



Town of Brookline Massachusetts

PLANNING BOARD

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Town Hall, Third Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

To: Brookline Board of Appeals

From: Brookline Planning Board

Date: March 17, 2016

Subject: Demolish detached one-car garage and construct detached two-car garage in side and rear yards

Location: **126 Thorndike Street**

Atlas Sheet:	13	Case #:	2016-0006
Block:	069	Zoning:	T-5
Lot:	11	Lot Area (s.f.):	6000 sf

Board of Appeals Hearing: April 7, 2016 at 8:30 pm

BACKGROUND

December 16, 2015 – The Preservation Commission issued a Certificate of Non-Significance to allow for the demolition of the existing garage.

SITE AND NEIGHBORHOOD

The house is a two-family structure, built in 1880, with clapboard siding and a one-car detached garage. The main dwelling has an enclosed porch and a patio at the rear and an unenclosed porch at the front entrance. The dwellings along Thorndike Street are primarily two- and three-family dwellings that were developed from the late 19th century to the early 20th century.

APPLICANT'S PROPOSAL

The applicant James Kinsella proposes demolishing the existing detached one-car garage (about 11 feet x 22 feet) and constructing a detached two-car garage in the same location of the side rear yard. The new footprint would be 20 feet x 21 feet and about 11.5 feet high maximum. Initially, the applicant proposed a garage-roof deck with the same dimensions as the garage and with stairs to the left for access to the deck, to meet usable open space requirements. It was confirmed that the applicant has enough open space without the roof deck, which is eliminated in the revised plans. The Planning Board and abutters support the elimination of roof deck from the revised plans.

The side yard setback would be decreased from 5.5 feet to about 1 foot, leaving about 3 feet of space between the new garage and the detached garage on the right-side abutting lot. The rear yard setback would remain about the same. There is about 5 feet of space between the rear lot line and a 6-foot high stockade fence and detached garage in the abutter's rear yard. The roof of the proposed garage would be pitched from right to left toward the

applicant's property to better maintain runoff on site. A 1 foot high pediment on the front façade would give the appearance of a level roof.

The siding of the structure would be clapboard, which is used on the dwelling. A 7 x 16-foot overhead garage door with 9 panels is proposed.

The architect confirmed that the boundaries of the paved driveway would not change.

The applicant proposed new landscaping as a counterbalancing amenity.

FINDINGS

Section 5.62 – Accessory Structure in Side Yard

Section 5.72 – Accessory Structure in Rear Yard

Section 6.04.5.c2 – Design of All Off-Street Parking Facilities (side lot line)

	Required / Allowed	Existing	Proposed	Relief
Accessory structure setback to side lot line	6 ft	5.5 ft	1 ft	Special Permit [*] / Variance
Accessory structure setback to rear lot line	6 ft	0	0.5 ft	Special Permit [*] / Variance
Driveway setback to side lot line	5 ft	Not specified	+/-1 ft	Special Permit [*] / Variance

* Under **Section 5.43**, the Board of Appeals may waive yard and setback requirements if a counterbalancing amenity is provided.

Section 8.02.2 – Alteration or Extension

A special permit is required to alter a pre-existing non-conforming structure or use.

PLANNING BOARD COMMENTS

The Planning Board supports this proposed garage without the roof deck, as revised. The visual impact is minimal and the amount of usable open space, especially at the ground level, is sufficient and does not need a roof deck to meet the open space requirement. The rear abutter had initially expressed concern about the visual impact of the deck, which is now eliminated from the plans.

New landscaping is proposed to mitigate the visual impact of the increased massing.

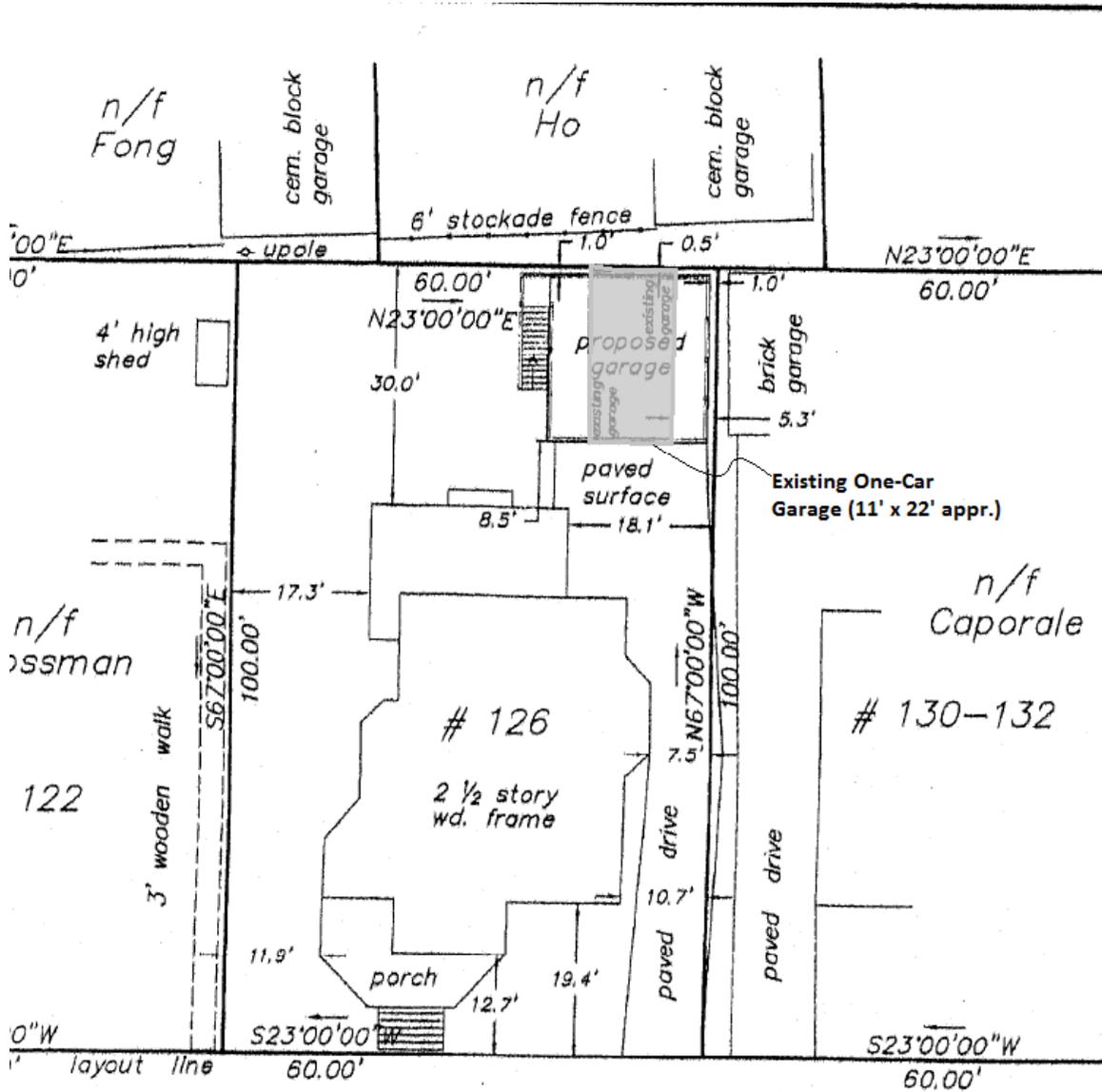
Open space requirements have been met, as certified by a registered land surveyor.

The Planning Board recommends approval of the site plan by registered land surveyor Peter McManus dated March 21, 2016, and the architectural plans by registered architect Alex A. Svirsky dated March 28, 2016, subject to the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit final site plan with open space calculations certified by a registered land surveyor, floor plans, and elevations subject to the review and approval of the Assistant Director of Regulatory Planning.

2. Prior to the issuance of a building permit, the applicant shall submit a landscape plan indicating all counterbalancing amenities subject to the review and approval of the Assistant Director of Regulatory Planning.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

mm



Site plan annotated by Planning Dept. to clarify location of existing one-car garage in relation to proposed two-car garage (Earlier version of site plan, dated 1/14/2016).



Right side yard, with view of existing one-car garage and abutter's detached garage.



View of existing garage with abutter's detached garages at the rear.



Distance between abutting garages.



The principal structure

n/f
Fong

55.78'

n/f
Ho

55.78'

55.78'

60.00'
60.00'

60.00'

60.00'

proposed
garage

PLAN OF LAND
in the
TOWN OF BROOKLINE
at
126 Thorndike Street
owned by
James Kinsella

122

n/f
Grossman

100.00'

100.00'

n/f
Caporale

130-132

126

16.3'

7.9'

AREA BREAKDOWN

Gross Floor Area 5653 sf

Open Space (15' min.)

240 sf

1674 sf

Landscape Space

514 sf

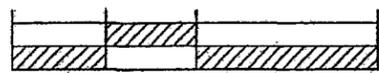
64 sf

78 sf

Total 1914 sf 33.9%

656 sf 11.6%

0' 8' 16' 32'



scale: 1 in. = 16 ft.

build-out on
columns

porch

drive

open space
240 sf

open space
64 sf

open space
78 sf

open space
514 sf

60.00'

60.00'

60.00'

THORNDIKE STREET public 40 ft.

TERRA NOVA SURVEY CONSULTANTS
1685 South Street
Bridgewater, MA 02324

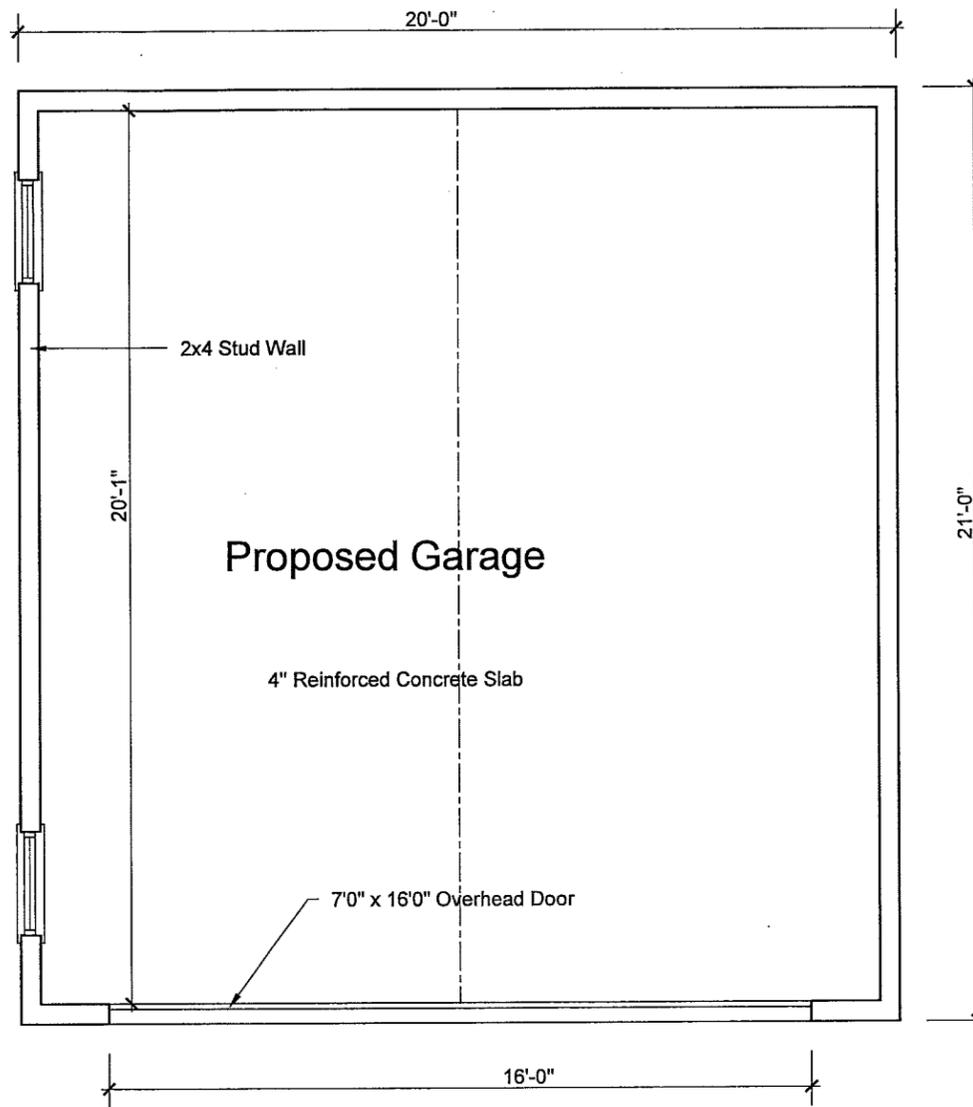
Date: March 21, 2016

Scale: 1 in. = 16 ft.



Peter R. McManus 3-21-16

Peter R. McManus PLS



1 GARAGE PLAN

Scale: 1/4" = 1'-0"

OPEN SPACE CALCULATIONS

Land Area: 6,000sf

Gross Floor Area: 5,653sf

	Required	Proposed	
Landscaped	10% - 566sf	11.6% - 656sf	conforming
Usable	30% - 1,696sf	33.9% - 1,914sf	conforming

architex team, inc.
 ARCHITECTURE DESIGN PLANNING
 36 Highgate Rd, Framingham, MA 01701
 T. (617) 277-7617 F. (617) 277-8621
 architex@gatenet.com

Project Title

GARAGE
 126 Thorndike Street, Brookline, MA



Drawing Title
 Garage Plan,
 Area
 Calculations

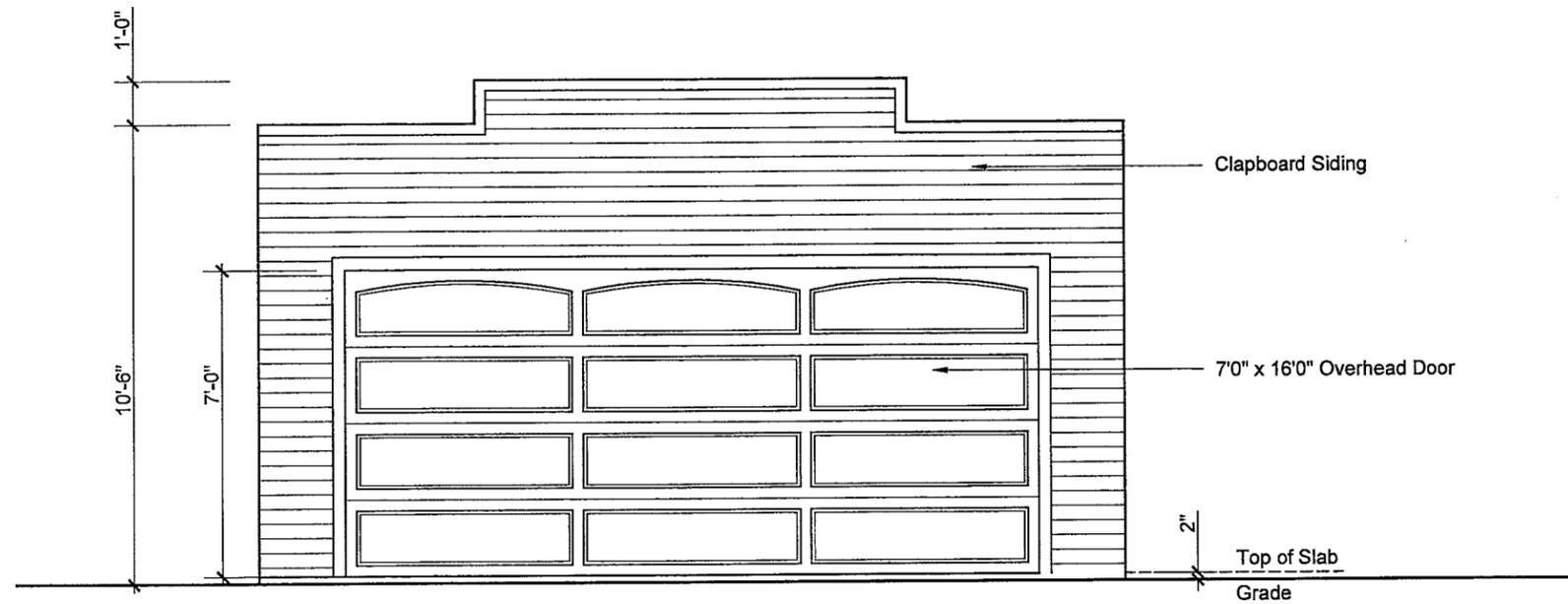
Project 1515

Date 28 MAR 2016

Scale AS NOTED

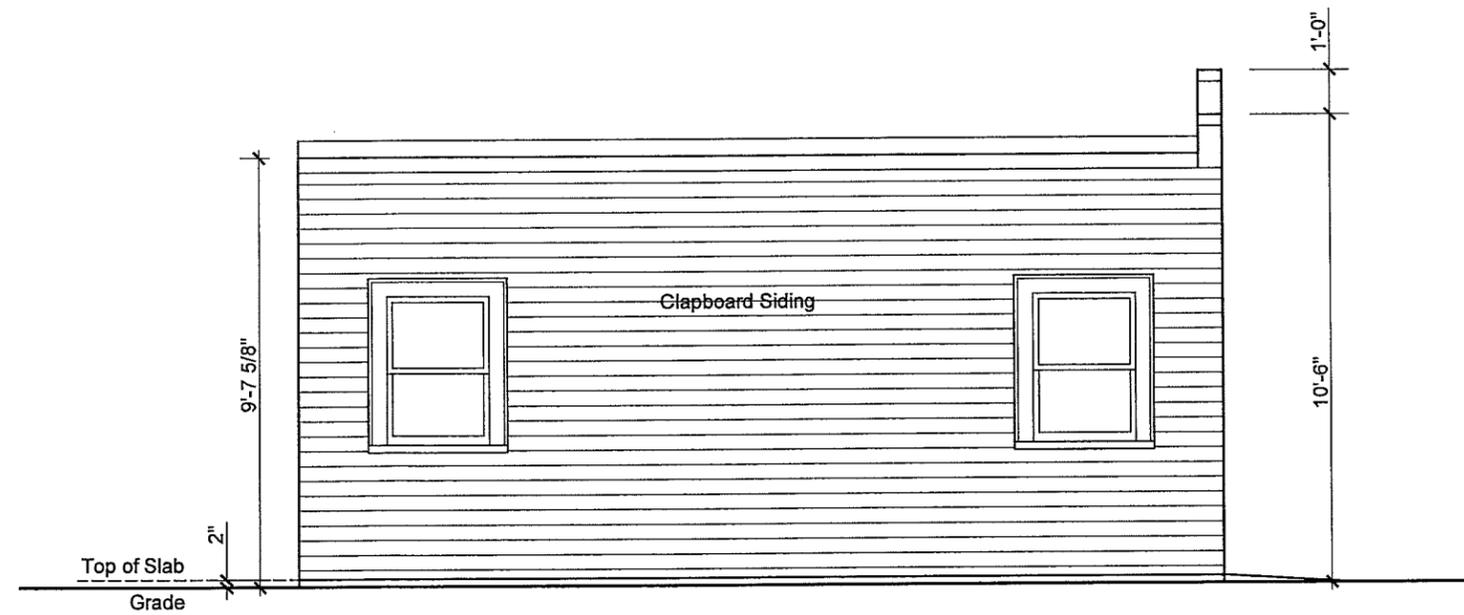
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A1



1 FRONT ELEVATION

Scale: 1/4" = 1'-0"



2 LEFT ELEVATION

Scale: 1/4" = 1'-0"

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 T. (617) 277-7617 F. (617) 277-8621
 architex@gatevnet.com

Project Title

GARAGE
 126 Thorndike Street, Brookline, MA



Drawing Title
 Elevations

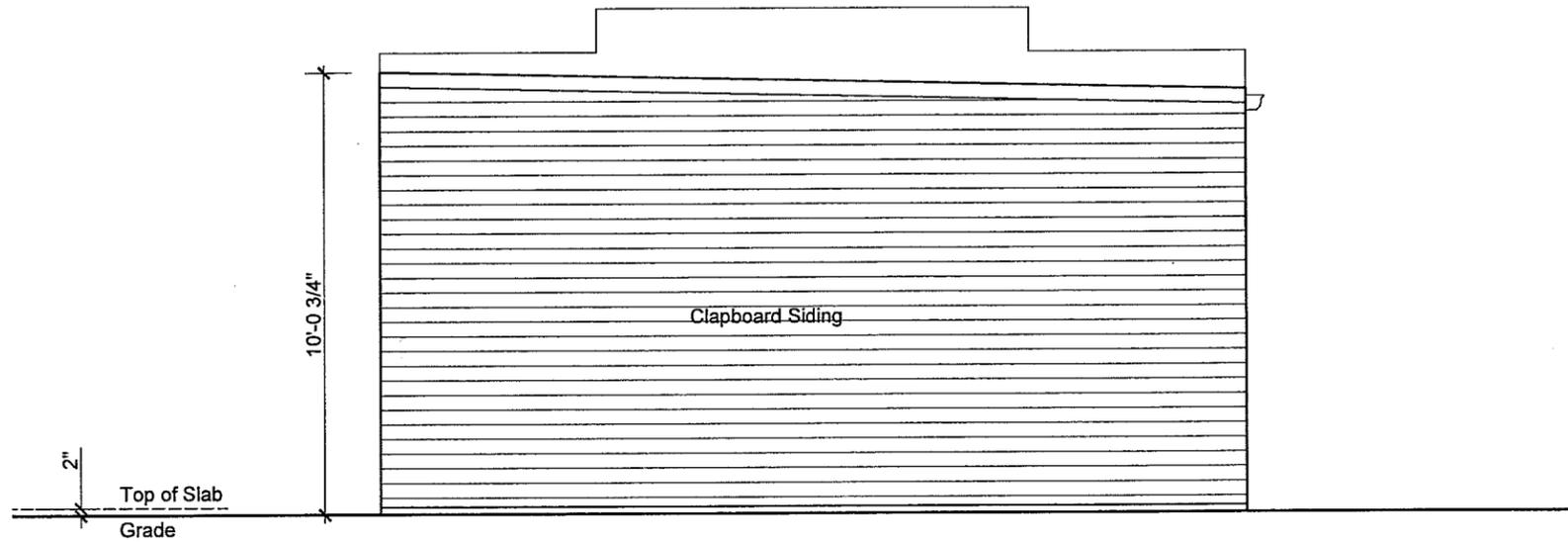
Project 1515

Date 28 MAR 2016

Scale AS NOTED

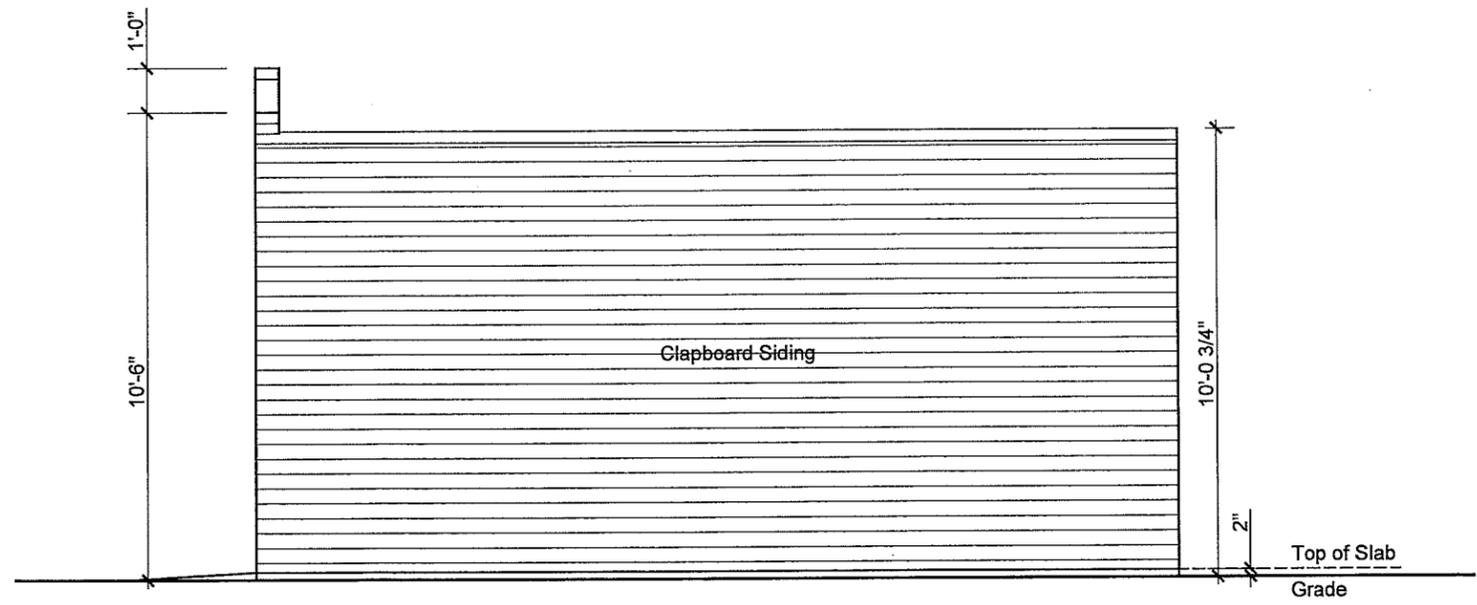
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A2



1 REAR ELEVATION

Scale: 1/4" = 1'-0"

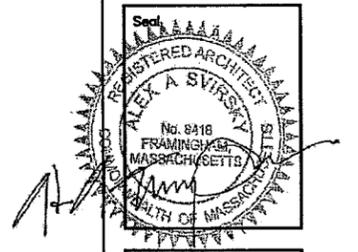


2 RIGHT ELEVATION

Scale: 1/4" = 1'-0"

architex team, inc.
 ARCHITECTURE DESIGN PLANNING
 36 Highgate Rd, Framingham, MA 01701
 T. (617) 277-7617 F. (617) 277-8621
 architex@atextnet.com

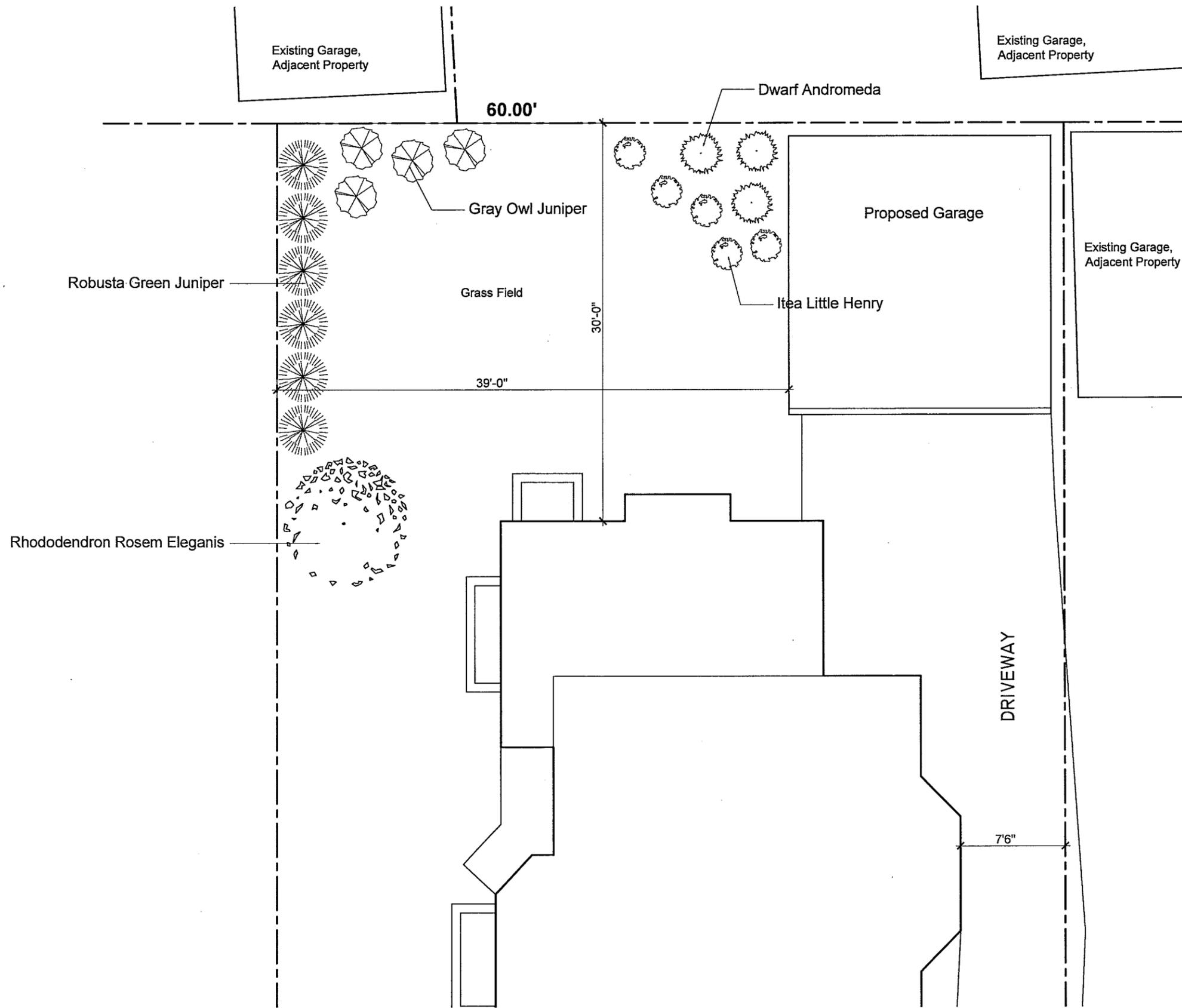
Project Title
GARAGE
 126 Thorndike Street, Brookline, MA



Drawing Title
 Elevations

Project 1515
 Date 28 MAR 2016
 Scale AS NOTED

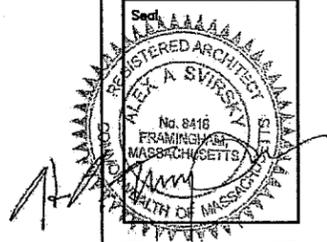
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architex team, inc.
 ARCHITECTURE DESIGN PLANNING
 36 Highgate Rd, Frammingham, MA 01701
 T: (617) 277-7617 F: (617) 277-8621
 architex@alexnet.com

Project Title

GARAGE
 126 Thorndike Street, Brookline, MA



Drawing Title
 Landscaping Plan

Project 1515
 Date 28 MAR 2016
 Scale AS NOTED

Sheet
A4

1 Rear Yard Landscaping Plan

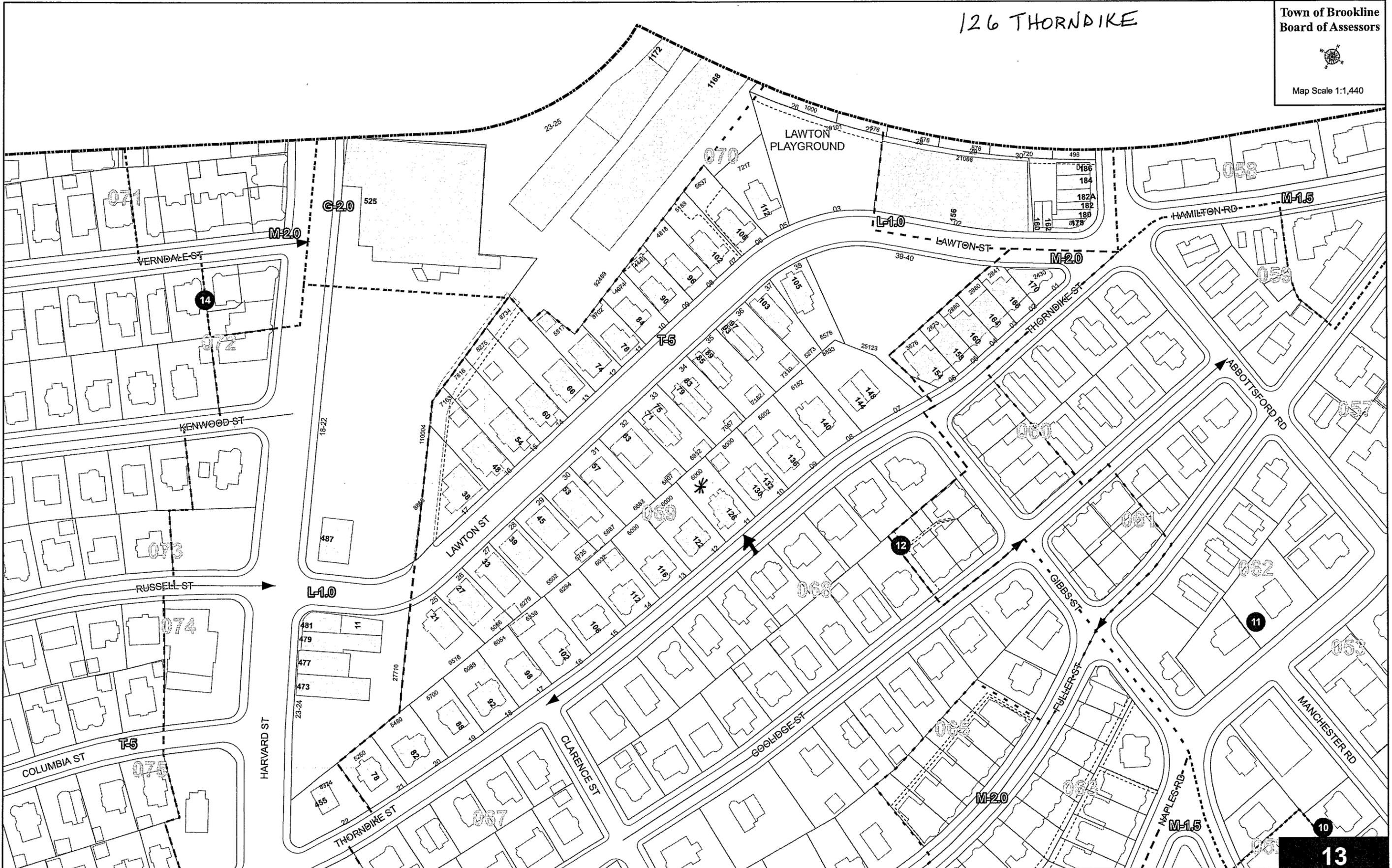
Scale: 1/8" = 1'-0"

126 THORNDIKE

Town of Brookline
Board of Assessors



Map Scale 1:1,440



* EXISTING ONE-CAR GARAGE NOT SHOWN
SEE AERIAL PHOTO



Aerial View (April 2009)