



PLANNING BOARD

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Town of Brookline Massachusetts

To: Brookline Board of Appeals
From: Brookline Planning Board
Date: June 7, 2018
Subject: Construct second story addition above family room
Location: **124 Wolcott Road**

Atlas Sheet: 114
Block: 401
Lot: 04

Case #: 2018-000029
Zoning: S-15
Lot Area (s.f.): 10,152

Board of Appeals Hearing: **June 14th, 2018 at 7:05 pm**

SITE AND NEIGHBORHOOD

124 Wolcott Road is a two-story single family home built in 1940. The house is situated perpendicular to the street with the "front" facing the left side and not visible from the street. The neighborhood consists of single-family homes on small lots and is located close to Putterham Meadows Golf Club and Horace James Circle.

APPLICANT'S PROPOSAL

The applicants, Garret and Ludy Shih, propose to construct a second story addition above the existing family room at the rear of the home. The new addition will contain 239 square feet which will be used as a bedroom. An 89 square foot walk-out deck will also be added. Other renovations include reconfiguring the second floor to expand a bathroom and create an office and closet.

FINDINGS

Section 5.20 – Floor Area Ratio

Floor Area	Allowed	Existing	Proposed	Finding
Floor Area Ratio (% of allowed)	.25 (100%)	.28 (112%)	.306 (122%)	Special Permit*
Floor Area (s.f.)	2,538	2,867	3,106	

* Under **Deadrick**, the Board of Appeals may allow an extension of an existing non-conformity if it finds there is no substantial detriment to the neighborhood.

Section 8.02.2 – Alteration or Extension

A special permit is required to alter this non-conforming structure.

STAFF ANALYSIS

The Planning staff finds this to be a reasonable proposal. The second-story addition and deck are well designed to match the character of the existing home. The footprint of the structure will not be increased and the FAR increase is minimal. Due to the configuration of the home on the lot, the addition will be minimally visible from the street and have limited impact on abutters.

PLANNING BOARD RECOMMENDATION

The Planning Board fully supported this proposal and found it to be modest and sensitively designed.

Therefore, the Planning Board recommends approval of the site plan by Scott Cerrato dated 1/9/2018 and the floor plans and elevations by Linda Hamlin dated 2/26/2018 subject to the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit site plan, floor plans and accurate elevations subject to the review and approval of the Assistant Director of Regulatory Planning.
2. Prior to the issuance of a building permit, the applicant shall submit to the Building Commissioner for review and approval for conformance to the Board of Appeals decision: a) a final site plan stamped and signed by a registered engineer or land surveyor; b) final floor plans and elevations stamped and signed by a registered

architect or engineer; and c) evidence that the Board of Appeals decision has been recorded at the Registry of Deeds.

knm



ZONING SUMMARY FOR 124 Wolcott Road, Chestnut Hill
DISTRICT: S-15 USE: Single Family Residence

March 15, 2018

LOT SIZE MINIMUM REQUIRED: 15,000 SF

LOT SIZE EXISTING: 10,152 SF

FLOOR AREA RATIO REQUIRED: .25

FLOOR AREA RATIO EXISTING: .28

FLOOR AREA RATIO PROPOSED: .306

FINISHED AREA IN BASEMENT: EXISTING: 670 SF PROPOSED: 0

FINISHED AREA ON FIRST FL.: EXISTING: 1272 SF PROPOSED : 0

FINISHED AREA ON SECOND FL: EXISTING: 925 SF PROPOSED: 239 SF

TOTALS: EXISTING: 2867 SF + 239 SF= 3106 SF

LOT WIDTH MINIMUM REQUIRED: 100 FT

LOT WIDTH MINIMUM EXISTING: 60 FT

HEIGHT MAXIMUM REQUIRED: 35 FT

HEIGHT MAXIMUM EXISTING: 27.8 FT

HEIGHT MAXIMUM PROPOSED: NO CHANGE

FRONT YARD SETBACK REQUIRED: 25 FT

FRONT YARD SETBACK EXISTING: 48.6 FT

FRONT YARD SETBACK PROPOSED: NO CHANGE

SIDE YARD SETBACK REQUIRED: 15 FT

SIDE YARD SETBACK @ EXISTING REAR ADDITION: 4.6 FT + 15.5 FT/2=15 FT*

*House not parallel to lot line, average taken

SIDE YARD SETBACK PROPOSED: NO CHANGE

REAR YARD SETBACK REQUIRED: 40 FT

REAR YARD SETBACK EXISTING: 49.8 FT @ CLOSEST

REAR YARD SETBACK PROPOSED: NO CHANGE

LANDSCAPED OPEN SPACE REQUIRED: 10% or 311 SF

LANDSCAPED OPEN SPACE EXISTING: Over 5000 SF

LANDSCAPED OPEN SPACE PROPOSED: NO CHANGE

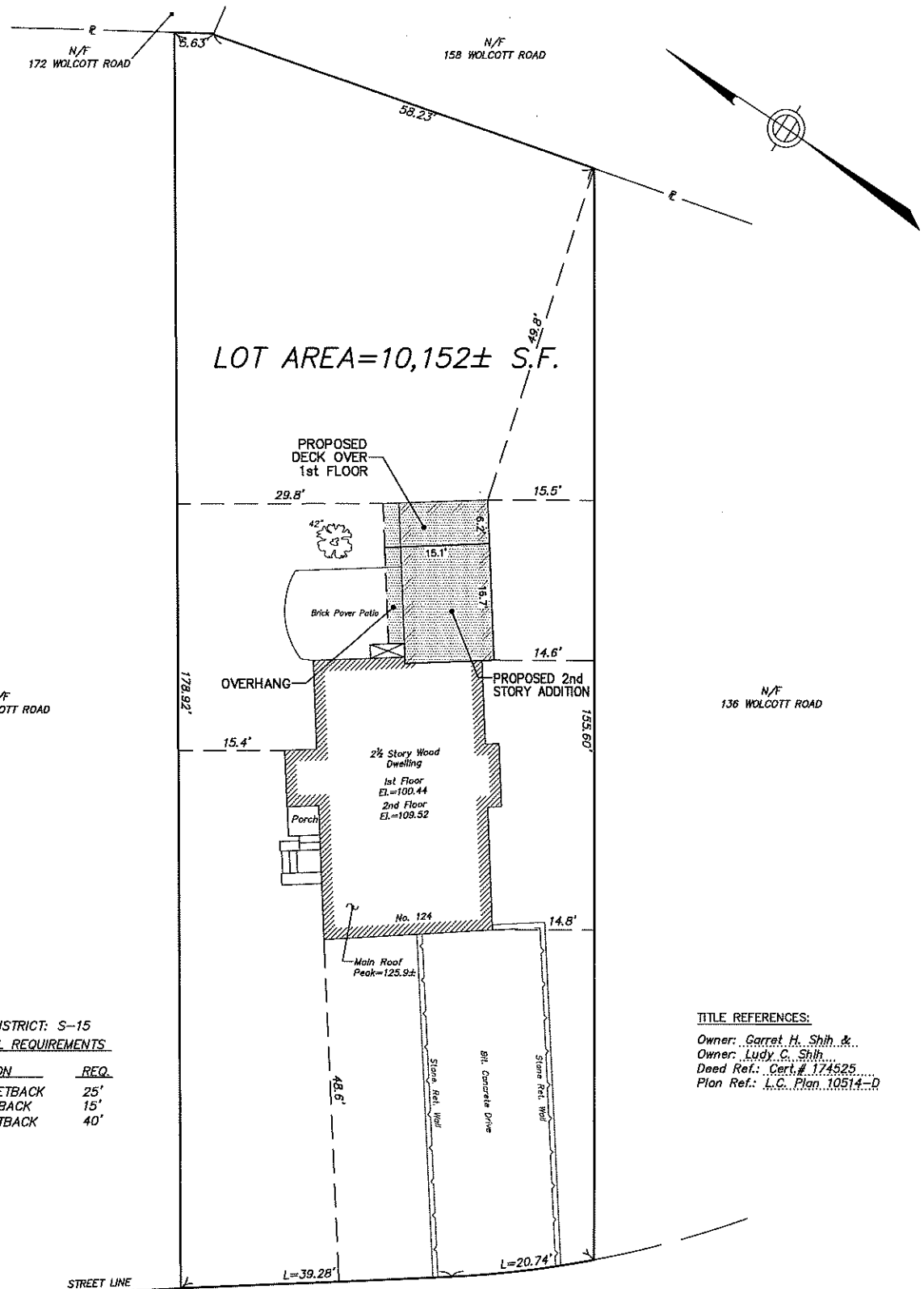
USABLE OPEN SPACE REQUIRED: 60% or 1864 SF

USABLE OPEN SPACE EXISTING: Over 5000 SF

USABLE OPEN SPACE PROPOSED: NO CHANGE

PARKING SPACES REQUIRED: 2

PARKING SPACES EXISTING and PROPOSED: 2, NO CHANGE



ZONING DISTRICT: S-15
DIMENSIONAL REQUIREMENTS

REGULATION	REQ.
MIN. FRONT SETBACK	25'
MIN. SIDE SETBACK	15'
MIN. REAR SETBACK	40'

TITLE REFERENCES:
Owner: Garret H. Shih &
Owner: Ludy C. Shih
Deed Ref.: Cert. # 174525
Plan Ref.: L.C. Plan 10514-D

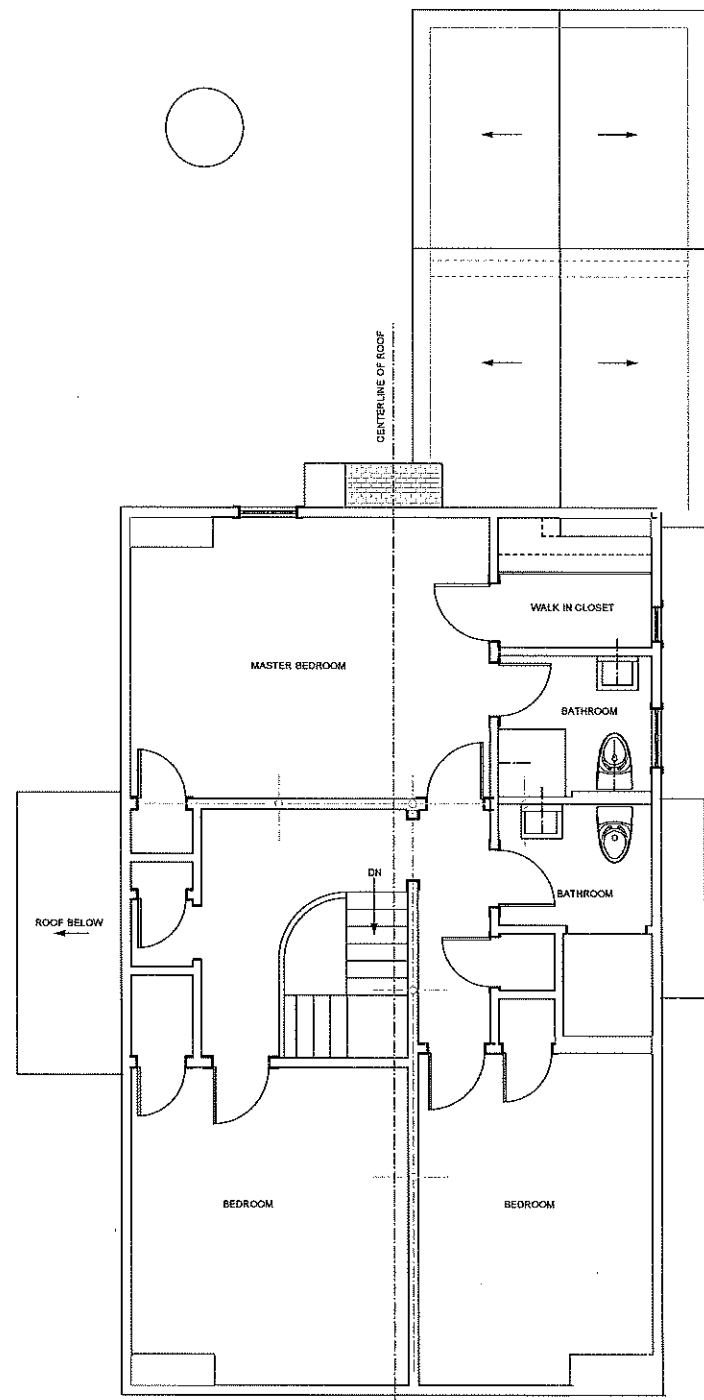
WOLCOTT (Public-40' Wide) ROAD

ASSESSOR'S PARCEL ID: 401-04-00
PLOT PLAN OF LAND
IN
BROOKLINE, MASSACHUSETTS
124 WOLCOTT ROAD
SCALE: 1"=10' JANUARY 9, 2018
10' 0' 10' 20'
PREPARED FOR
GARRET H. SHIH &
LUDY C. SHIH

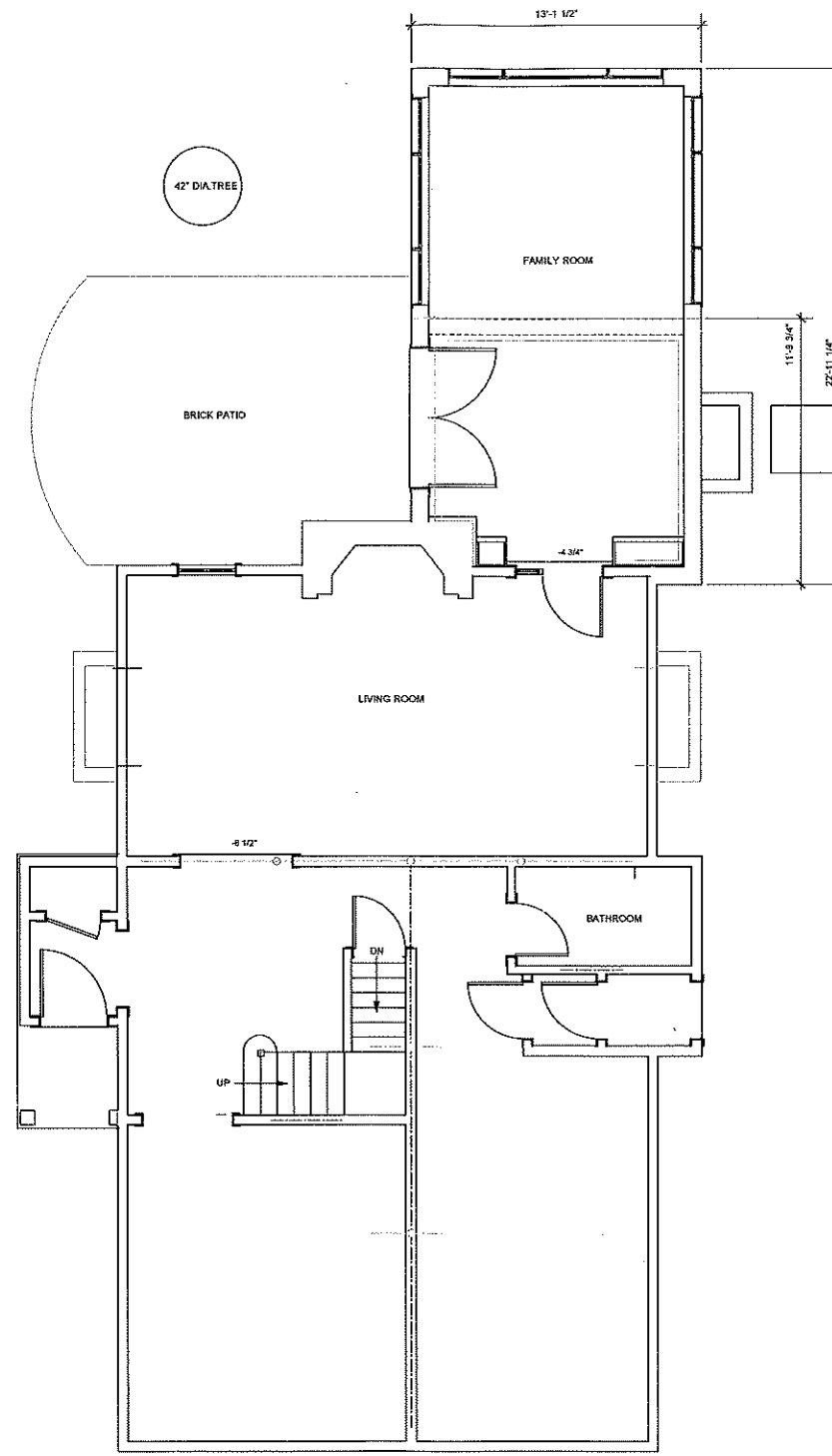
I ALSO HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL INSTRUMENT SURVEY MADE ON THE GROUND IN JUNE 2017 AND THE STRUCTURE DEPICTED HEREON IS LOCATED AS SHOWN.



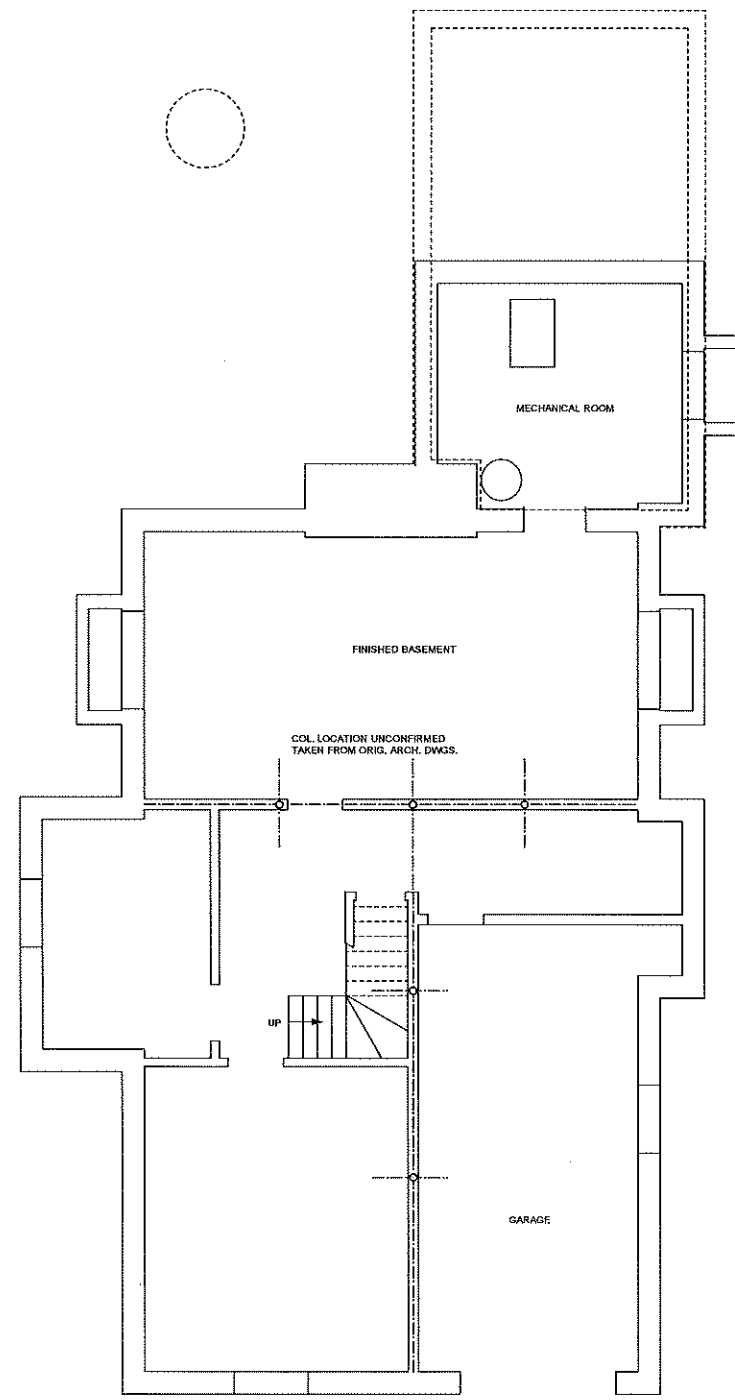
1-9-18 DATE
Scott M. Carrato SIGNATURE



3 EXISTING SECOND FLOOR PLAN 925 SF OF HABITABLE SPACE
 A1 Scale: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN 1272 SF OF HABITABLE SPACE
 A1 Scale: 1/4" = 1'-0"



1 EXISTING BASEMENT FLOOR PLAN 670 SF OF HABITABLE SPACE
 A1 Scale: 1/4" = 1'-0"

EXISTING FLOOR PLANS
 Shih Residence
 124 Wolcott Road, Chestnut Hill, Massachusetts

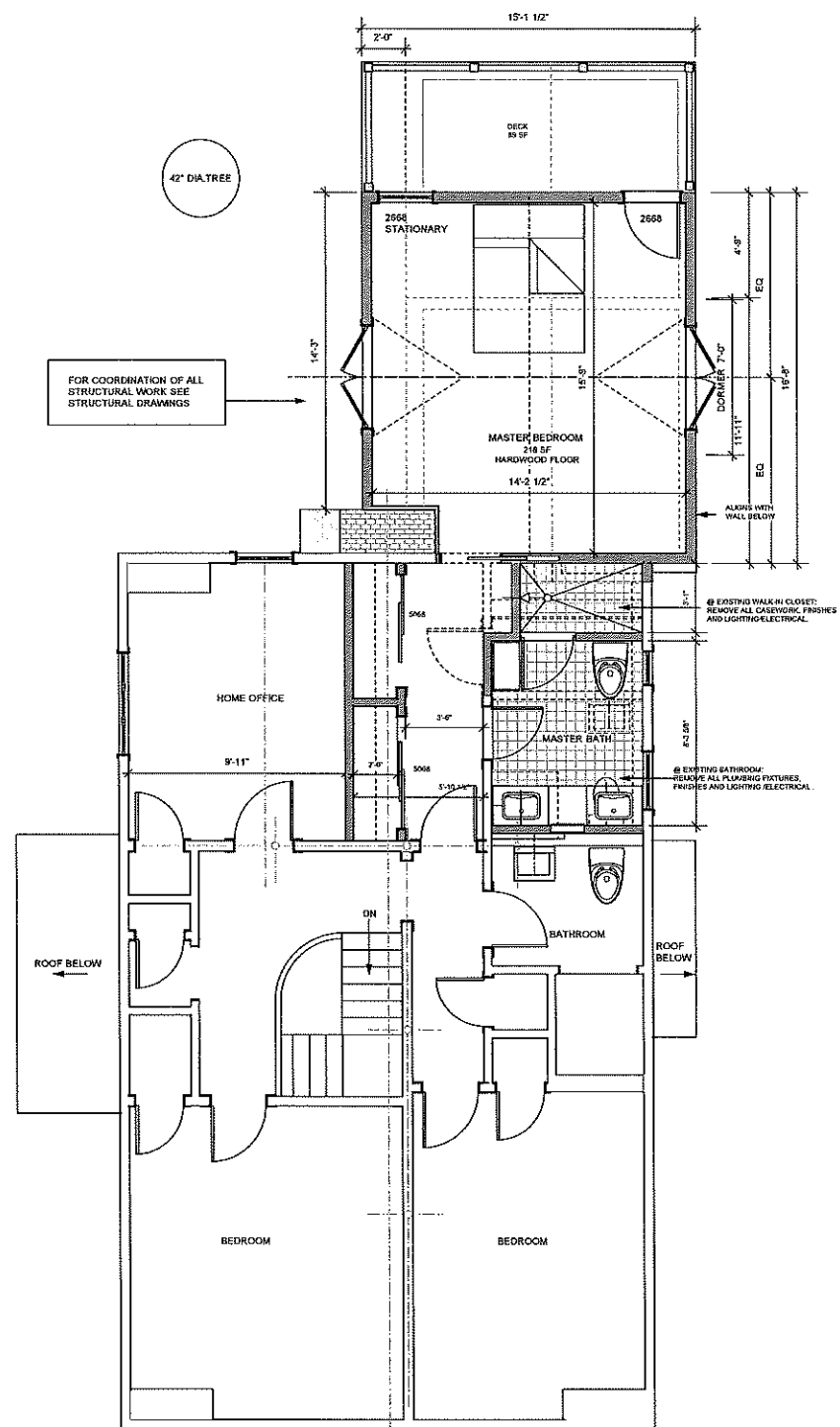
DATE OF ISSUE:
 9/15/17 DRAFT EST.
 12/1/17 STRUCTURAL
 2/28/2018 PERMIT

SCALE: 1/4" = 1'-0"

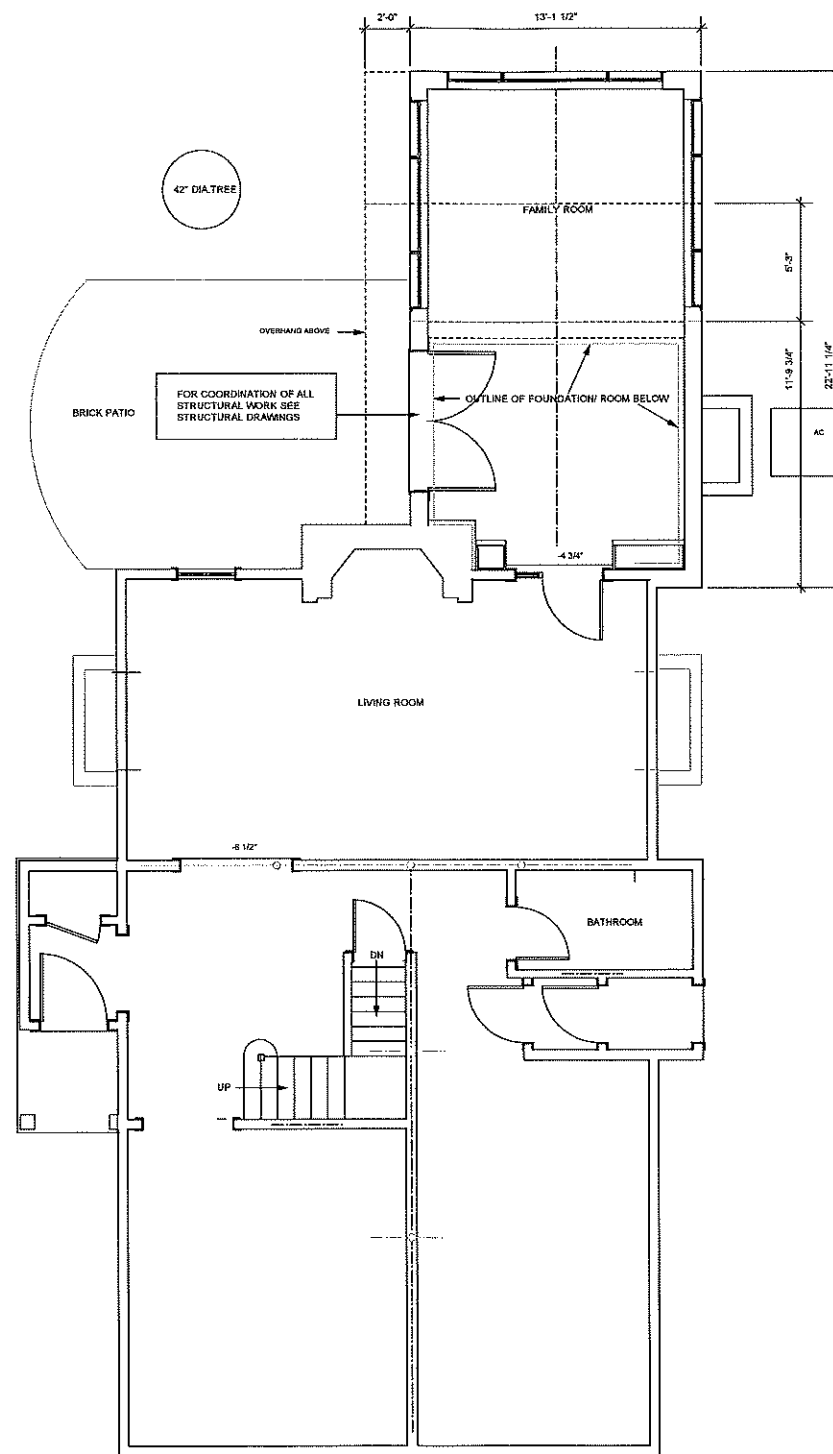


Hamlin & Co. Inc.
 Linda K. Hamlin, Architect
 6 Wellington Terrace Brookline, Massachusetts 02445
 Tel: 617-566-2161

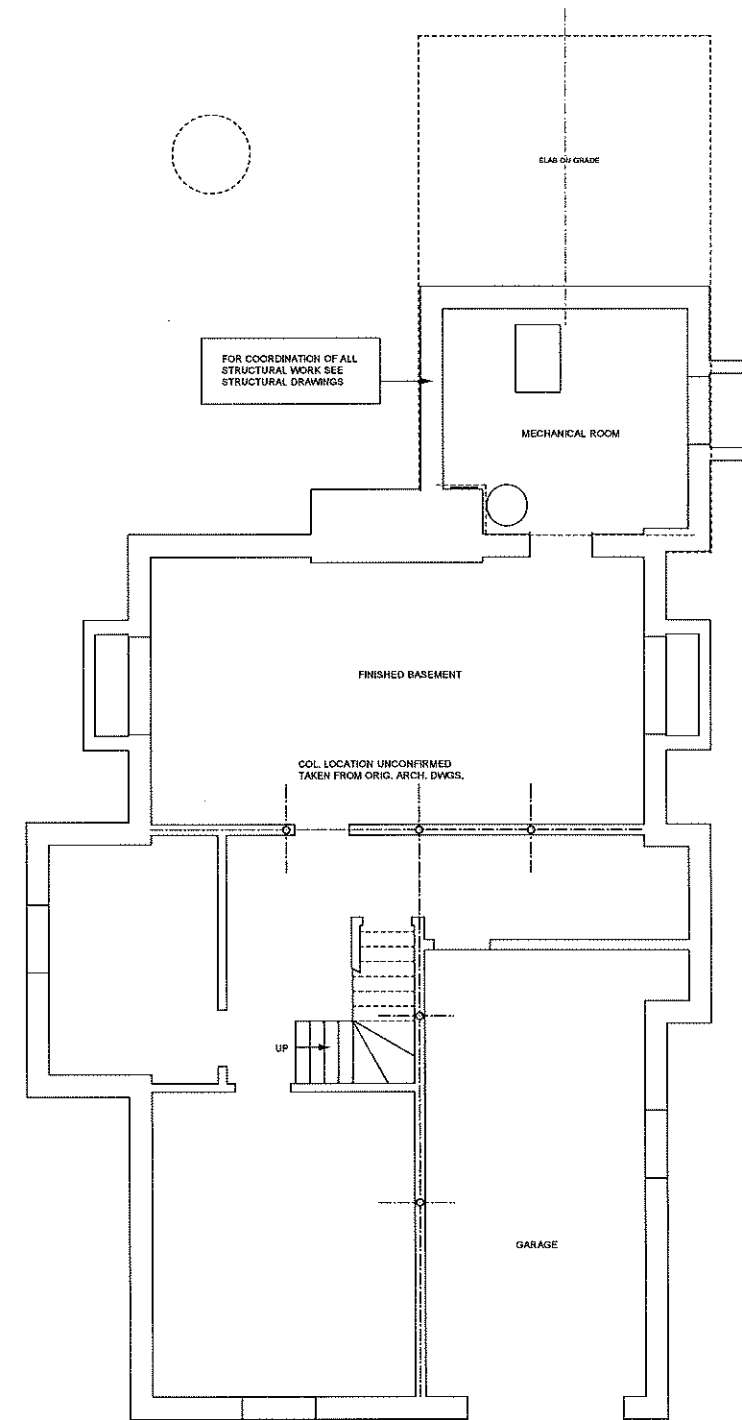
A1



3 PROPOSED SECOND FLOOR PLAN NEW: 239 SF HABITABLE SPACE ADDED
 A2 Scale: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
 A2 Scale: 1/4" = 1'-0"

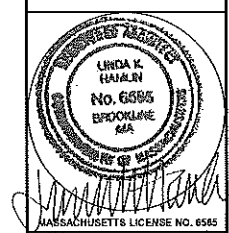


1 PROPOSED BASEMENT FLOOR PLAN
 A2 Scale: 1/4" = 1'-0"

PROPOSED FLOOR PLANS
 Shih Residence
 124 Wolcott Road, Chestnut Hill, Massachusetts

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 2/28/2016 PERMIT

SCALE:
 1/4" = 1'-0"



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A2



1 EXISTING SOUTHEAST ELEVATION
A3 Scale: 1/4" = 1'-0"



2 EXISTING NORTHEAST ELEVATION
A3 Scale: 1/4" = 1'-0"



3 EXISTING NORTHWEST ELEVATION
A3 Scale: 1/4" = 1'-0"

EXISTING EXTERIOR ELEVATIONS
Shih Residence
124 Wolcott Road, Chestnut Hill, Massachusetts

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2/28/2018 PERMIT

SCALE: 1/4" = 1' - 0"

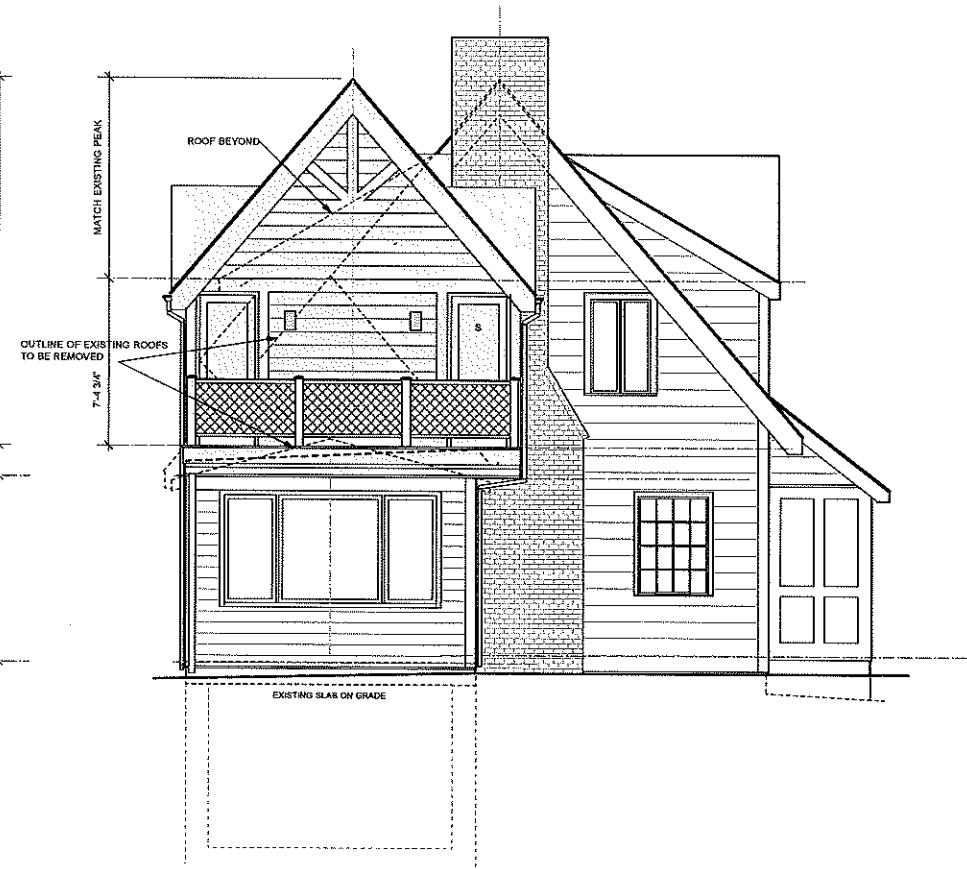


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A3



1 PROPOSED SOUTHEAST ELEVATION
 A4 Scale: 1/4" = 1'-0"



2 PROPOSED NORTHEAST ELEVATION
 A4 Scale: 1/4" = 1'-0"



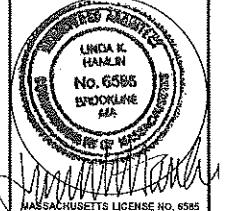
3 EXISTING NORTHWEST ELEVATION
 A3 Scale: 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS

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SCALE:
 1/4" = 1' - 0"



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A4