



Town of Brookline

Massachusetts

PLANNING BOARD

Town Hall, 3rd Floor
333 Washington Street
Brookline, MA 02445-6899
(617) 730-2130 Fax (617) 730-2442

Linda K. Hamlin, Chairman
Steven Heikin, Clerk
Robert Cook
Blair Hines
Sergio Modigliani
Mathew Oudens
Mark J. Zarrillo

To: Brookline Planning Board
From: Brookline Planning Department Staff
Date: July 28, 2016
Subject: Add roof to front porch and construct deck at rear
Location: **50-52 Columbia Street**

Atlas Sheet:	075	Case #:	2016-0045
Block:	58	Zoning:	T-5
Lot:	01 & 02	Lot Area (s.f.):	7,759 s.f.

Board of Appeals Hearing: Thursday, August 4, 2016 at 7:15 PM

SITE AND NEIGHBORHOOD

50-52 Columbia Street is a two-family condominium located at the corner of Columbia Street and Columbia Terrace. The home was built in 1900 and is a two-and-a-half-story two-family shingle-style home with a one-story porch at the front entrance on Columbia Street, a two-story porch on the side façade facing Columbia Terrace and a one-story porch along the rear façade of the home. The front, side and rear yards are fenced.

50-52 Columbia Street is located near Coolidge Park and the surrounding uses are primarily two-family and attached single-family homes of a similar style.

APPLICANT'S PROPOSAL

The owner, Akiva Rabinovich, is proposing to add a roof to the existing front porch and to construct ground-floor and second-floor rear decks. The proposal has been submitted in order to allow for additional usable outdoor living space for the owner's unit and the renter's unit in this two-family house.

The front porch will remain its current dimensions and will include new 8" round columns, new painted wood guard rail, reconditioned stairs and an asphalt shingle hip roof which will replace

an existing open trellis roof. A new entry for unit 2 will be created off of this porch.

At the rear of the home, the existing one-story deck will be removed and replaced with a 28' wide by 10' deep two-story porch. This porch will be divided by a partition to serve each of the two units on the first floor and will entirely serve the second unit on the second floor. There will be three sets of stairs off the deck exiting to the rear yard. An existing shed at the rear of the property will be removed.

FINDINGS

Section 5.43 – Exceptions to Yard and Setback Regulations

Section 5.50 – Front Yard Requirements

Section 5.70 – Rear Yard Requirements

Section 8.02.2 – Alteration and Extension

Dimensional Requirements	Required	Existing	Proposed	Relief
Front Yard Setback (first fl. porch)	15'	10.6'	10.6'	Special Permit*
Rear Yard Setback (two-story deck)	30'		27.7' – 31.6'	Special Permit*

* Under **Section 5.43**, the Board of Appeals may waive yard and setback requirements if a counterbalancing amenity is provided. The applicant is proposing screening landscaping around the deck as a counterbalancing amenity.

Section 8.02.2 – Alteration or Extension

A special permit is required to alter a pre-existing non-conforming structure or use.

PLANNING BOARD COMMENTS

The Planning Board is supportive of the proposed new roof on the front porch and decks at the rear of the property. The additional outdoor space will provide attractive recreational space for the two units within the dwelling. The additions will not substantially change the appearance of the structure. Further, the alterations should have a minimal visual impact on the abutting properties. However, since the porch will be visible from some neighboring properties, additional landscape plans should be submitted. Screening is recommended as a counterbalancing amenity to improve the aesthetic of the decks and to shield the recreational space from abutting properties.

Therefore, the Planning Board approves the site plan by Joseph Small, dated 4/25/16, and the plans prepared by Bruce Miller Associates, dated 6/15/16, subject to the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit final plans and elevations indicating all dimensions and materials subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit a landscape plan indicating all counterbalancing amenities.

3. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: 1) a final site plan stamped and signed by a registered engineer or land surveyor; 2) final building elevations stamped and signed by a registered architect; and 3) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.



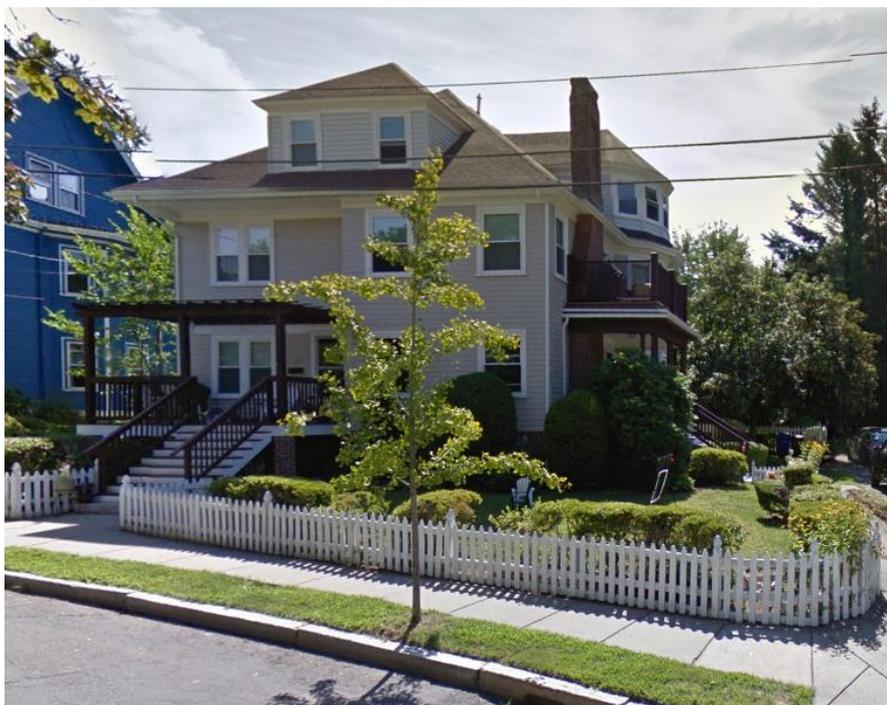
View of existing front porch with trellis



Existing rear one-story deck



Existing side two-story deck



Front and side view

ASSESSORS: PARCEL ID. #075-58

ZONING: T-5

REQUIRED SET-BACKS: FRONT: 15'
SIDE: 10'
REAR: 30'

REFERENCES:

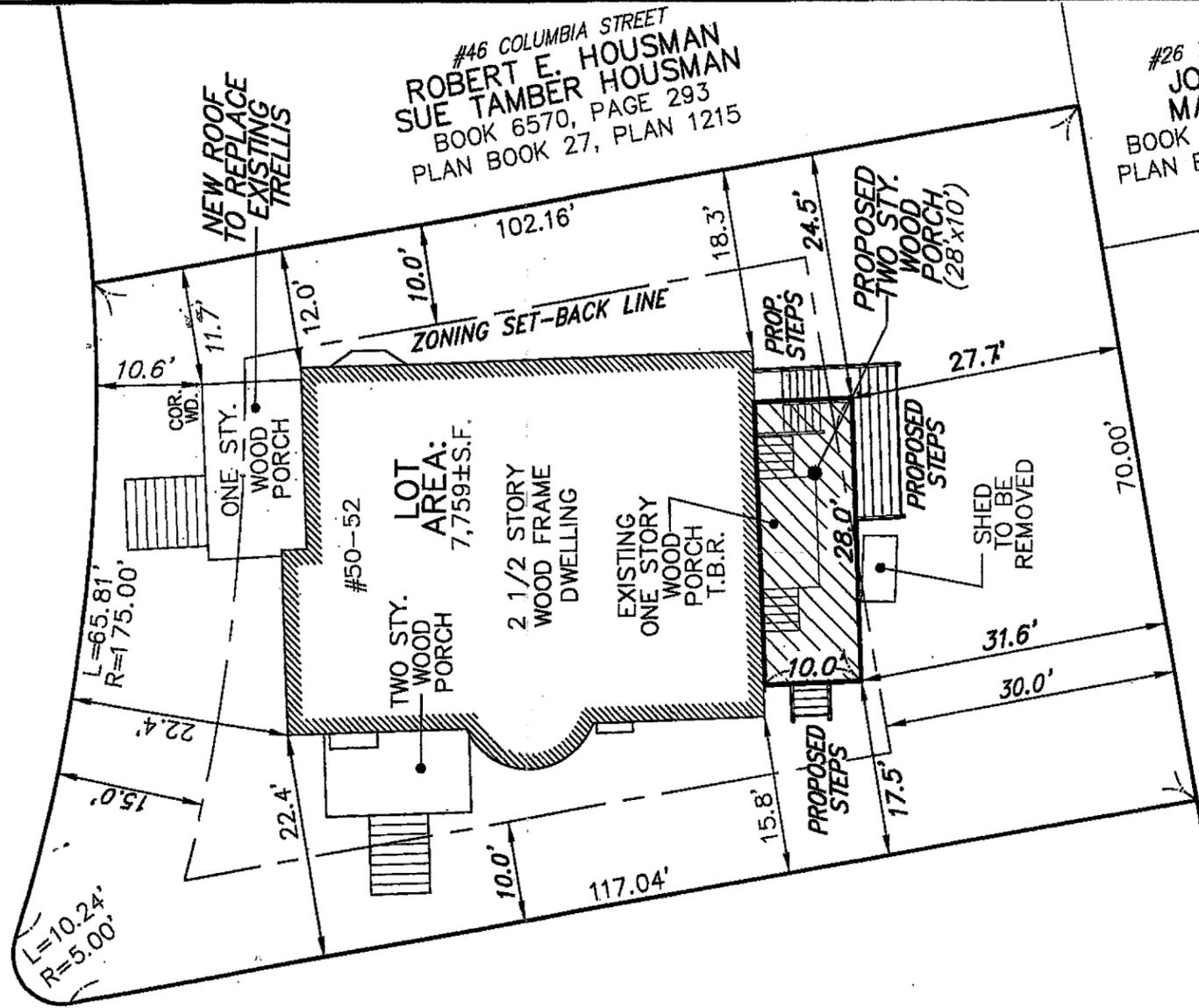
DEED BOOK 28018, PAGE 411 (MASTER DEED)
PLAN BOOK 51, PLAN 2421
PLAN BOOK 602, PLAN 43 OF 2010

NAME OF CONDOMINIUM:

50-52 COLUMBIA STREET CONDOMINIUM

COLUMBIA STREET

COLUMBIA TERRACE



#46 COLUMBIA STREET
ROBERT E. HOUSMAN
SUE TAMBER HOUSMAN
BOOK 6570, PAGE 293
PLAN BOOK 27, PLAN 1215

#26 THORNDIKE STREET
JONATHAN &
MALKA RAISZ
BOOK 23736, PAGE 453
PLAN BOOK 12, PLAN 539

#22 THORNDIKE STREET
JOHN E. HECHINGER
RICKI A. MORELL
BOOK 33194, PAGE 3
PLAN BOOK 12, PLAN 539

#18 THORNDIKE STREET
RENEE H. AIRD
BOOK 30681, PAGE 347
PLAN BOOK 12, PLAN 539

#1 COLUMBIA TERRACE
DORIS Y.K. WONG FAMILY
IRREVOCABLE TRUST OF 2009
BOOK 26810, PAGE 136
PLAN BOOK 51, PLAN 2421

#7 COLUMBIA TERRACE
PAUL D. MARKS
BARBARA GOLD
BOOK 8043, PAGE 707
PL. IN BOOK 1338, PAGE 162

MERIDIAN SCALED FROM PLAN IN BOOK 1004, PAGE 59



4.27.16
PROFESSIONAL LAND SURVEYOR

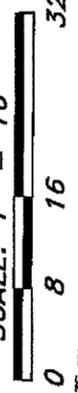
PLOT PLAN

OF LAND
BROOKLINE, MA
PREPARED FOR: AKIVA E. RABINOVICH

HANCOCK

Survey Associates, Inc.
185 CENTRE STREET, DANVERS, MA. 01923
VOICE (978) 777-3050, FAX (978) 774-7816

SCALE: 1" = 16'



CHK. BY:
WCJ

DATE:
4/25/16

JOB NO.
19850

BRUCE MILLER
ARCHITECT

46 WALTHAM STREET #215
BOSTON, MA 02118
(t) 617-338-3933 (f) 617-338-3133

50 & 52 COLUMBIA STREET BROOKLINE, MASSACHUSETTS

BRUCE MILLER
ARCHITECT

46 WALTHAM STREET, BOSTON, MA 02118
617-338-3933

52 COLUMBIA STREET
BROOKLINE, MASSACHUSETTS

ABBREVIATIONS	DRAWING SYMBOLS	GENERAL NOTES	PROJECT DIRECTORY	DRAWING INDEX
<p>AFF Above Finish Floor BD Board BOT Bottom BRK Brick CLG Ceiling CLR Clear (once) CONC Concrete CONT Continuous C.T. Ceramic Tile DJA Diameter D.S. Downspout DTL Detail DW Dishwasher DWG Drawing EA Each ELEC Electrical EL Elevation EQ Equal EQUIP Equipment EX Existing F. D. Floor Drain FF Finished Floor FLR Floor (ing) F. O. F. Face of Finish F. O. S. Face of Stud FTG Footing GC General Contractor GYP. BD. Gypsum Board MAX Maximum MECH Mechanical MFR Manufacturer MIN Minimum MIR Mirror M. O. Masonry Opening NIC Not in Contract NTS Not to Scale OC On Center OPP Opposite PLWD Plywood PT Pressure Treated R Riser REFR Refrigerator REQD Required R.D. Roof Drain RM Room R.O. Rough Opening SF Square Footage SIM Similar S.S. Stainless Steel T Tread TEL Telephone T.O.B. Top of Beam T.O.C. Top of Concrete TV Television TYP Typical VCT Vinyl Composition Tile VIF Verify in Field W With WC Water Closet</p>	<p>DRAWING LABEL</p> <p>Drawing Title → SECOND FLOOR PLAN Drawing Number on Sheet → 1 Scale →</p> <p>DETAIL</p> <p>Detail Number → 2g Sheet that detail is located on → WA.3 Direction of view →</p> <p>PLAN DETAIL</p> <p>Detail Number → 2g Sheet that detail is located on → WA.3 Area detailed →</p> <p>SECTION</p> <p>Section Number → 2g Direction of view → A.3 Sheet that section is located on → WA.3 Section cut-line →</p> <p>ELEVATION MARKER</p> <p>TOP OF SLAB ELEV = 25'-0"</p> <p>INTERIOR ELEVATION</p> <p>Single elevation → A Elevation group → A.3 Sheet number → WA.3</p> <p>EXTERIOR ELEVATION</p> <p>Elevation number → 1 Sheet number → WA.3</p> <p>WINDOW SYMBOL</p> <p>Window designation corresponds to window schedule → A</p> <p>DOOR SYMBOL</p> <p>Door designation corresponds to door schedule → 1</p> <p>REVISION</p> <p>Area revised → Revision series corresponds to revision date in title block → 1</p> <p>Center Line Angle Roof Pitch Sealant Diameter</p>	<p>1: All construction work, Architectural, Structural, Mechanical, Electrical, etc., shall conform to the Massachusetts State Codes and any other applicable Codes and Regulations. All finish materials must meet all applicable fire, life safety and building codes.</p> <p>2: The contractor shall verify all dimensions in the field.</p> <p>3: If any work shown is unclear or ambiguous, contact the Architect for clarification before proceeding with that portion of the work.</p> <p>4: Contractor shall secure all permits, approvals and inspections required for construction.</p> <p>5: Work not included is noted "NOT IN CONTRACT" or "NIC"</p> <p>6: All dimensions are from face of framing to face of framing unless noted otherwise.</p> <p>7: All work listed, shown or implied on any Construction Documents shall be supplied and installed by the General Contractor, unless noted otherwise.</p> <p>8: The Contractor shall install and clean all equipment, materials, and appliances specified according to manufacturer's instructions and specifications. The Contractor shall verify that all clear opening dimensions in cabinetry adequately accommodate the specified equipment and shall notify the Architect of any discrepancies prior to installation. Contractor to verify that every piece of equipment and every appliance is in perfect working order.</p> <p>9: The Contractor shall provide all necessary blocking, stiffeners, bracing, framing, hangers or other support for all fixtures, equipment, cabinetry, furnishings and all other items in this contract and for NIC items specifically noted. All necessary wood blocking to be fire-retardant as required by the State Building Code.</p> <p>10: "ALIGN" shall mean to accurately locate finish faces in the same plane.</p> <p>11: "TYPICAL" or "TYP." shall mean that the condition is representative for similar conditions throughout, unless noted otherwise. All details and references are usually keyed and noted once, when they first appear, but are typically ("TYP") for similar conditions elsewhere, unless noted otherwise.</p> <p>12: "SIM" means comparable characteristics for the conditions noted. Verify dimensions and orientation on plans.</p> <p>13: "CLEAR" or "CLR" dimensions shall be maintained and shall allow for thickness of all finishes; including carpet & pad, ceramic tile, VCT, etc.</p>	<p>OWNER: Akiva Rabinovich Blumit Shmolak 52 Columbia Street Brookline, MA 02446</p> <p>ARCHITECT: Bruce Miller 46 Waltham Street suite 215 Boston, MA 02118 617-338-3933</p> <p>CONTRACTOR: Timothy Clinton 5C's Construction 7 Fay Road Scituate, MA 02066 781-545-2598</p> <p>STRUCTURAL ENGINEER: Daniel Webb Webb Structural Services, Inc 670 Main Street Reading, MA 01867 781-779-1330</p>	<p>TITLE SHEET</p> <p>A-1 FIRST FLOOR PLAN A-2 SECOND FLOOR PLAN A-3 FRONT AND REAR ELEVATIONS</p>

50&52 COLUMBIA STREET
BROOKLINE
MASSACHUSETTS

PRELIMINARY PERMIT SET
ISSUE DATE : 6.15.16

TITLE
SHEET

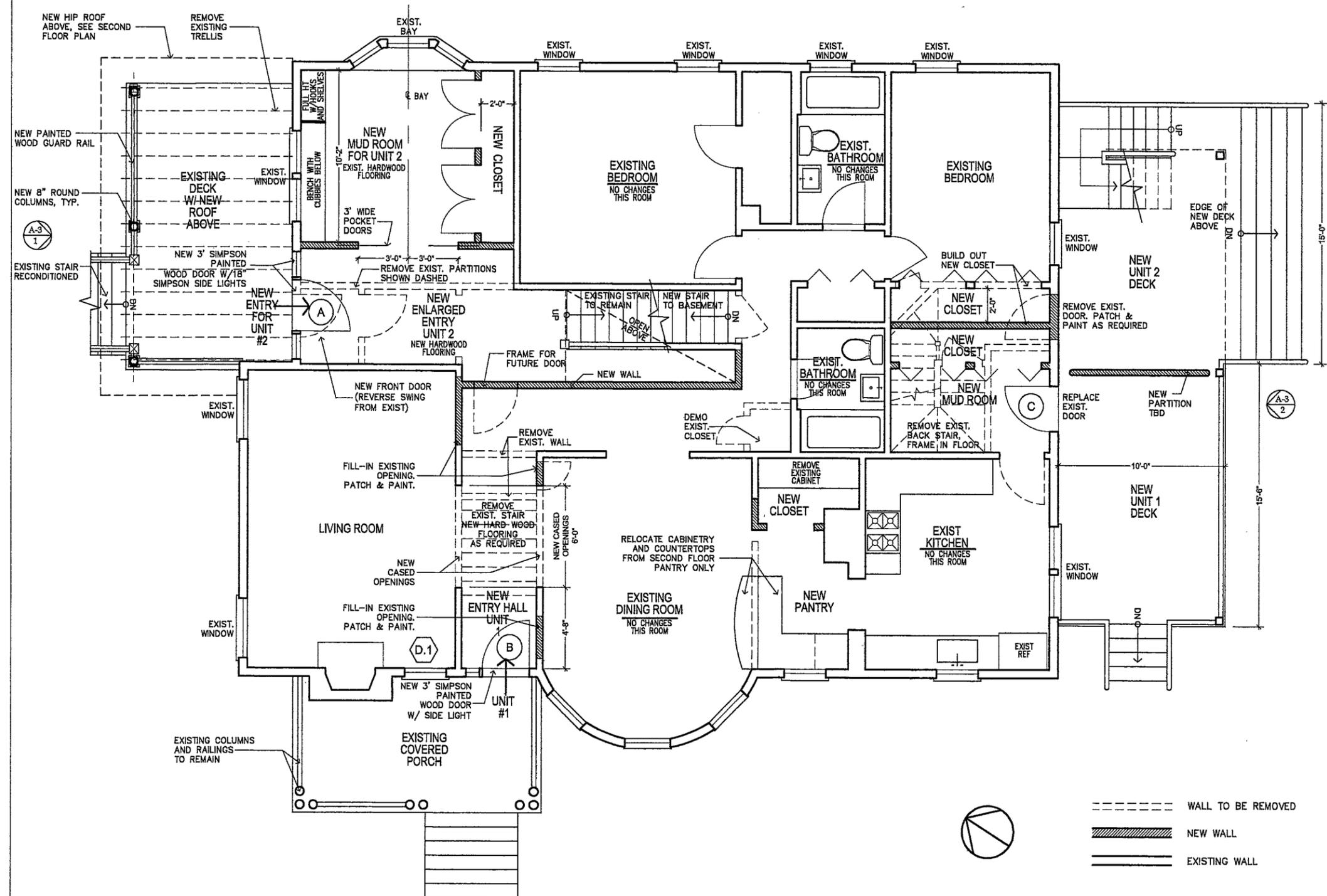
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PRELIMINARY PERMIT SET
ISSUE DATE : 6.15.2016



1 FIRST FLOOR PLAN
1/8" = 1'-0"

A-1

BRUCE MILLER
ARCHITECT

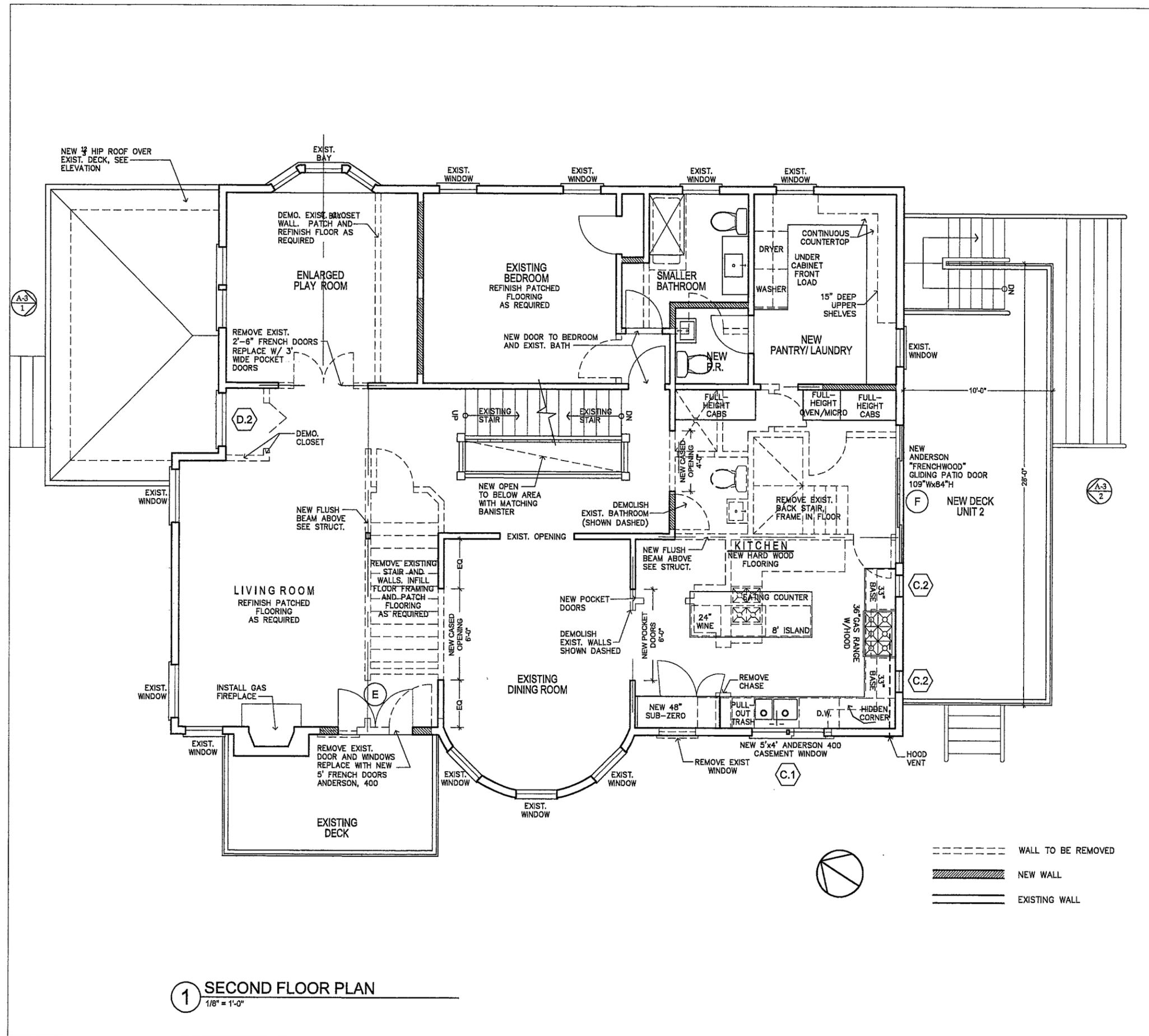
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A-2



1 SECOND FLOOR PLAN
1/8" = 1'-0"

