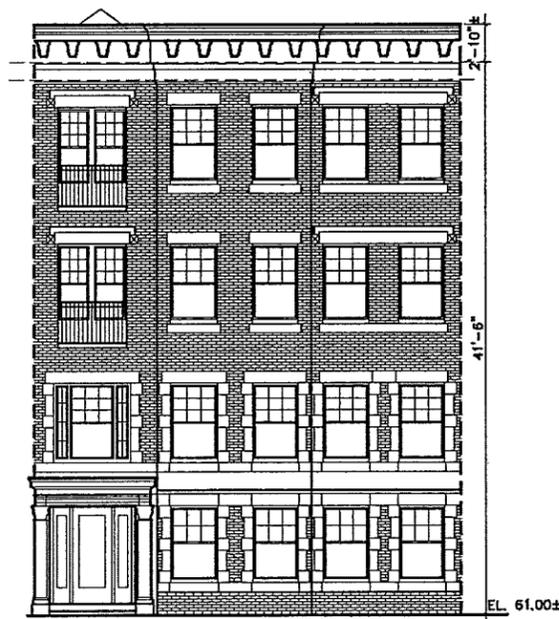
PHASE DATE:  
**12/31/15**

#	REVISION DESCRIPTION	DATE
1	ELEVATIONS	09/12/07
2	PARKING SLOPE	10/01/07
3	SECURITY ENHANCEMENTS	09/15/08
4	MECH / BEDRM CHANGE	12/31/15

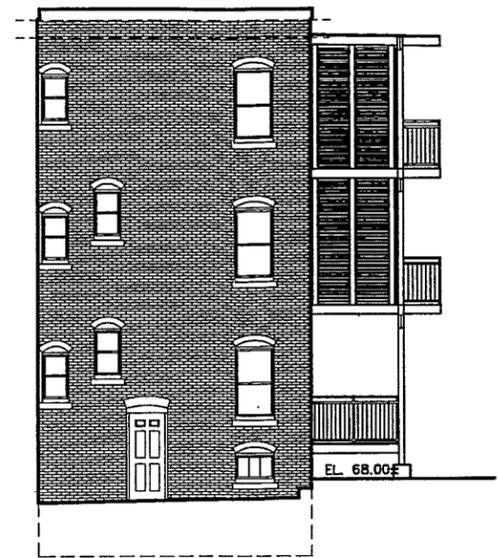
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DRAWN BY: MJ  
CHECKED BY: JSK

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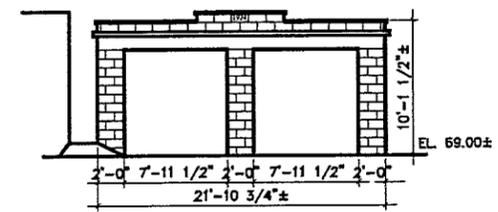
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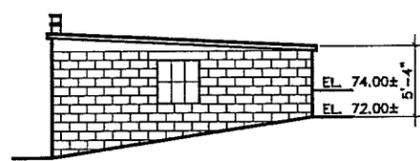
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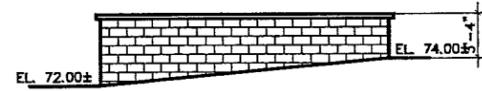
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SCALE 1/8"=1'-0"



① GARAGE FRONT ELEVATION  
SCALE 1/8"=1'-0"



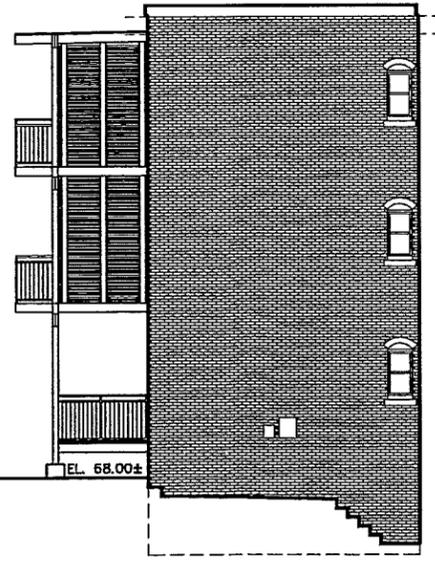
② GARAGE SIDE ELEVATION  
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③ GARAGE REAR ELEVATION  
SCALE 1/8"=1'-0"



⑤ BUILDING REAR ELEVATION  
SCALE 1/8"=1'-0"



⑦ BUILDING SIDE ELEVATION  
SCALE 1/8"=1'-0"

Alterations to:  
**118 PLEASANT STREET**

118 PLEASANT STREET  
BROOKLINE, MASSACHUSETTS 02446

REGISTRATION:

DRAWING TITLE:  
**EXISTING ELEVATIONS**

PROJECT PHASE:  
**PERMIT SET**

PROGRESS DATE:

PHASE DATE:  
**12/31/15**

#	REVISION DESCRIPTION	DATE
1	ELEVATIONS	09/12/07
2	PARKING SLOPE	10/01/07
3	SECURITY ENHANCEMENT	09/15/08
4	MECH/ BEDRM CHANGE	12/31/15

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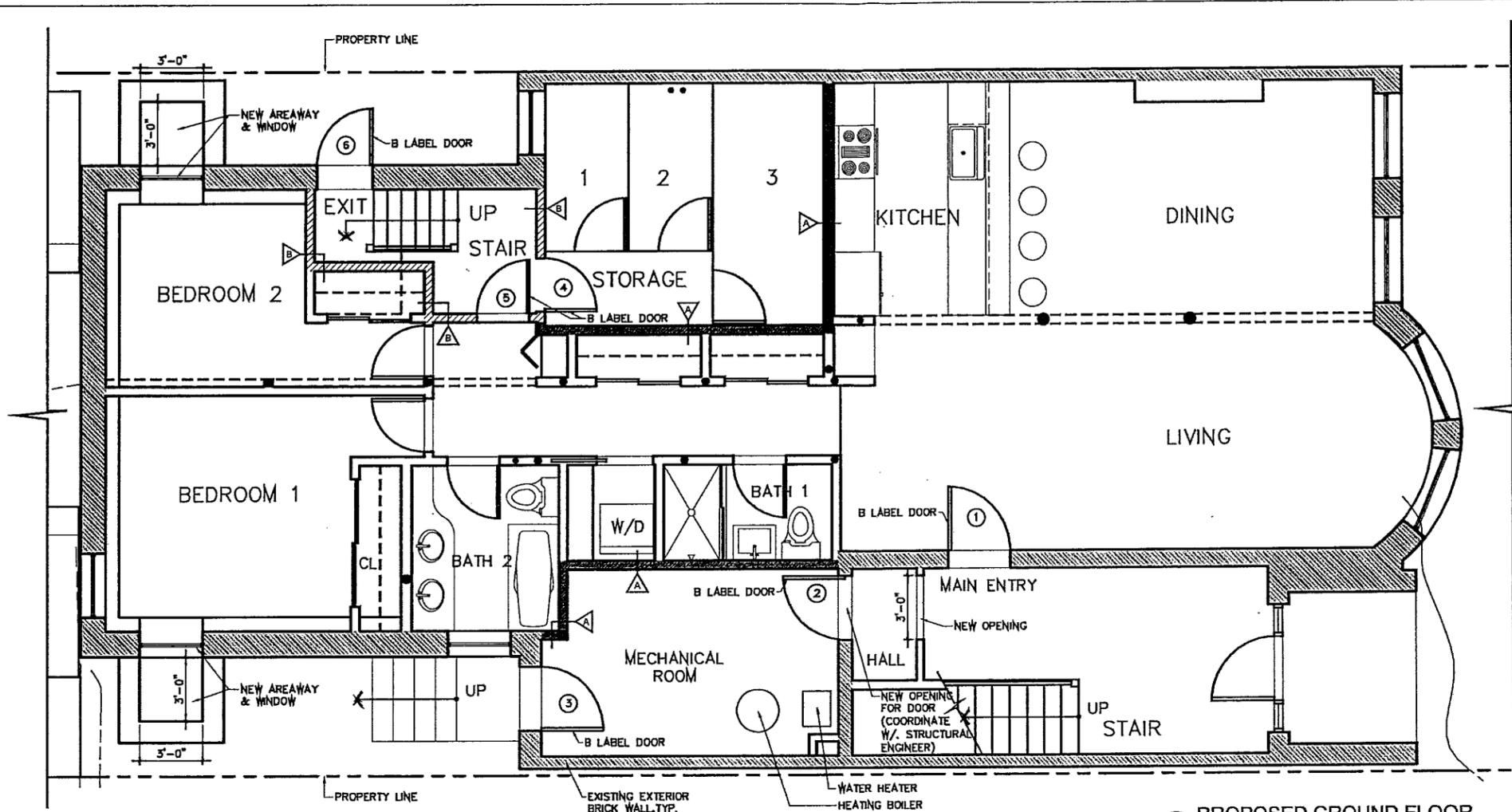
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CHECKED BY: JSK

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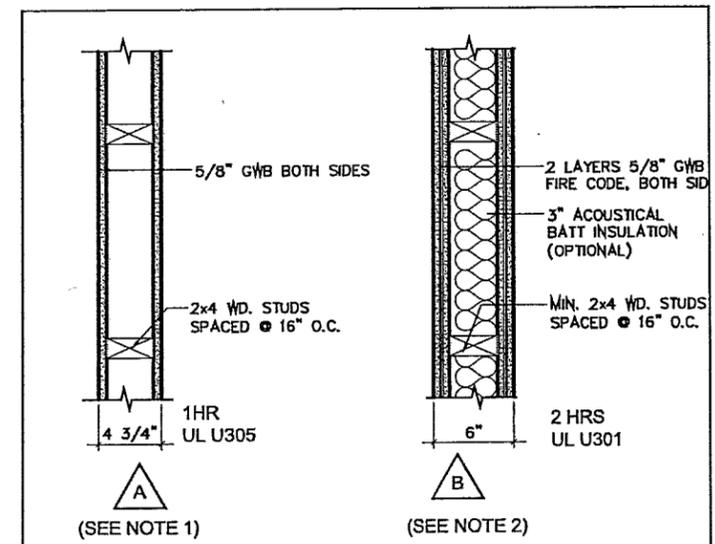
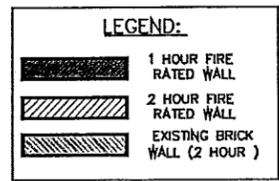
**EX-2**



1 PROPOSED GROUND FLOOR  
SCALE 1/4"=1'-0"

NOTES:

- 1).- 1 HOUR FIRE RATED WALLS, WOOD FRAME  
FIRE TEST: UL DESIGN U305  
BEARING WALL RATING - 1 HOUR  
  
ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD PAPER SURFACED, WITH BEVELED, SQUARE OR TAPERED EDGES, APPLIED EITHER HORIZONTALLY OR VERTICALLY.  
NAILED TO EACH SIDE OF STUDS 7" O.C. WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM. AND 1/4" DIAM. HEADS. WOOD STUDS NOM. 2 BY 4 SPACED 16" O.C., EFFECTIVELY FIRESTOPPED.  
JOINTS AND NAIL-HEADS, EXPOSED OR COVERED, WITH FIBER TAPE AND JOINT COMPOUND, EXCEPT WHERE REQUIRED FOR SPECIFIC EDGE CONFIGURATION.  
FOR TAPERED, ROUNDED-EDGE GYPSUM BOARD, JOINTS COVERED WITH JOINT COMPOUND OR FIBER TAPE AND JOINT COMPOUND.
- 2).- 2 HOUR FIRE RATED WALLS, WOOD FRAME  
UL DESIGN U301  
BEARING WALL RATING - 2 HOURS  
  
TWO LAYERS OF 5/8" TYPE X GYPSUM WALLBOARD APPLIED EITHER HORIZONTALLY OR VERTICALLY AT EACH SIDE OF THE STUDS.  
INNER LAYER ATTACHED TO STUDS WITH 1-7/8" NAILS SPACED 6" O.C.  
OUTER LAYER ATTACHED TO STUDS OVER INNER LAYER WITH 2-3/8" LONG NAILS SPACED 8" O.C., VERTICAL JOINTS LOCATED OVER STUDS.  
ALL JOINTS IN FACE STAGGERED WITH JOINTS IN BASE LAYERS.  
JOINTS OF EACH BASE LAYER OFFSET WITH JOINTS OF BASE LAYER ON OPPOSITE SIDE.  
WHEN USED IN WIDTHS OTHER THAN 48", GYPSUM BOARDS TO BE INSTALLED HORIZONTALLY.  
WOOD STUDS, MINIMUM 2x4s SPACED 16" O.C. EFFECTIVELY FIRESTOPPED.  
JOINTS: EXPOSED OR COVERED WITH FIBER TAPE AND JOINT FINISHER.  
NAILHEADS: EXPOSED OR COVERED WITH JOINT FINISHER  
NAILS - 6D CEMENT COATED NAILS, 1-7/8" LONG, 0.0915" SHANK DIAM., 1/4" DIAM. HEADS.  
- 8D CEMENT COATED NAILS, 2-3/8" LONG, 0.113" SHANK DIAM., 5/16" DIAM. HEADS.
- 3).- FLOOR/CEILING ASSEMBLY AT ENTIRE GROUND FLOOR TO BE 1 HOUR FIRE RATED:  
UL DESIGN L512  
- SUBFLOORING: 1/2" MIN. SHEATHING, FACE GRAIN OF PLYWOOD OR STREIGHT AXIS OF PANELS TO BE PERPENDICULAR TO THE JOISTS, STAGGERED.  
- FINISH FLOORING, MIN 1 x 3" T&G, AND END MATCHED LAID PERPENDICULAR TO JOISTS, OR 1/2" PLYWOOD, MIN. GRADE UNDERLAYMENT. FACE GRAIN OF PLYWOOD TO BE PERPENDICULAR TO JOISTS WITH JOINTS STAGGERED.  
- WOOD JOISTS, MIN. 2 x 10, SPACED 16" O.C. AND EFFECTIVELY FIREBLOCKED.  
- CROSS BRIDGING, MIN 1 x 3" OR 2x10 SOLID BLOCKING  
- GYPSUM BOARD, NOM 1/2 OR 5/8" THICK, 4" WIDE GYPSUM BOARD, INSTALLED WITH LONG DIMENSION PERPENDICULAR TO JOISTS
- 4).- DOORS AND FRAMES FROM 1 THRU 6 TO BE "B LABEL" DOORS (1-1/2 HOURS).



2 PARTITION TYPES  
1-1/2"=1'-0"

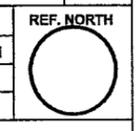
Alterations to:  
**118 PLEASANT STREET**  
  
118 PLEASANT STREET  
BROOKLINE, MASSACHUSETTS 02446  
REGISTRATION:

DRAWING TITLE:  
**GROUND FLOOR PLAN  
MECHANICAL ROOM &  
FIRE RATED WALLS**

PROJECT PHASE:  
**PERMIT SET**  
  
PROGRESS DATE:  
  
PHASE DATE:  
**12/31/15**

#	REVISION DESCRIPTION	DATE
4	MECH/BEDRM CHANGE	12/31/15

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CHECKED BY: JSK



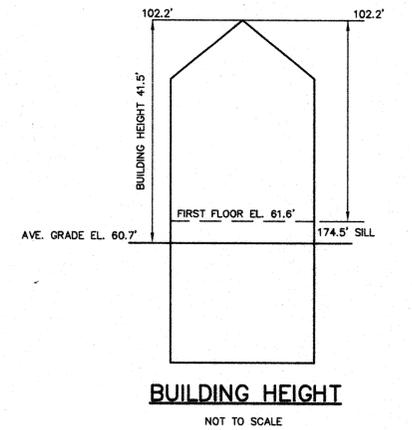
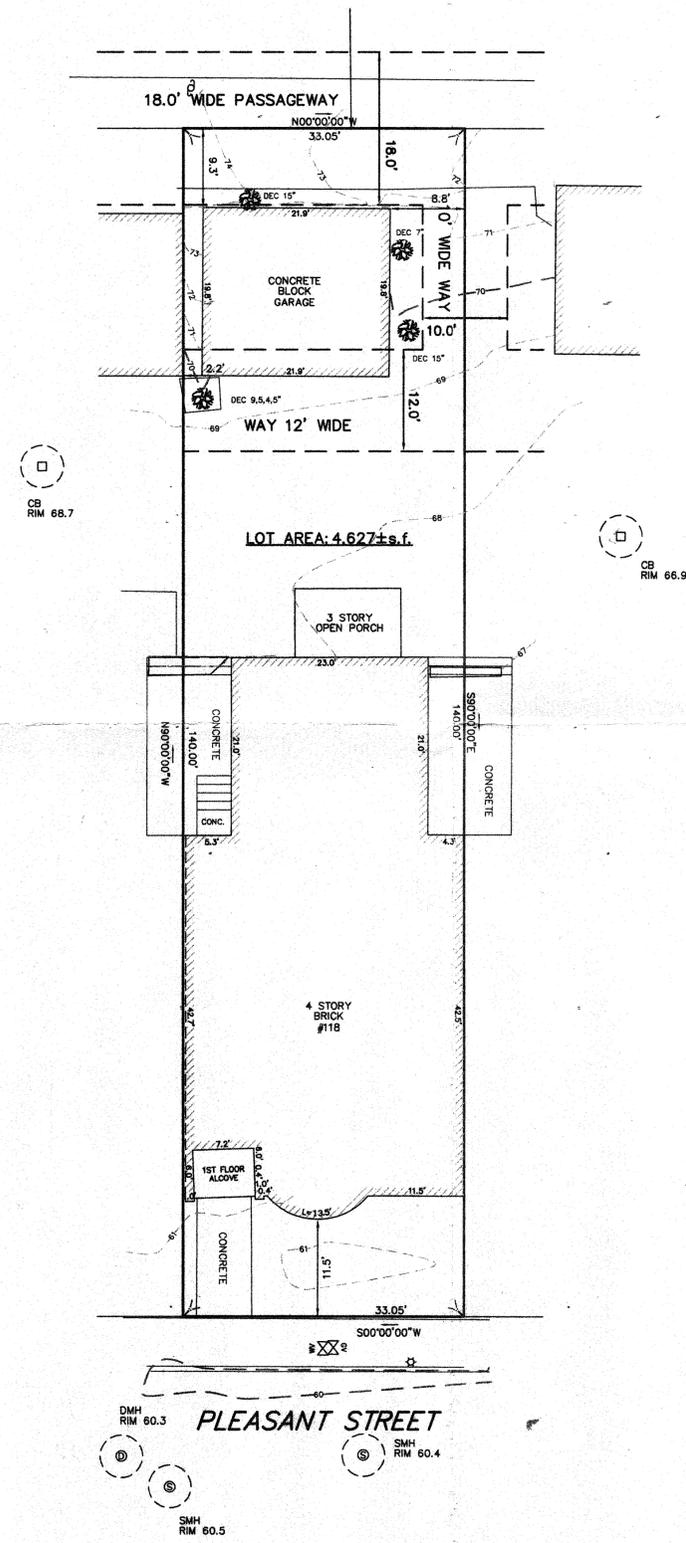
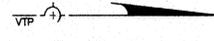
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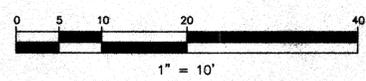


**LEGEND**

STORM SEWER	----- D -----
COMBINATION SEWER	----- CS -----
SANITARY SEWER	----- S -----
WATER MAIN	----- W -----
OVERHEAD ELECTRIC	----- OE -----
UNDER GROUND ELECTRIC	----- UE -----
GAS MAIN	----- G -----
CONTOUR	----- 21 -----
BUILDING	----- [Hatched] -----
PICKET FENCE	----- [Dashed] -----
CHAINLINK FENCE	----- [Cross-hatched] -----
PROPERTY LINE W/ BEARING DISTANCE	----- [Line with arrow] ----- N85°23'35"W 346.41'
CONIFEROUS TREE	[Tree symbol]
DECIDUOUS TREE	[Tree symbol]
SIGN POST	[Post symbol]
LIGHT POLE	[Pole symbol]
GAS VALVE	[Valve symbol]
WATER VALVE	[Valve symbol]
UTILITY POLE	[Pole symbol]
DRAINAGE MANHOLE	[Manhole symbol]
SEWER MANHOLE	[Manhole symbol]
FIRE HYDRANT	[Hydrant symbol]
CATCH BASIN	[Basin symbol]
FIRE CALL BOX	[Box symbol]
MAIL BOX	[Box symbol]
MONITORING WELL	[Well symbol]
ELECTRIC MANHOLE	[EMH symbol]
TOP OF STONE EL.	[Stone symbol]
BOTTOM OF STONE EL.	[Stone symbol]
TOP OF WALL EL.	[Wall symbol]
BOTTOM OF WALL EL.	[Wall symbol]



**BUILDING HEIGHT**  
NOT TO SCALE



**TOPOGRAPHIC PLAN OF LAND  
BROOKLINE, MASSACHUSETTS**

SHOWING EXISTING CONDITIONS AT  
#118 PLEASANT STREET  
SCALE: 1in.=10ft. DATE: APRIL 13, 2007  
PROJECT: 07140



**VTP  
ASSOCIATES  
INC.**

LAND SURVEYORS - CIVIL ENGINEERS.  
#132 ADAMS STREET 2ND FLOOR SUITE 3  
NEWTON, MA 02458  
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