



Town of Brookline Massachusetts

PLANNING BOARD

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To: Brookline Board of Appeals
From: Brookline Planning Board
Date: March 31, 2016
Subject: Demolish existing detached one-car garage. Convert from single-family to two-family.
Location: **40 Thorndike Street**

Atlas Sheet:	14	Case #:	2015-0062
Block:	075	Zoning:	T-5
Lot:	07	Lot Area (s.f.):	5339 sf

Board of Appeals Hearing: April 7, 2016 at 7:30 pm

BACKGROUND

December 16, 2015 – The Preservation Commission issued a Certificate of Non-Significance to allow for the demolition of the existing garage.

January 21, 2016 – The Planning Board continued the case. Below is a summary of the Board's concerns:

1. Quality of fencing should be improved
2. Consider a 7 foot fence instead of 6 foot in the rear
3. Use plantings instead of fencing for screening in the front side yard
4. Eliminate stone walls at front property line to be consistent with surrounding streetscape
5. Driveway paving should be reduced if possible
6. Second floor deck on front façade is excessive
7. Provide usable open space for each unit
8. Adjust two window wells to better accommodate parking spaces and shorten driveway
9. Interior circulation and location of mudroom and front entrance could be improved
10. Elevations should have more detail
11. Address neighborhood concerns about massing and landscaping

SITE AND NEIGHBORHOOD

40 Thorndike Street is a two and a half story single-family structure. A detached single-car garage is located in the left side rear yard. According to the existing floor plans, the third floor has a separate kitchen and finished living area but no dedicated entrance.

APPLICANT'S PROPOSAL

The case was continued. Changes to the plans are described and underlined.

Applicant Mark Linsky proposes to convert the existing single-family dwelling to two-unit condominiums. Unit 1 would consist of the basement and the first floor, and Unit 2 would consist of the second floor and the expanded attic space (third floor). The existing garage in the side rear yard would be demolished and the paved driveway would be extended in this area, which requires setback relief, to create five parking spaces as required. The five parking spaces are slightly reconfigured to add about 132 sf of usable open space in this area. Although the applicant would prefer to eliminate the fifth parking space from his proposal, doing so would require a variance.

The dimensions of the basement level, entirely finished in the existing dwelling, would not change. An infill addition in the left rear portion of the structure is proposed to expand the living area on the first and second floors, requiring side yard and rear yard setback relief. The dimensions of the third floor would be expanded to add about 330 sf. Living area would be increased 434 sf overall as of right, with the proposed floor-area ratio just under 1.0, the maximum allowed in this district.

The existing conditions do not meet the minimum usable open space requirement. For a new project to conform, the plan must provide a minimum of *additional* usable open space; in this case 30% of the additional living area (434 sf). Although the initial proposal did not meet the minimum requirement for additional usable space, the revised proposal does, because of the reconfigured parking area.

Although the roof massing would change as indicated on the roof plan, the overall height of the structure would remain the same. The existing front porch off the first floor would remain, though its dimensions would decrease. The front entry would shift from the existing porch on the right to the center of the structure. The architect revised the proposal to retain the existing front yard setback, which had been one of the Planning Board's concerns. An uncovered deck off the second floor would be added, extending the existing nonconforming front yard setback.

The rear façade decks on all three floors would be rebuilt, though the length of the third-floor deck would increase.

The revised proposal addresses the Board's concerns in regard to the landscaping by proposing wood fence material and plantings in the front yard parking area and eliminating initially proposed stone walls in the front yard.

A schedule of new plantings will be proposed.

FINDINGS

Section 5.50 – Front Yard Requirements (extension of non-conformity)

Section 5.60 – Side Yard Requirements (existing)

Section 6.04.5.c3 – Design of All Off-Street Parking Facilities

	Required	Existing	Proposed	Relief
Front Yard setback	15 ft	12.9 ft	<u>12.9 ft</u>	Special Permit ^a / Variance
Side Yard setback (right)	10 ft	4.7 ft	4.7 ft	Special Permit ^a / Variance
Setback to Driveway	5 ft	1 ft left 1.6 ft rear	0 ft left 1.6 ft rear	Special Permit ^a / Variance

a. Under **Section 5.43**, the Board of Appeals may waive yard and setback requirements and grant a special permit if a counterbalancing amenity is provided. The applicant is proposing to provide additional landscaping as a counterbalancing amenity.

Section 5.91 – Minimum Usable Open Space

	Required / Allowed	Existing	Proposed	Relief
Floor Area Ratio	5339 sf 1.0	<u>4816 sf</u> <u>0.902</u>	<u>5250 sf</u> <u>0.983</u>	Complies
Usable Open Space	<u>130 sf^b</u> additional space <u>797 sf</u> total space	667 sf total space	<u>132 sf</u> additional space <u>799 sf</u> total space	<u>Complies</u>

b. Applicant must provide additional usable open space, calculated as 30% of only the proposed additional living area—in this case 30% of 434 sf, which yields 130 sf of additional usable open space required.

Section 8.02.2 – Alteration or Extension

A **special permit** is required to alter a pre-existing non-conforming structure or use.

PLANNING BOARD COMMENTS

The Planning Board is supportive of the revised proposal. The two-family use is consistent with the district zoning and the development pattern of this neighborhood. In addition, the increase in floor area is reasonable for a two-family conversion and would be as-of-right. The setback relief is minimal and the proposed fences, one of the counterbalancing amenities offered, would be effective.

The parking shows five parking spaces, which is required; however, the tandem spots on the left can be moved away from the rear lot--without locating the parking in the front yard setback--to increase the usable space in the rear and reduce the impact on the left side abutter.

Although the Planning Board was initially concerned about the added massing on the front façade, the applicant has reduced the massing of the existing porch and the front entry, which makes the new second-floor deck an acceptable amenity. The proposed fence material would be wood with decorative lattice and is a considerable improvement.

The project team responded favorably to the Board’s recommendations and met with neighbors to address their concerns. Neighbors who attended the meeting thanked the project team for its willingness to work with them on improving the design.

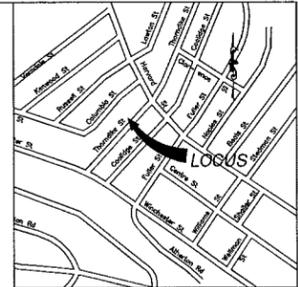
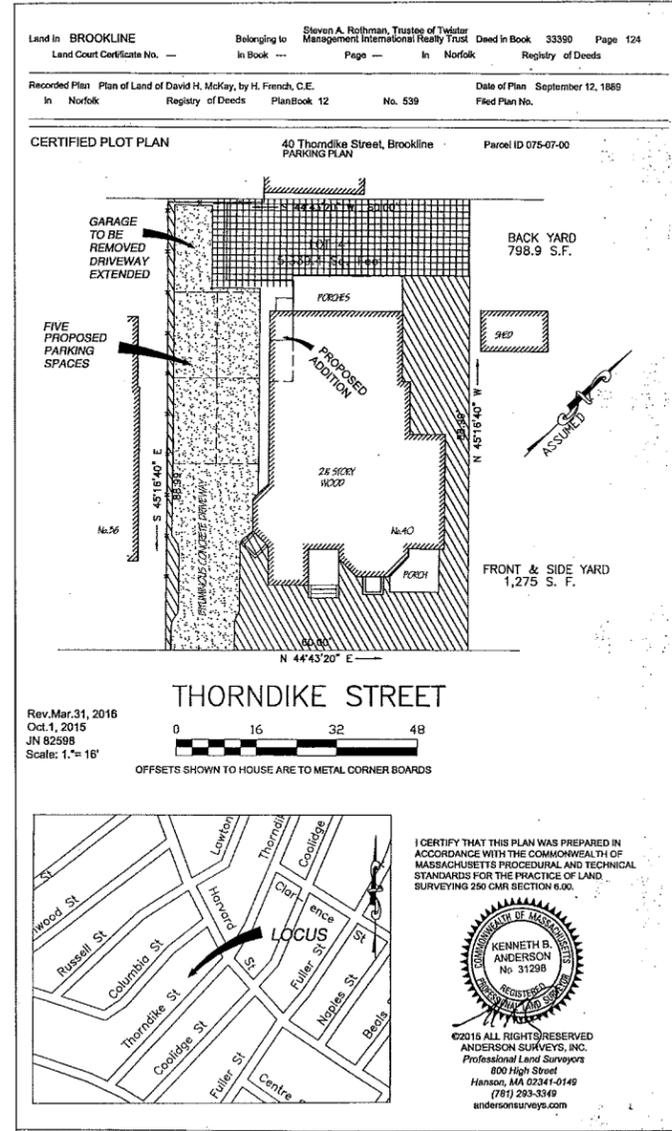
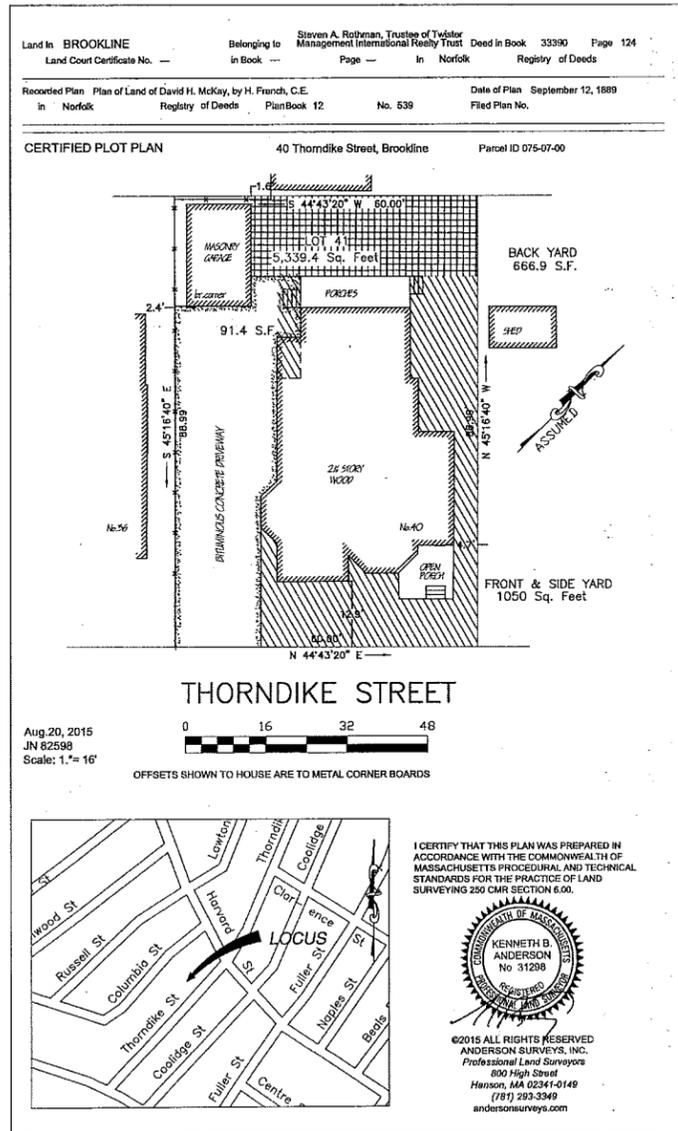
The Planning Board recommends that the project team consult with the Town Arborist and specify how street trees in front of the property will be protected during construction. The Planning Board also recommended that more thought be put into the landscaping plan to ensure that there would be year round plantings. The Board also recommended refining the rakes on the roof, would seem a bit heavy and wide, and using a color other than beige for the siding, which has been typically used on remodeled homes in the area.

The Planning Board recommends approval of the site plan by professional land surveyor Kenneth Anderson dated 3/31/2016, and the architectural plans by registered architect Derek Rubinoff, revised 3/11/2016 and 3/31/2016, subject to the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit final corrected site plan with open space calculations and updated parking configuration certified by registered land surveyor and final floor plans and elevations subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a final landscape plan indicating all counterbalancing amenities subject to the review and approval of the Assistant Director of Regulatory Planning, with the advice of the Planning Board.
3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

mm

Floor Area Breakdown				
Basement finished/living area	na	1203	1203	No change
First Floor	na	<u>1558</u>	<u>1584</u>	Exterior addition
Second Floor	na	<u>1307</u>	<u>1388</u>	Exterior addition
Third Floor (attic)	na	<u>748</u>	<u>1075</u>	Expansion is as of right.



LOCUS PLAN

40 THORNDIKE ST. BROOKLINE, MA

DATE: October 1, 2015
 Rev. Feb.29, 2016
 Rev. Mar.28, 2016
 Rev. Mar.31, 2016

ANDERSON SURVEYS, INC.
 Professional Land Surveyors
 800 HIGH STREET
 HANSON, MA 02341-0149
 (781) 293-3349

SCALE: 1"= AS NOTED

RESERVED FOR REGISTRY OF DEEDS

Existing Gross Floor Area Schedule			
Name	Level	Area Type	Area
Existing Basement GFA	Basement	Gross Building Area	1203 SF
Existing 1st Floor GFA	First Floor	Gross Building Area	1598 SF
Existing 2nd Floor GFA	Second Floor	Gross Building Area	1307 SF
Existing 3rd Floor GFA	Third Floor	Gross Building Area	1748 SF
Grand total:			4856 SF

Proposed Gross Floor Area Schedule			
Name	Level	Area Type	Area
Proposed Basement GFA	Basement	Gross Building Area	1203 SF
Proposed 1st Floor GFA	First Floor	Gross Building Area	1584 SF
Proposed 2nd Floor GFA	Second Floor	Gross Building Area	1388 SF
Proposed 3rd Floor GFA	Third Floor	Gross Building Area	1075 SF
Grand total:			5250 SF

ZONING SUMMARY				
Zoning District 1-5				
DESCRIPTION	CODE REFERENCE	REQUIRED/ALLOWED	EXISTING	PROPOSED
GENERAL				
USE	TABLE S 01	RESIDENTIAL USE--TWO-FAMILY DWELLING	ALLOWED	ALLOWED
CONVERSION TO TWO FAMILY DWELLING	S 5.03	ALLOWED IF ALL DIMENSIONAL REQUIREMENTS ARE MET OR, IF BOARD ALLOWS, NO NON-COMFORMITIES ARE INCREASED	SINGLE-FAMILY	TWO FAMILY BUILDING IS PROPOSED TO INCREASE SLIGHTLY IN REAR SETBACK
SETBACKS				
LOT AREA	TABLE S 01	6,900 SF	5,324 SF	NO CHANGE, CONFORMS
GROSS FLOOR AREA (PER ZONING DEFN)	TABLE S 01	5,200 SF	4,816 SF	NO CHANGE, CONFORMS
FAR	TABLE S 01	1	0.90	NO CHANGE
MIN FRONT YARD SETBACK	TABLE S 01	10'	CONFORM EXCEPT FOR SUNROOM	NO CHANGE
MIN SIDE YARD SETBACK	TABLE S 01	10'	WEST CONFORMS, EAST ENTRY DOES NOT	WEST CONFORMS, EAST NON-COMFORMITY TO REMAIN
MIN REAR YARD SETBACK	TABLE S 01	30'	REAR DECK AND REAR OF HOUSE VIOLATE SETBACK	EXISTING NON-COMFORMING DECK TO BE REMOVED, EXISTING 3RD FL NON-COMFORMING DECK TO BE REBUILT.
BUILDING HEIGHT	TABLE S 01	35'	34'	35'
OPEN SPACE % LANDSCAPE	TABLE S 01	10% (533.9 SF REQUIRED)	SEE SHEET A1.2	SEE SHEET A1.2
OPEN SPACE % USABLE	TABLE S 01	30% (1,901.7 SF REQUIRED)	SEE SHEET A1.2	SEE SHEET A1.2
PARKING REQUIREMENTS	S 5.02 (1) TABLE	4.6	4.2	4.2
PARKING SIDE/REAR SETBACK	S 5.04 (D) (1) (2)	9'	NONE	NONE

Sheet List	
Sheet Number	Sheet Name
A0.0	Zoning Summary, Schedules
A0.1	Existing Basement Floor and Second Floor Plans
A0.2	Existing Second Floor and Third Floor Conditions Plans
A0.3	Existing Roof/Site Plan and Photos
A0.4	Existing South Elevation and Photos
A0.5	Existing North Elevation
A0.6	Existing West Elevation
A0.7	Existing East Elevation
A1.0	Proposed Basement and First Floors
A1.1	Proposed Second and Third Floors
A1.2	Proposed Roof/Site Plan and Open Space Calculations
A1.3	Proposed South Elevation
A1.4	Proposed North Elevation
A1.5	Proposed West Elevation
A1.6	Proposed East Elevation
A1.7	Proposed 3D Views
A1.8	Street Context

40 Thorndike Street
Brookline, MA 02446

Conversion to Two Family and Renovation

Revised Zoning Submission Set 03-11-2016

PROJECT SCOPE:

The scope of this project is two renovate an existing single-family house into a two-family house containing two condominiums.

PROJECT DIRECTORY	
OWNER: Twister Management International Realty c/o At Home Realty 1212B Commonwealth Ave. Allston, MA 02134 CONTACT: Mark Linsky PHONE: (617) 694-4208 EMAIL: mark@athomere.com	CONTRACTOR: Superior Construction 11 Henshaw St., Unit B Brighton, MA 02135 CONTACT: Matt McNamara PHONE: (617) 892-3418 EMAIL: Matt.McNamara@gmail.com
ARCHITECT: Derek Rubinf, Architect 101 Laseil Street West Roxbury, MA 02132-3135 CONTACT: Derek Rubinf, AIA, LEED AP PHONE: (617) 504-2599 EMAIL: drubinf@derekubinf.com	
CODE SUMMARY	LOCATION MAP
APPLICABLE CODES BUILDING: 780 CMR: MASSACHUSETTS RESIDENTIAL CODE, 8TH EDITION	

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ARCHITECTURE INTERIORS CONSULTANTS INC.

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TOWN OF BROOKLINE
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

No.	By	Date	Description
1		3/11/2016	Revision 2 Zoning Set
2		2/22/2016	Revised Zoning Submission Set
3		10/01/2015	Zoning Submission Set

40 Thorndike Street

SEAL OF ARCHITECT
DEREK RUBINF
No. 20071
EST. ROXBURY, MA
STATE OF MASSACHUSETTS

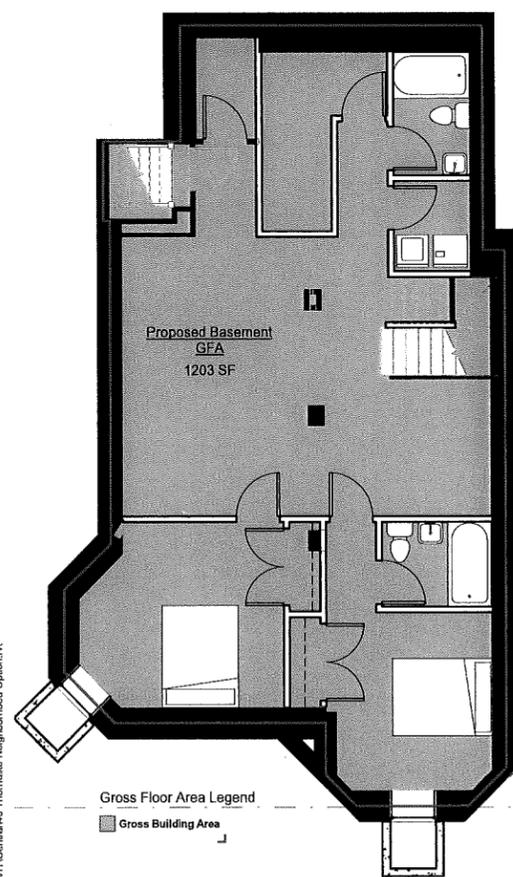
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Brookline, MA 02446

Zoning Summary,
Schedules

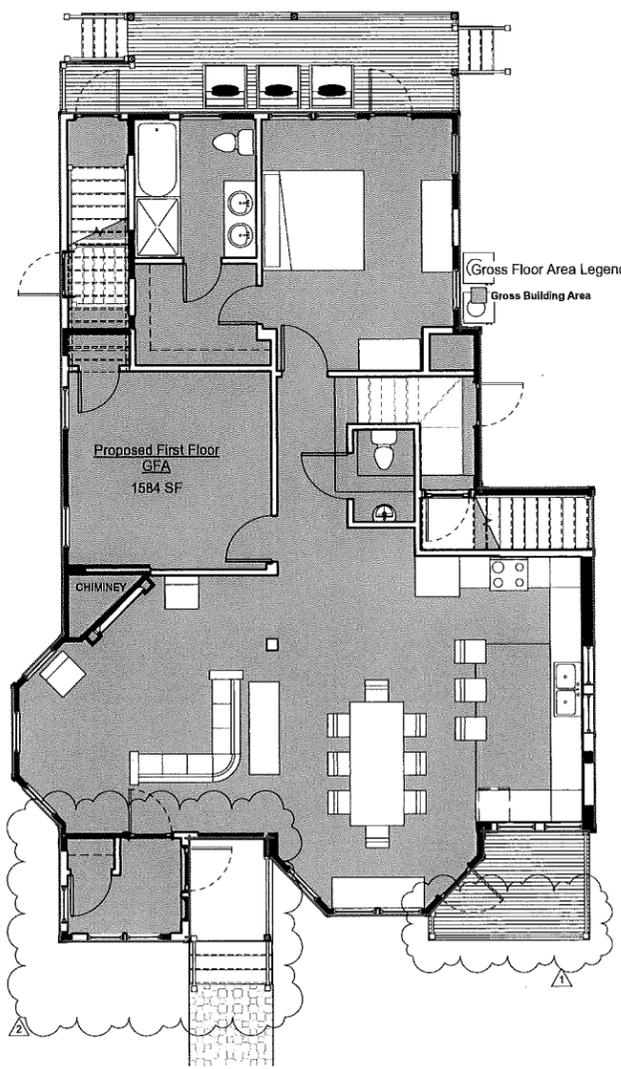
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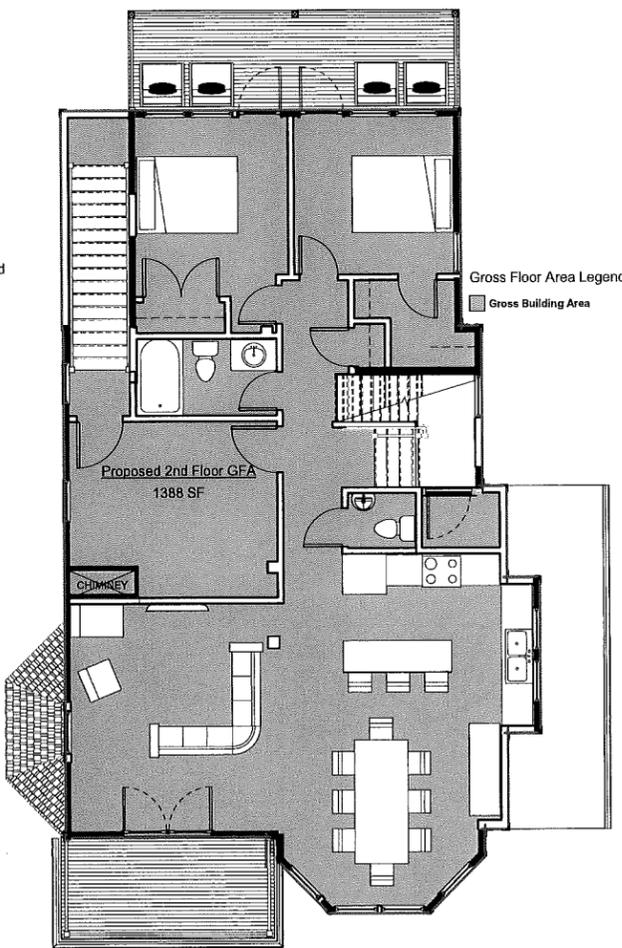
Gross Floor Area Legend
■ Gross Building Area

3 Proposed Basement
3/16" = 1'-0"



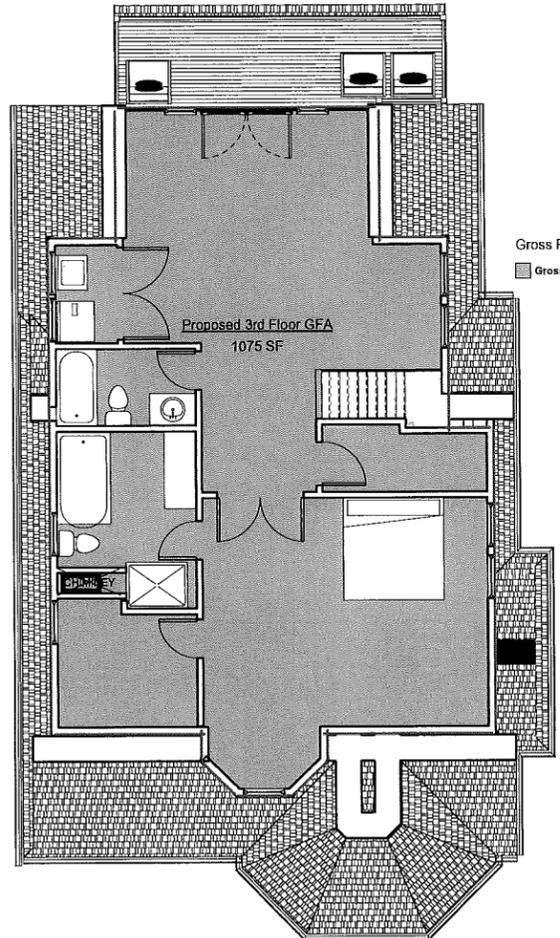
Gross Floor Area Legend
■ Gross Building Area

4 Proposed First Floor
3/16" = 1'-0"



Gross Floor Area Legend
■ Gross Building Area

5 Proposed Second Floor
3/16" = 1'-0"



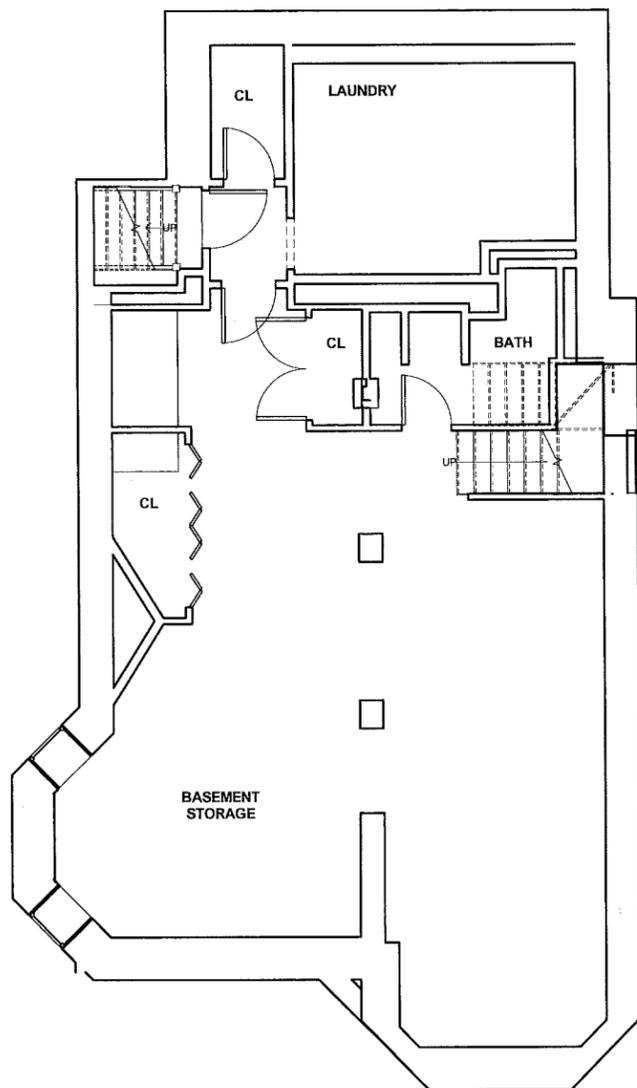
Gross Floor Area Legend
■ Gross Building Area

6 Proposed Third Floor
3/16" = 1'-0"

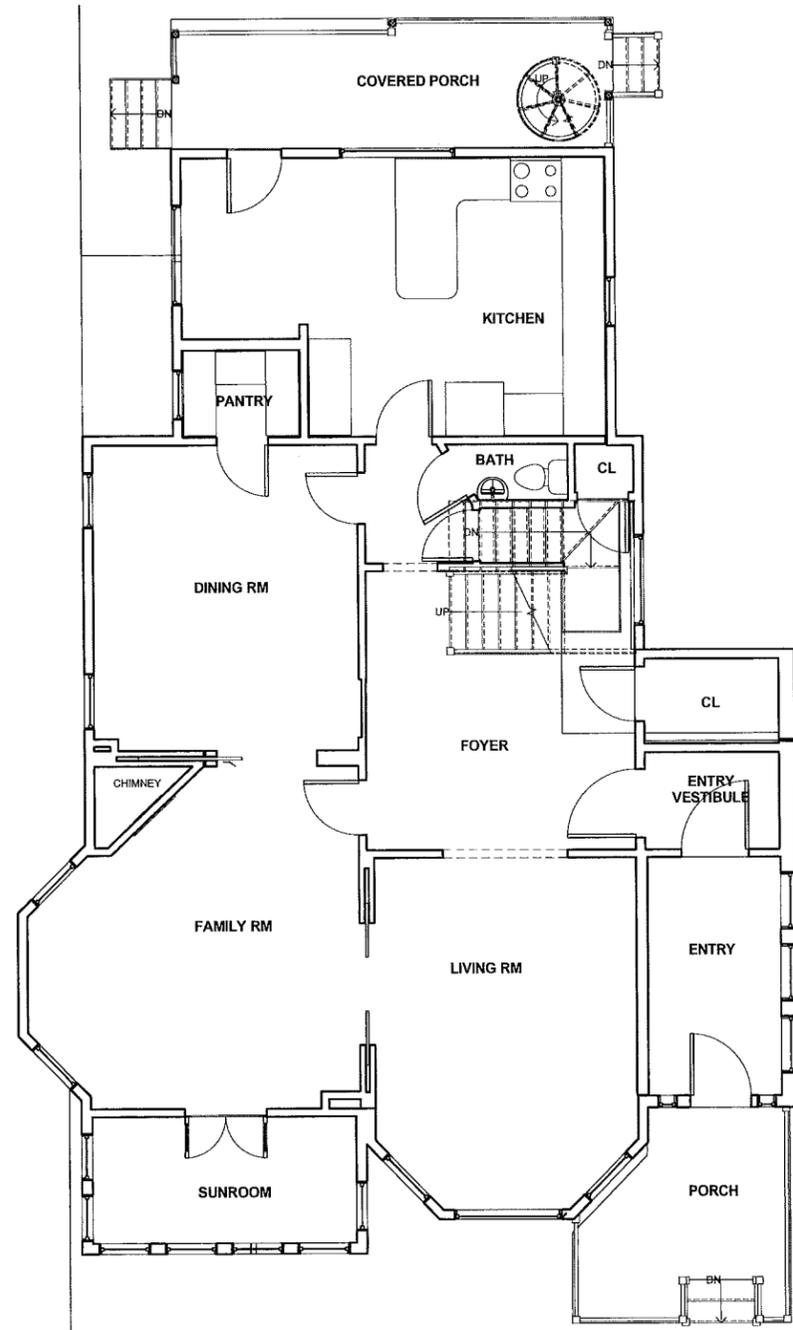




PLAN LEGEND	
	EXISTING PARTITION
	TO BE DEMOLISHED
	NEW PARTITION



① Existing Basement
1/4" = 1'-0"



② Existing First Floor
1/4" = 1'-0"

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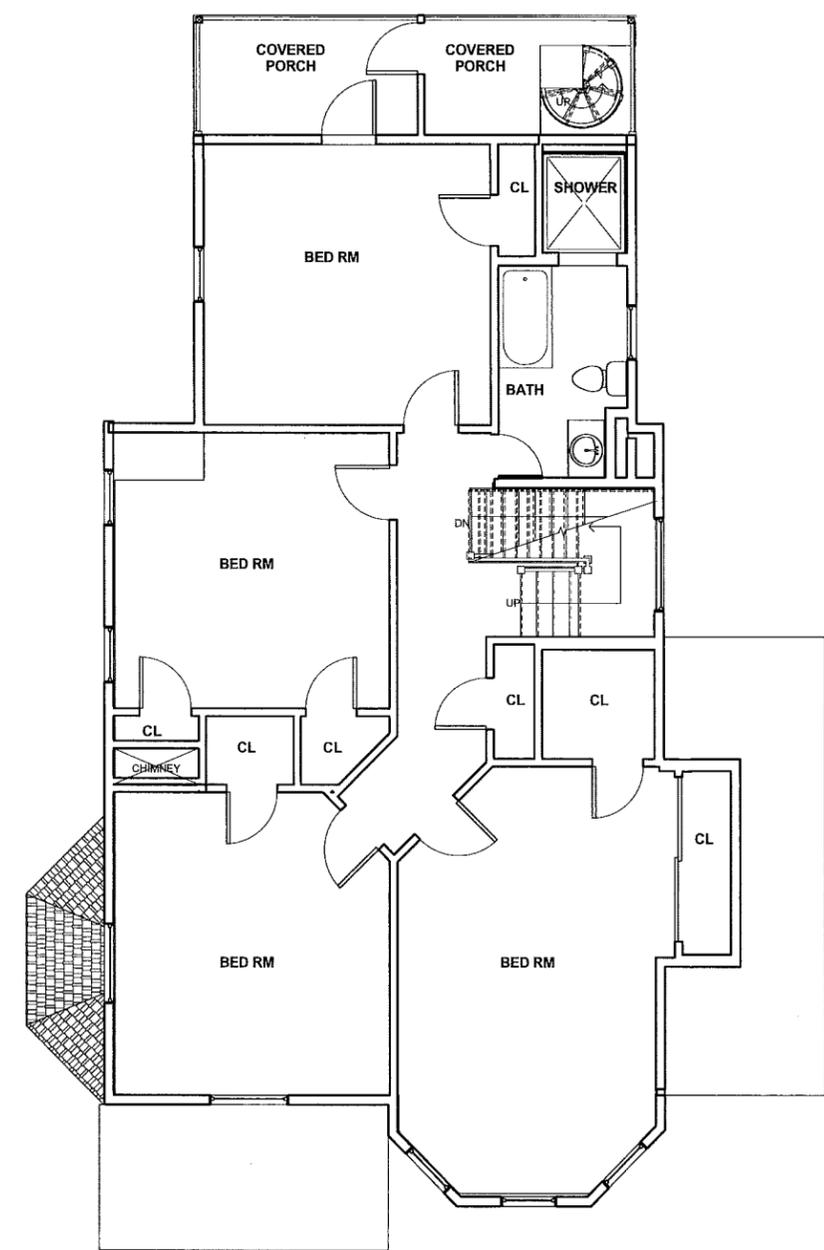


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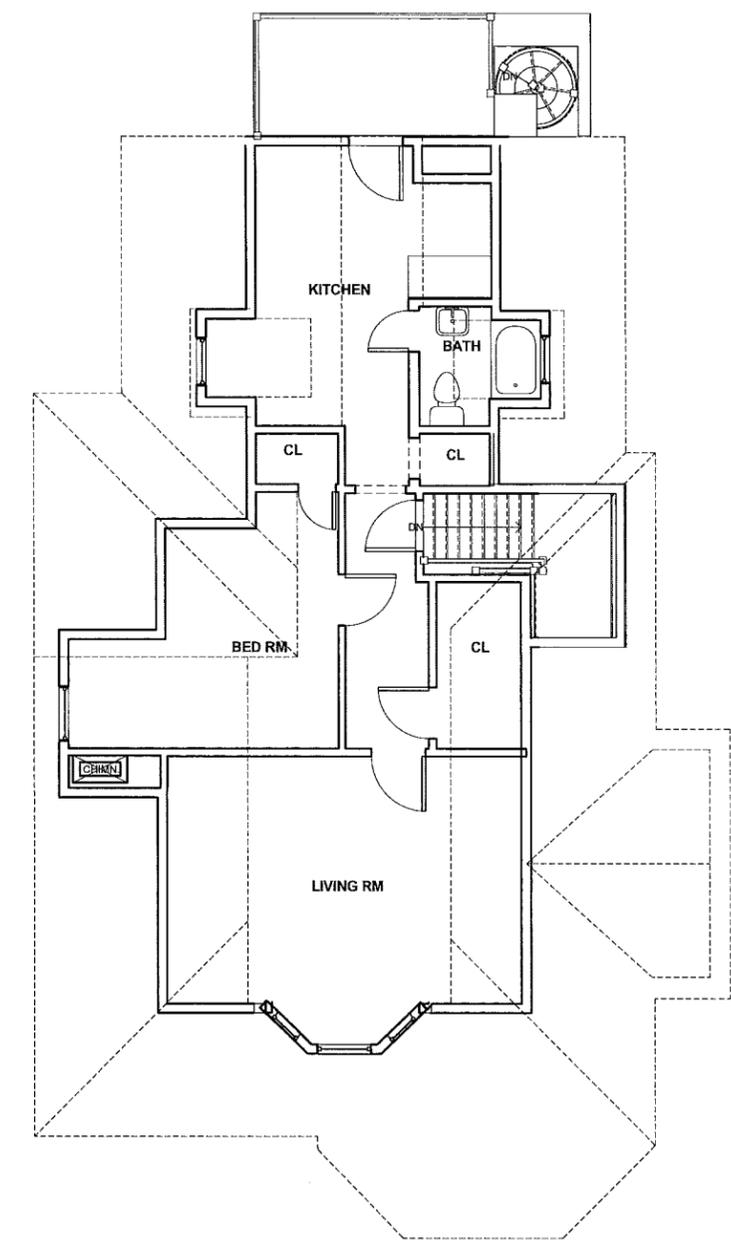
Existing Basement Floor
 and Second Floor Plans

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3 Existing Second Floor
1/4" = 1'-0"



4 Existing Third Floor
1/4" = 1'-0"

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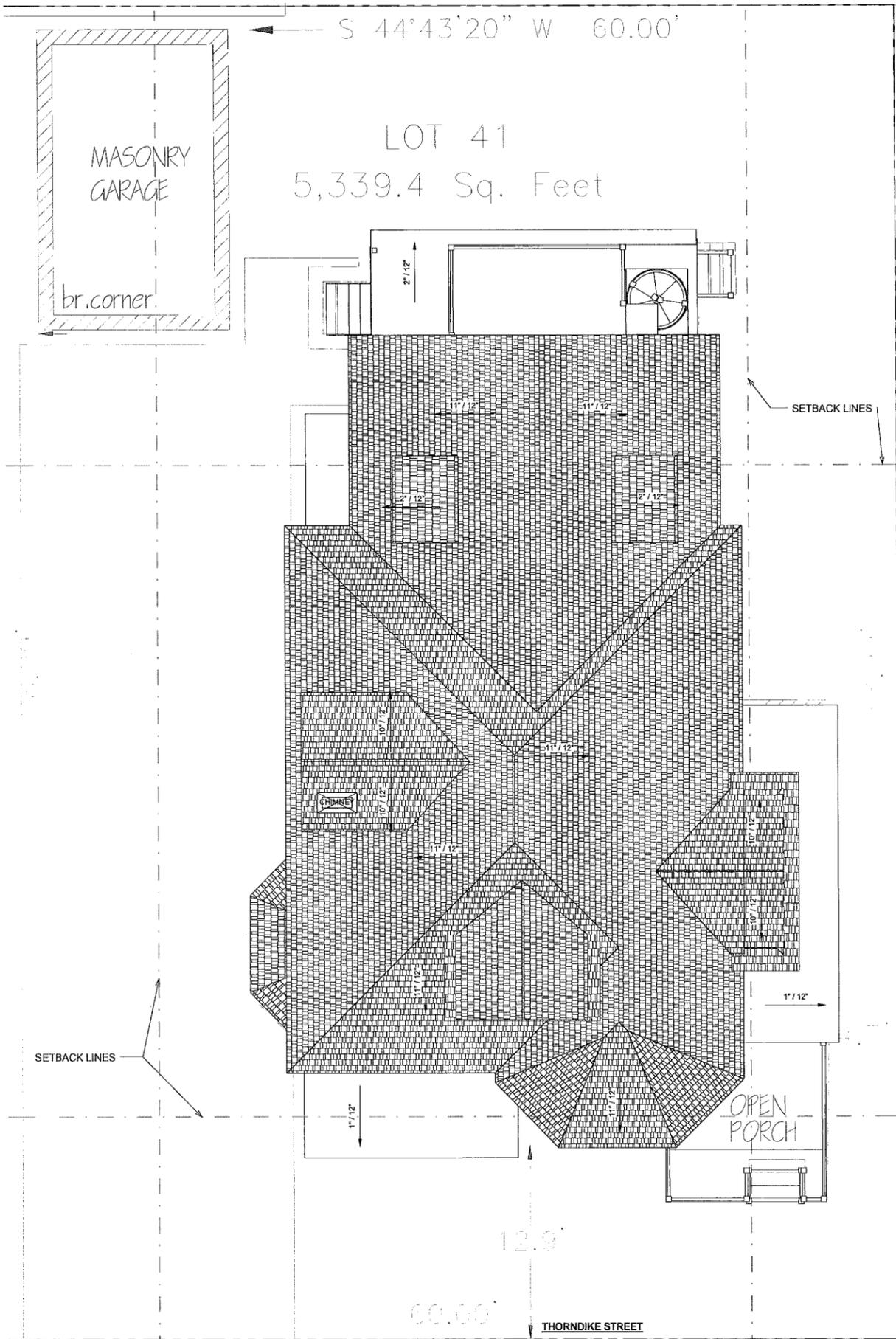
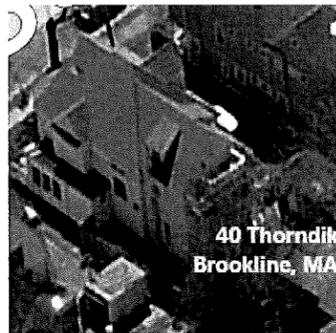
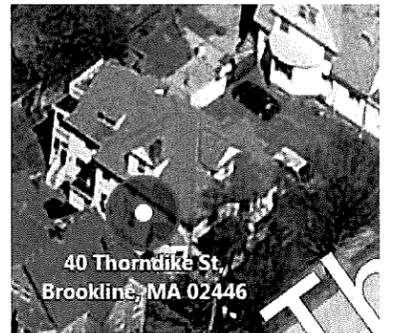
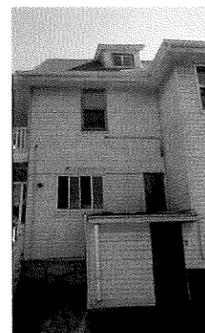
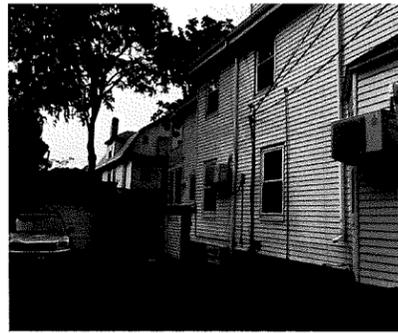
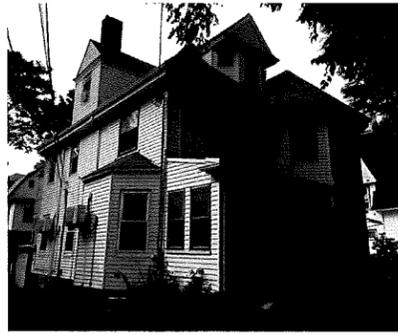
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40 Thorndike Street
Brookline, MA 02446

Existing Second Floor
and Third Floor
Conditions Plans

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 Brookline, MA 02446

Existing Roof/Site Plan and Photos

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Existing Site Photos

1 Existing Roof Plan Showing Existing Site
 1/4" = 1'-0"



1 Existing South Elevation
3/8" = 1'-0"

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CONSULTANTS: CONNOR LEE, NICHOLAS VENTURA

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40 Thorndike Street

40 Thorndike Street
Brookline, MA 02446

Existing South Elevation
and Photos

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② Existing North Elevation
3/8" = 1'-0"

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2		2/22/2016	Revised Zoning Submission Set
3		12/01/2015	Zoning Submission Set

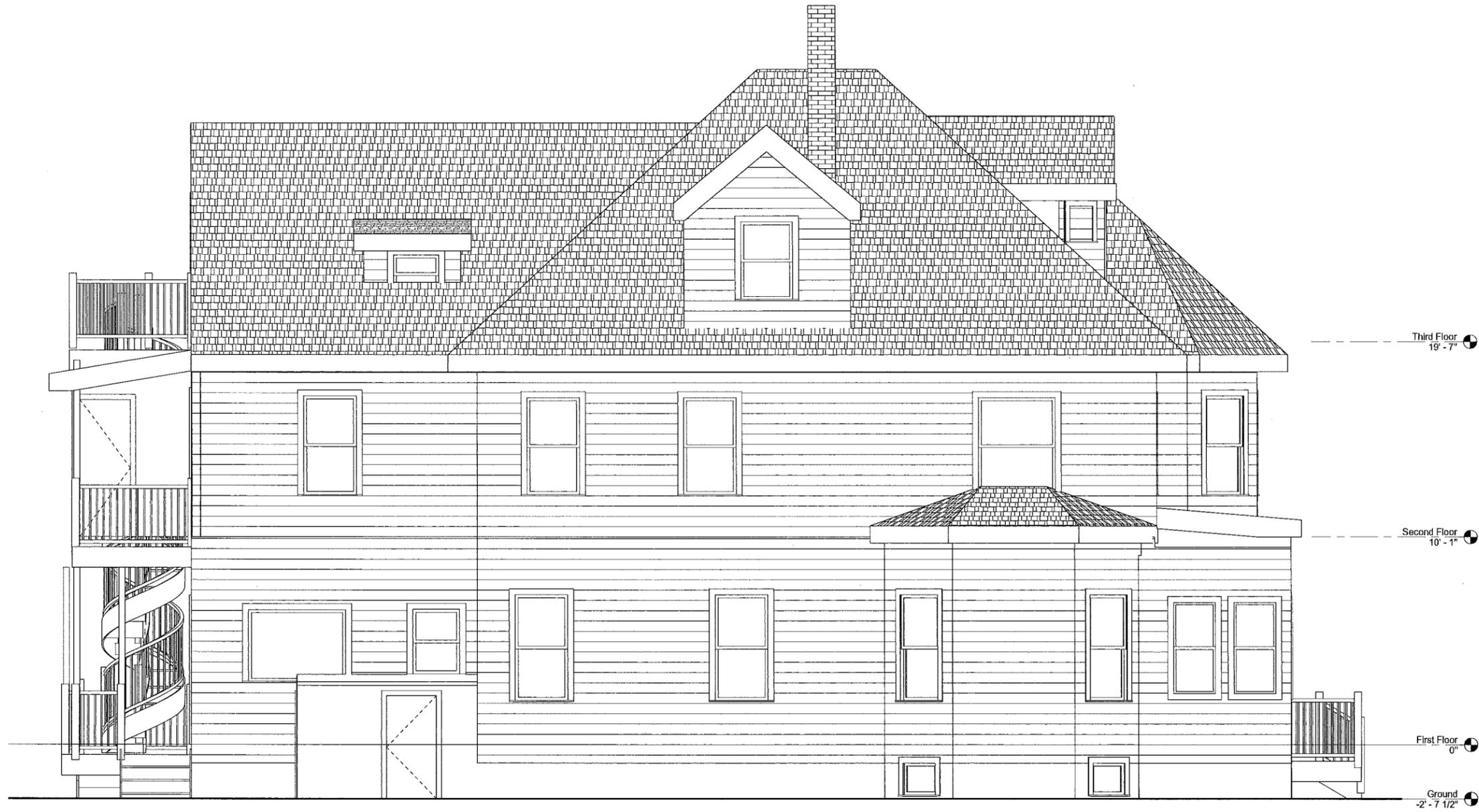
40 Thorndike Street



40 Thorndike Street
Brookline, MA 02446
Existing North Elevation

Checked By: _____ Checker: _____
Job No: _____ 1546

A0.5



1 Existing West Elevation
3/8" = 1'-0"

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EMAIL: Matt.McNamara@gmail.com

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3		10/5/2015	Zoning Submission Set

40 Thorndike Street



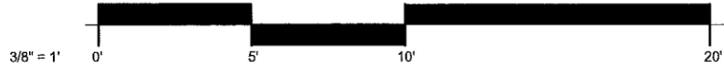
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40 Thorndike Street
Brookline, MA 02446

Existing West Elevation

Checked By: _____ Checker: _____
Job No: _____ 1546

A0.6



1 Existing East Elevation
3/8" = 1'-0"

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3		10/12/2015	Zoning Submittal Set

40 Thorndike Street

40 Thorndike Street
Brookline, MA 02446

Existing East Elevation

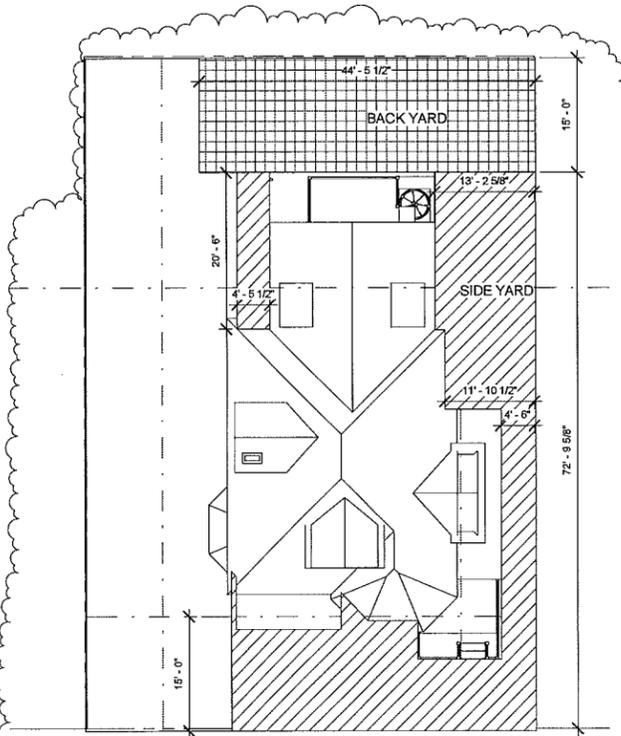
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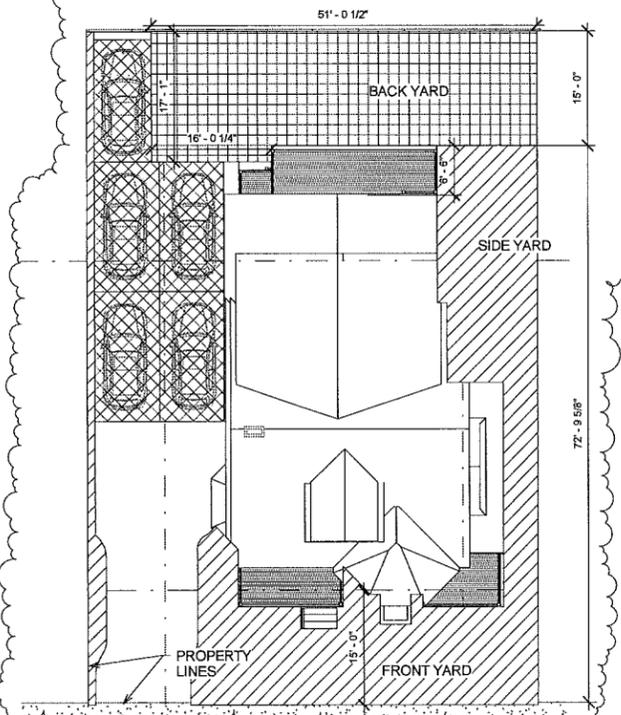
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3/32" = 1'
0' 5' 10' 20' 30'

3/16" = 1'
0' 5' 10' 20'



2 Existing Open and Landscaped Open Space
3/32" = 1'-0"



3 Proposed Open and Landscaped Open Space
3/32" = 1'-0"

EXISTING OPEN AND LANDSCAPED OPEN SPACE CALCULATIONS:

USABLE OPEN SPACE: 30%
 BACK YARD: 666.86 SF
 REQUIRED: 1444.8 SF
 TOTAL: 666.86 SF

OPEN LANDSCAPED SPACE: 10%
 SIDE YARD & FRONT YARD: 1,050.00 SF
 SMALL AREA IN BACK YARD: 91.40 SF
 REQUIRED: 481.6 SF
 TOTAL: 1,141.40 SF

OPEN SPACE PER ZONING SECTION 5.91
 LANDSCAPED OPEN SPACE PER ZONING SECTION 5.90

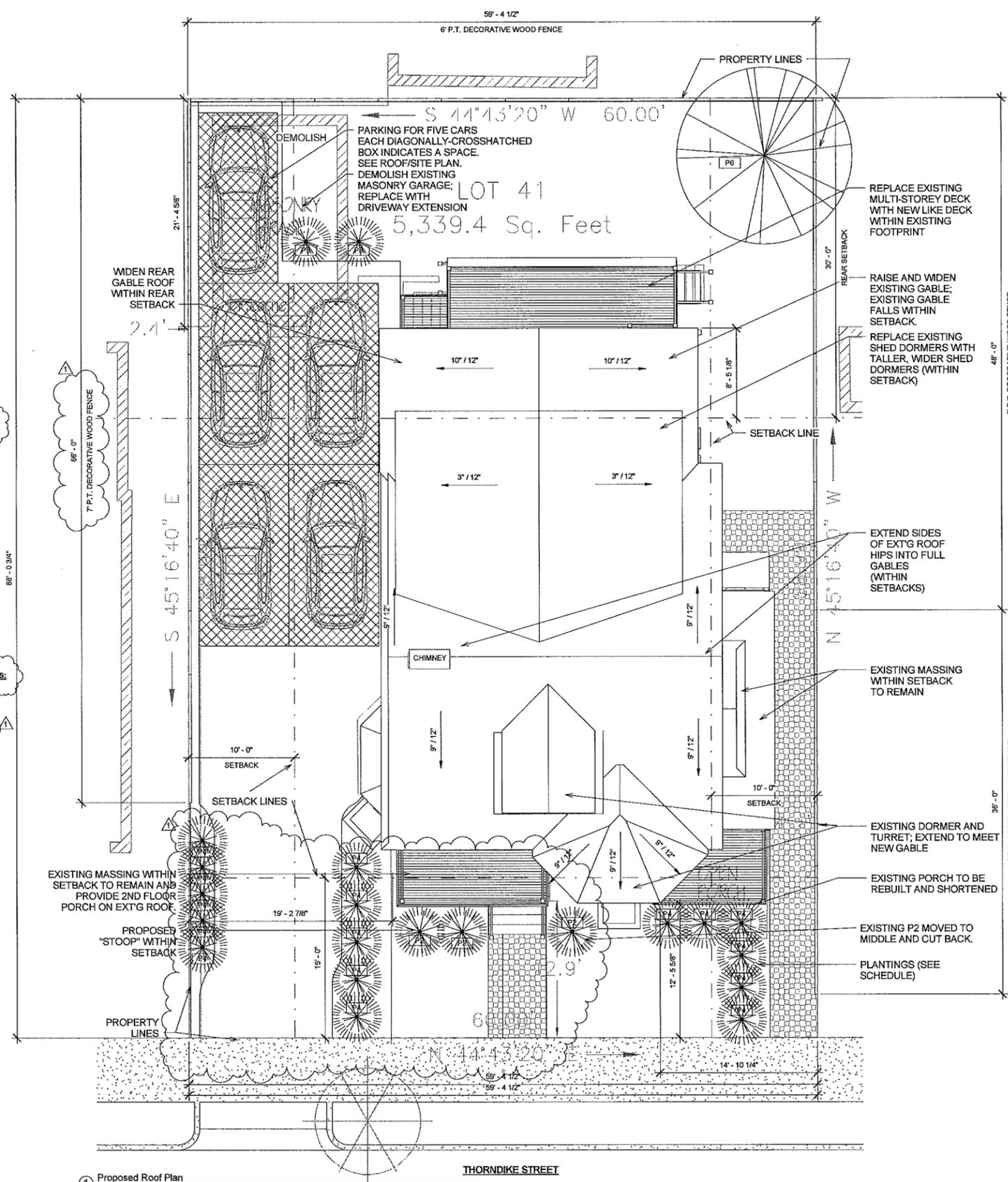
PROPOSED OPEN AND LANDSCAPED OPEN SPACE CALCULATIONS:

USABLE OPEN SPACE: 30%
 BACK YARD: 798.96 SF
 ADDITIONAL SF REQUIRED: 130.2 SF
 EXISTING: 666.86 SF
 TOTAL PROPOSED: 798.96 SF (132 SF)

OPEN LANDSCAPED SPACE: 10%
 SIDE YARD & FRONT YARD: 1274.78 SF
 SMALL AREA IN BACK YARD: 14.12 SF
 ADDITIONAL SF REQUIRED: 43.4 SF
 EXISTING: 520.6 SF
 TOTAL PROPOSED: 1,288.9 SF (759.38F)

Planting Schedule

Type Mark	Count	Type
P2	3	Rhododendron 4'-0"
P3	12	Blauberry 3'-4"
P4	16	Hosta 2'-9" 2
P6	1	Red Maple - 30"



1 Proposed Roof Plan
3/16" = 1'-0"

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40 Thorndike Street

REGISTERED ARCHITECT
 DEREK A. RUBINOFF
 No. 20071
 WEST ROXBURY, MA
 COMMONWEALTH OF MASSACHUSETTS

40 Thorndike Street
 Brookline, MA 02446

Proposed Roof/Site Plan and Open Space Calculations

Checked By: _____ Checker
 Job No: _____ 1546

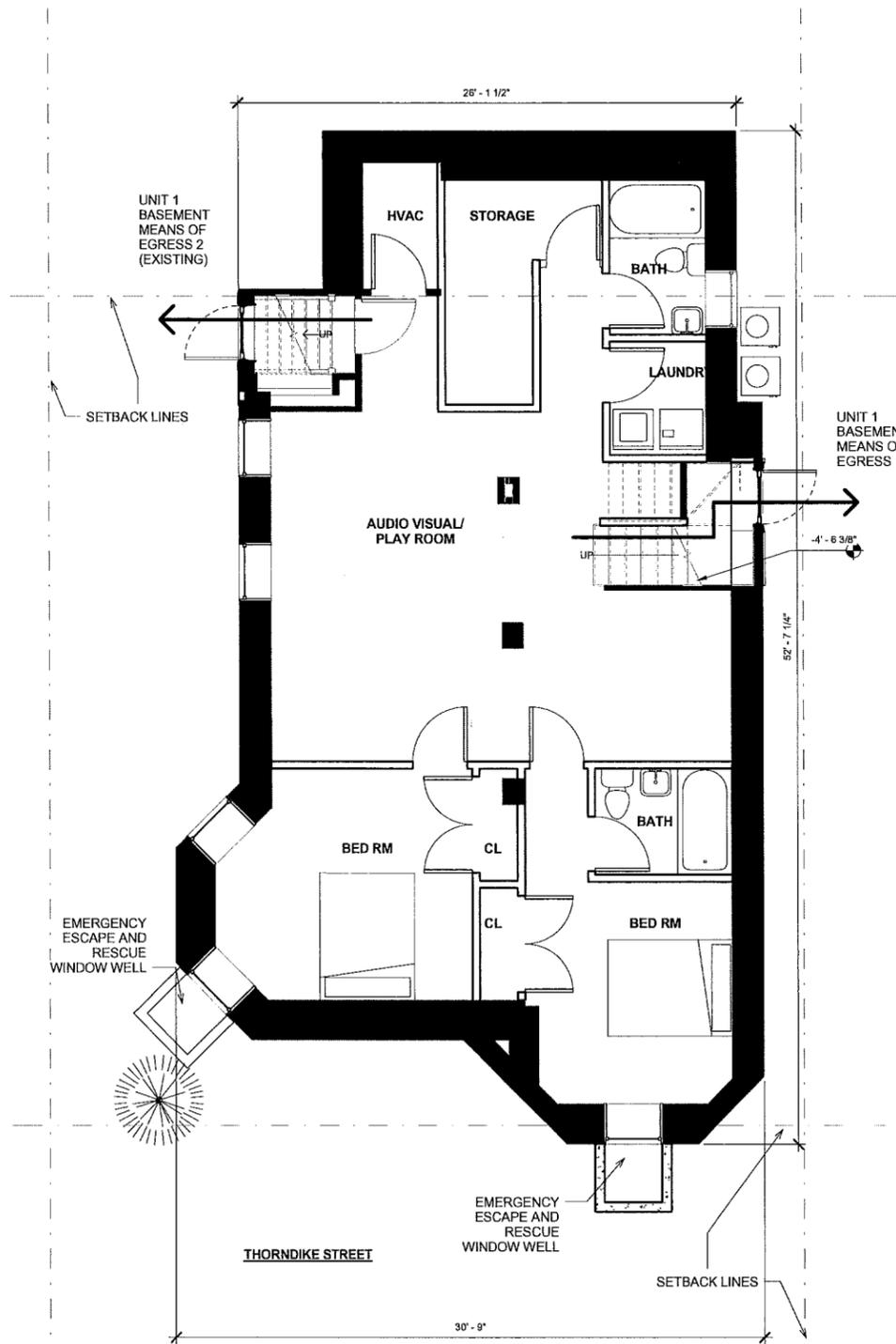
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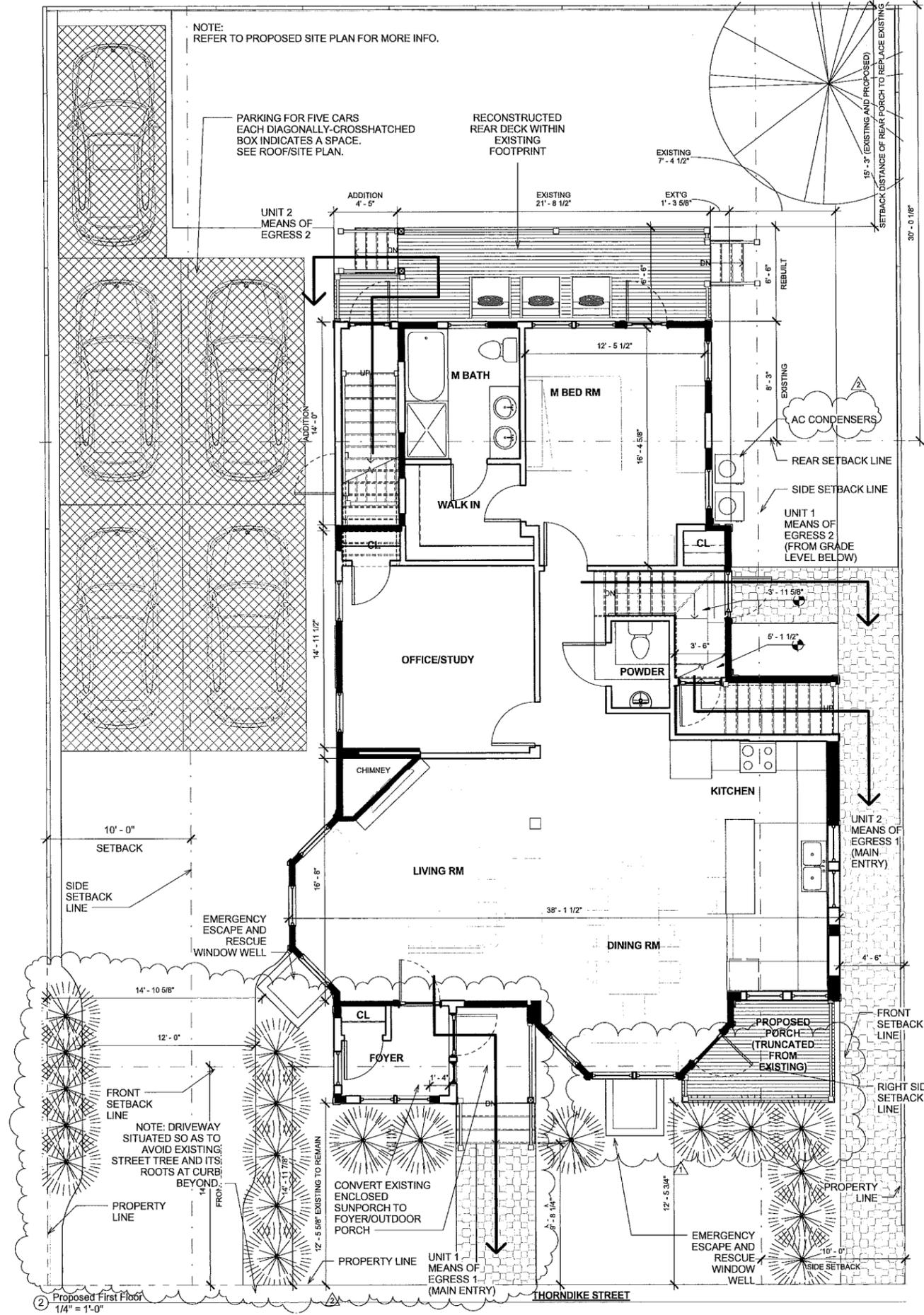


PLAN LEGEND

	EXISTING PARTITION
	TO BE DEMOLISHED
	NEW PARTITION



1 Proposed Basement
1/4" = 1'-0"



2 Proposed First Floor
1/4" = 1'-0"

NOTE:
REFER TO PROPOSED SITE PLAN FOR MORE INFO.

PARKING FOR FIVE CARS
EACH DIAGONALLY-CROSSHATCHED
BOX INDICATES A SPACE.
SEE ROOF/SITE PLAN.

RECONSTRUCTED
REAR DECK WITHIN
EXISTING
FOOTPRINT

15'-3" (EXISTING AND PROPOSED)
SETBACK DISTANCE OF REAR PORCH TO REPLACE EXISTING

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40 Thorndike Street

40 Thorndike Street
Brookline, MA 02446

Proposed Basement and First Floors

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Job No: _____ 1546

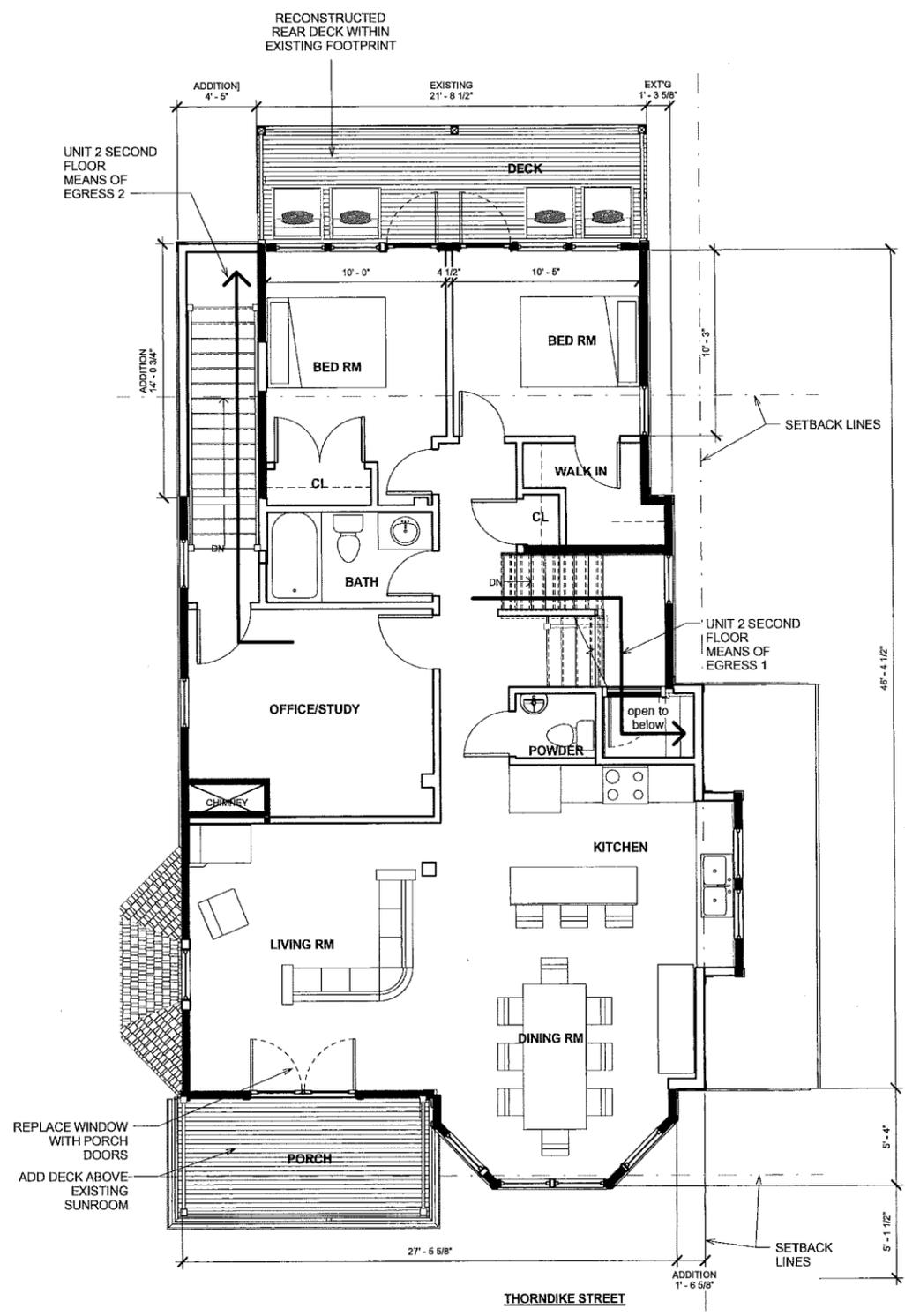
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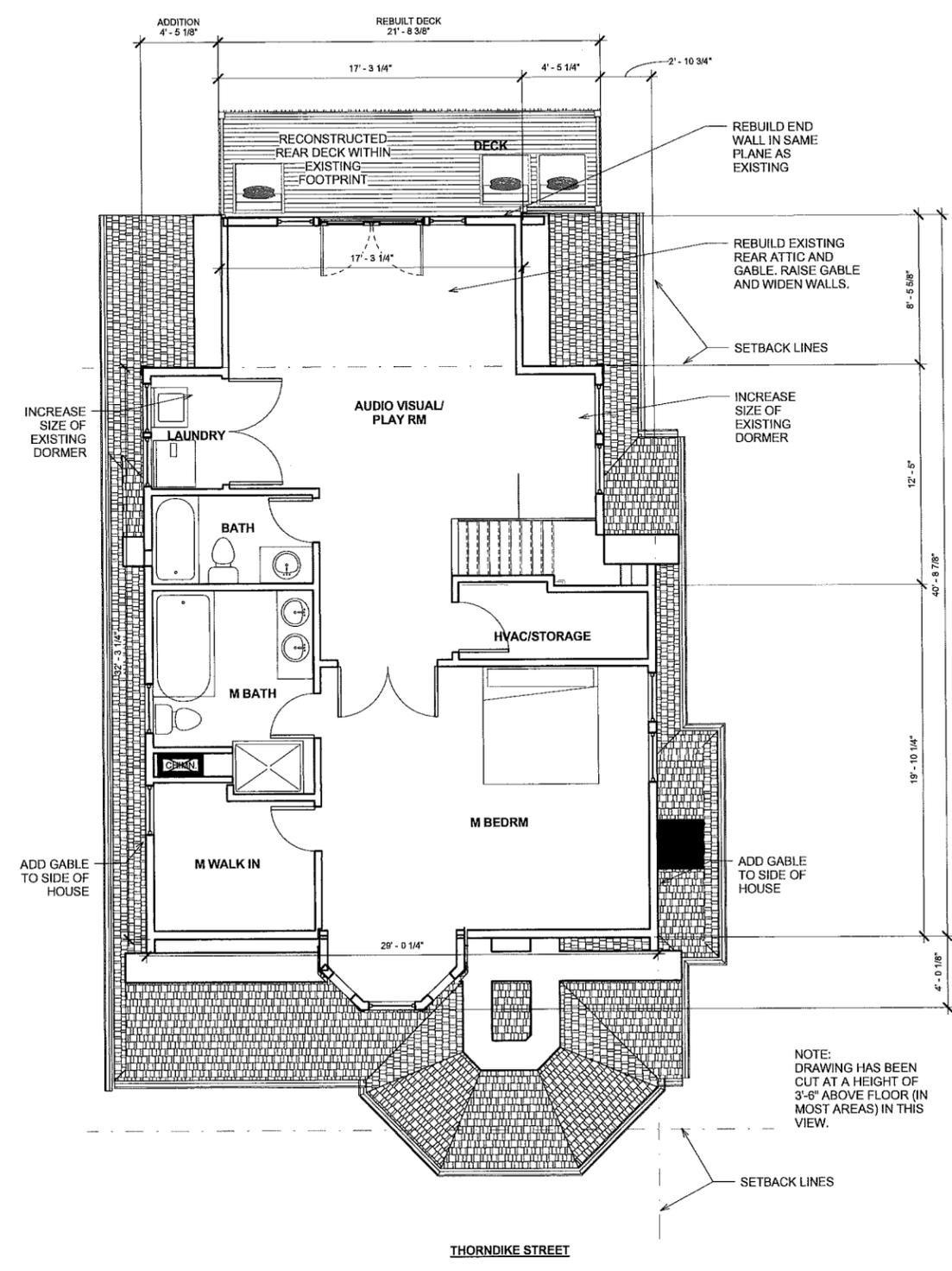


PLAN LEGEND

	EXISTING PARTITION
	TO BE DEMOLISHED
	NEW PARTITION



1 Proposed Second Floor
1/4" = 1'-0"



2 Proposed Third Floor
1/4" = 1'-0"

NOTE:
DRAWING HAS BEEN CUT AT A HEIGHT OF 3'-6" ABOVE FLOOR (IN MOST AREAS) IN THIS VIEW.

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40 Thorndike Street



40 Thorndike Street
Brookline, MA 02446

Proposed Second and Third Floors

Checked By: _____ Checker: _____
Job No: _____ 1546

A1.1



3 Proposed South Elevation
3/8" = 1'-0"

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3		10/16/2015	Zoning Submission Set

40 Thorndike Street



D.R.

40 Thorndike Street
Brookline, MA 02446

Proposed South
Elevation

Checked By: _____ Checker: _____
Job No: 1546

A1.3



3 Proposed North Elevation
3/8" = 1'-0"

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40 Thorndike Street



40 Thorndike Street
Brookline, MA 02446
Proposed North Elevation

Checked By: [Signature] Checker: [Signature]
Job No: 1546

A1.4



AT GABLE ELEVATIONS, USE FISHSCALE SHINGLES FOR ARCHITECTURAL INTEREST

TYPICAL: REMOVE EXISTING VINYL SIDING AND RECLADE WITH HARDPLANK AND HARDI TRIM.

CEMENTITIOUS TRIMMED PARTIALLY-ENCLOSED PORCH
FISHSCALE SHINGLE DECORATIVE PANEL

Third Floor
19' - 7"

Second Floor
10' - 1"

First Floor
0"

Ground
-2' - 7 1/2"

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Brookline, MA 02446

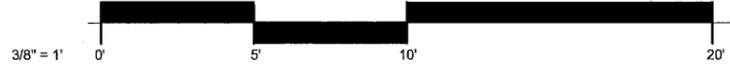
Proposed West
Elevation

Checked By: _____ Checker: _____
Job No: _____ 1546

A1.5

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1 Proposed West Elevation
3/8" = 1'-0"



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40 Thorndike Street



DR

40 Thorndike Street
 Brookline, MA 02446

Proposed East Elevation

Checked By: _____ Checker: _____
 Job No: _____ 1546

A1.6

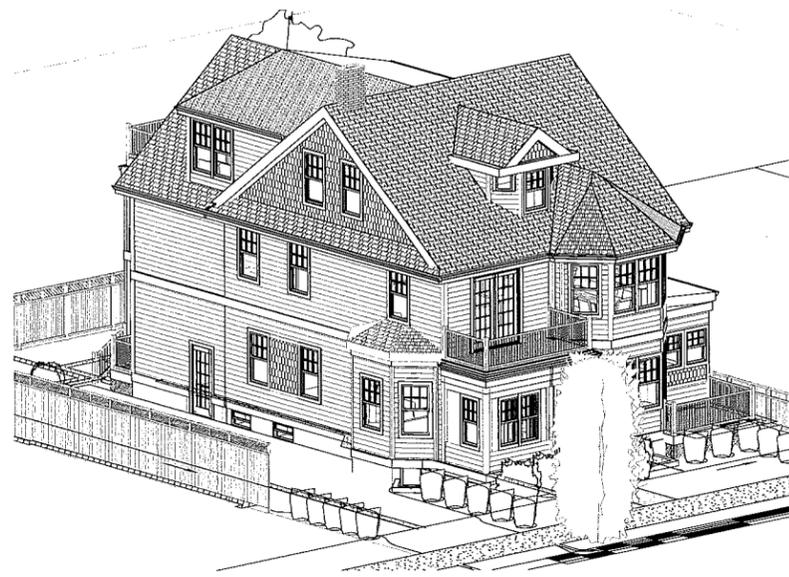


AT GABLE ELEVATIONS, USE FISHSACLE SHINGLES FOR ARCHITECTURAL INTEREST

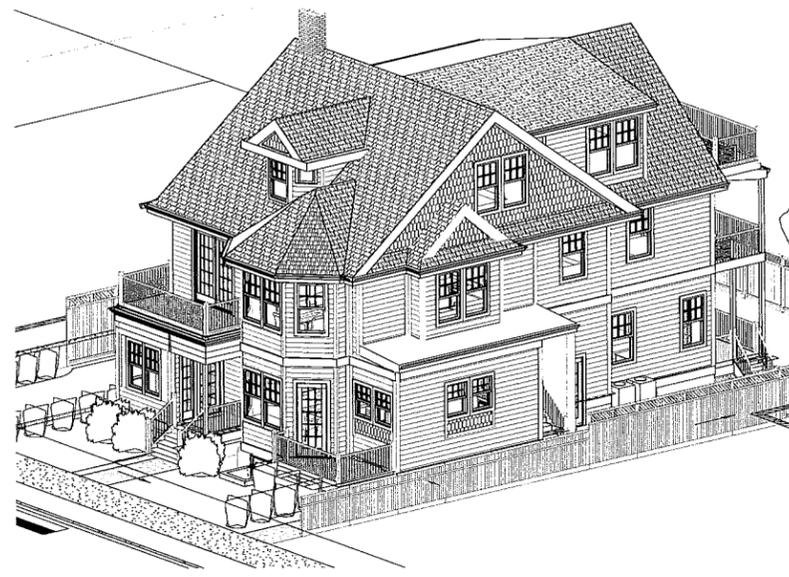
TYPICAL: REMOVE EXISTING VINYL SIDING AND RECLADE WITH HARDPLANK AND HARDI TRIM.

FRAMED FISHSACLE SHINGLES BELOW SHORTER KITCHEN WINDOW OPENINGS SO AS TO MAINTAIN CONSISTENT OPENING PROPORTION

1 Proposed East Elevation
 3/8" = 1'-0"



1 Proposed 3D View 1



2 Proposed 3D View 2

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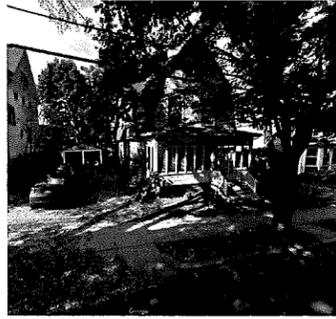
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Proposed 3D Views

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 Job No: 1546

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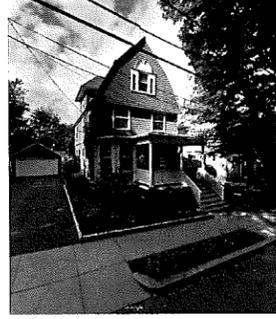
18 THORNDIKE- ENTRY STAIRS



18 THORNDIKE- GABLE



21 THORNDIKE- GABLE



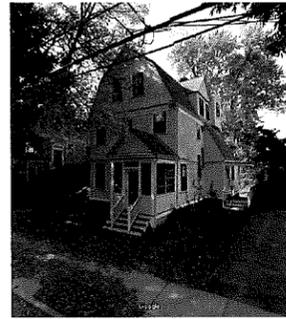
22 THORNDIKE- ENTRY STAIRS



26 THORNDIKE- ENTRY STAIRS



26 THORNDIKE- GABLE



32 THORNDIKE



36 THORNDIKE



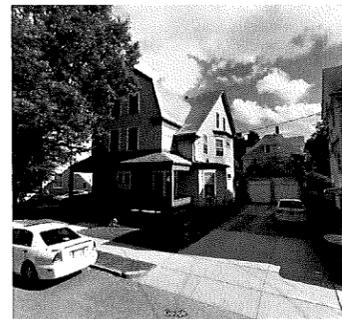
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39 THORNDIKE- ENTRY STAIRS



39 THORNDIKE- GABLE



43 THORNDIKE



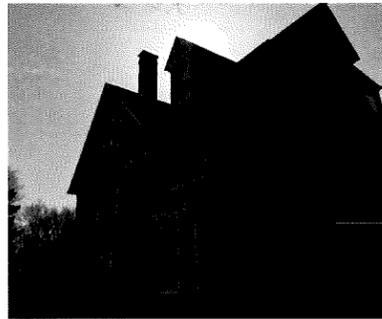
46 THORNDIKE- FRONT PORCH



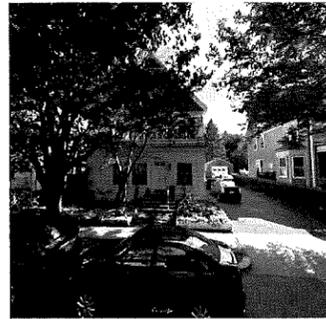
46 THORNDIKE- GABLE



49 THORNDIKE- ENTRY STAIRS



49 THORNDIKE- GABLE



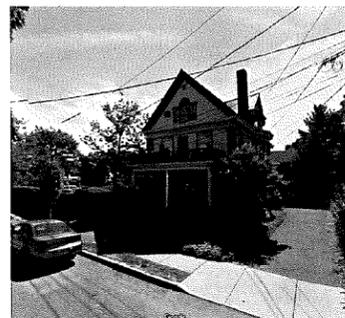
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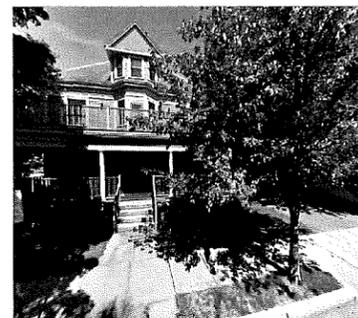
53 THORNDIKE- GABLE



53 THORNDIKE- FRONT PORCH



12 COLUMBIA- FRONT PORCH



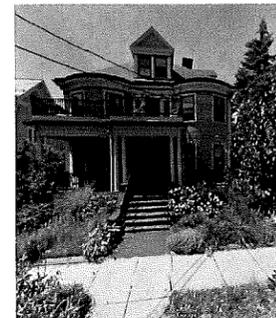
15 COLUMBIA- FRONT PORCH



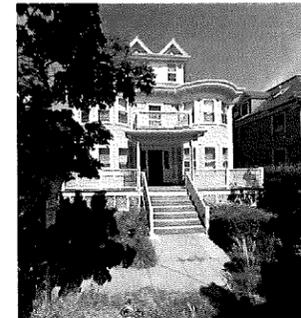
19 COLUMBIA- FRONT PORCH



21 COLUMBIA- FRONT PORCH



29 COLUMBIA- FRONT PORCH



35 COLUMBIA- FRONT PORCH

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OWNER:
Twister Management International Realty Trust
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1212B Commonwealth Ave.
Allston, MA 02134
CONTACT: Mark Linsky
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EMAIL: mark@athomare.com

CONTRACTOR:
Superior Construction
11 Henshaw St., Unit B
Brighton, MA 02135
CONTACT: Matt McNamara
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EMAIL: Matt.McNamara@gmail.com

Δ	3/11/2016	Revision 2 Zoning Set
Δ	2/22/2016	Revised Zoning Submission Set
-	10/01/2015	Zoning Submission Set
No	By	Date
		Description

40 Thorndike Street



[Signature]

40 Thorndike Street
Brookline, MA 02446

Street Context

Checked By: _____ Checker: _____
Job No: _____ 1546

A1.8







40 THORNDIKE