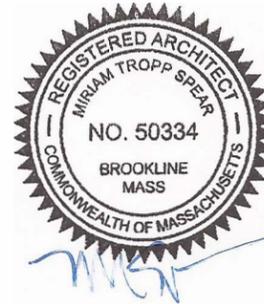


# THE FULD HOUSE

95 CLARK ROAD  
BROOKLINE, MASSACHUSETTS

## ZONING REVIEW

PARCEL ID: 229-01-00  
ZONING DISTRICT: S-10  
ALLOWABLE FAR: .30  
MIN FRONT YARD: 20.0 FT  
MIN REAR YARD: 30.0 FT  
MIN SIDE YARD: 10.0 FT



### DRAWING LIST

- A-0.01 DRAWING LIST/ZONING REVIEW/GENERAL NOTES
- A-0.02 WALL TYPES/SPECIFICATION SHEET
- C-0.01 EXISTING SITE SURVEY
- C-0.02 PROPOSED SITE SURVEY
- X-1.00 EXISTING/DEMO FLOOR PLANS
- X-2.00 EXISTING/DEMO BUILDING ELEVATIONS
- A-1.01 PROPOSED FIRST FLOOR PLAN
- A-1.02 PROPOSED SECOND FLOOR PLAN  
PROPOSED ATTIC/ROOF PLAN
- A-2.00 BUILDING ELEVATION: FRONT AND SIDE YARDS
- A-2.01 REAR BUILDING ELEVATION AND BUILDING SECTION
- A-4.00 INTERIOR ELEVATIONS/  
WINDOW & DOOR SCHEDULES

THE  
FULD HOUSE

BROOKLINE, MA

#### CLIENT

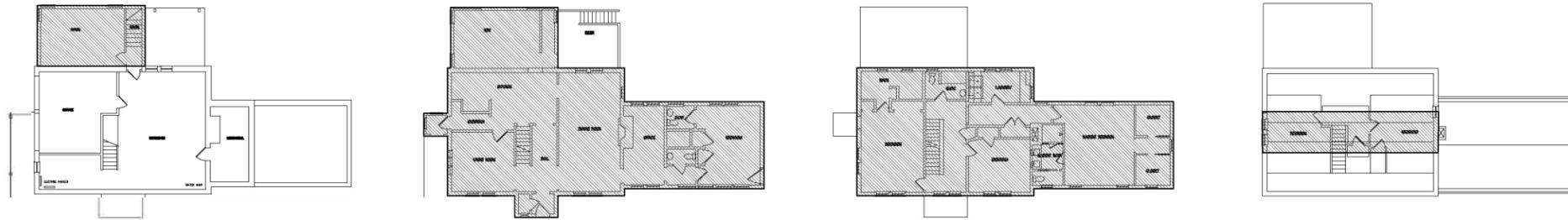
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BASEMENT: 281 SQ FT

FIRST FLOOR: 1,840 SQ FT

SECOND FLOOR: 1,493 SQ FT

ATTIC FLOOR: 310 SQ FT

1 FLOOR AREA DIAGRAMS  
1/16" = 1'-0"

### ZONING ANALYSIS

ISSUE	REQ'D/PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 SQ FT	10,270 SQ FT	NO CHANGE
MIN. FRONT YARD	20.0 FT	19.3 FT	NO CHANGE
MIN. SIDE YARD	10.0 FT	15.9 FT (AVG)	NO CHANGE
MIN. REAR YARD	30.0 FT	11.1 FT (AVG)	NO CHANGE
F.A.R.	.30 (.30) x 10,270 = 3,081 SQ FT	BASEMENT 281 SQ FT FIRST FLR 1,840 SQ FT 2ND FLR 972 SQ FT ATTIC 310 SQ FT TOTAL 3,403 SQ FT	BASEMENT 281 SQ FT FIRST FLR 1,840 SQ FT 2ND FLR 1,494 SQ FT ATTIC 310 SQ FT TOTAL 3,925 SQ FT**
MAX SQ FT WITH SPECIAL PERMIT FOR EXCEEDING MAX GROSS FLR AREA (130%)	3,081 SQ FT x 1.3 = 4,005 SQ FT**		**ALLOWABLE PENDING SPECIAL PERMIT APPROVAL

2 ZONING SUMMARY  
NTS



SPEAR DESIGN GROUP  
ARCHITECTURE  
INTERIOR FINISHES  
SPACE PLANNING

195 TAPPAN STREET, BROOKLINE, MA 02445  
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DATE: ISSUE FOR:

#### GENERAL NOTES

ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE MASSACHUSETTS BUILDING CODE AS WELL AS ALL LOCAL AND NATIONAL REGULATIONS.

THE WORK 'CONTRACTOR' AS USED HEREIN SHALL APPLY EQUALLY TO THE WORK OF ALL TRADES. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT WITH THE OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICABLE FILINGS OF ALL APPLICATIONS, PERMITS, DOCUMENTS, INSURANCE, ETC. WITH ALL REGULATORY AGENCIES AS REQUIRED IN CONNECTION WITH THIS WORK. ALL INSPECTIONS NECESSARY TO THE PERFORMANCE, COMPLETION, AND APPROVAL OF THE WORK SHALL BE SECURED BY THE CONTRACTOR.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS TO ENSURE A COMPLETE PROJECT, PER DRAWINGS AND SPECIFICATIONS.

THESE DRAWINGS INDICATE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT. ANY ITEM OF WORK NECESSARY FOR PROPER COMPLETION OF CONSTRUCTION WHICH IS NOT SPECIFICALLY COVERED ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL BE CONSIDERED INCLUDED IN THIS WORK AND SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.

THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF INFORMATION ADEQUATE TO CONSTRUCT THE PROJECT WITHOUT CONSTRUCTION ADMINISTRATION SERVICES, PROVIDED BY THE ARCHITECT AND PAID FOR BY THE OWNER. SHOULD THE PROJECT PROCEED WITHOUT THE ARCHITECT'S CONSTRUCTION ADMINISTRATION SERVICES, THE OWNER SHALL ASSUME ALL LIABILITY FOR ANY DISCREPANCIES, CONFLICTS, ERRORS, OR OMISSIONS THAT COULD HAVE BEEN ADDRESSED DURING THE CONSTRUCTION OF THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR LENGTHS, AREAS, OR DISTANCES, OR FOR ANY PURPOSE TO DETERMINE QUANTITIES OR PRICE. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

ALL LINES, SYMBOLS, NOTES, AND OTHER GRAPHIC DEVICES CONTAINED IN THE CONTRACT DOCUMENTS CARRY DESIGN INTENT. THE CONTRACTOR SHALL PAY SPECIFIC ATTENTION TO ALL DIMENSIONED OR IMPLIED PLAN/SECTION RELATIONSHIPS AND SHALL VERIFY ALL ALIGNMENTS AND SYMMETRIES BEFORE COMMENSING WORK.

ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS THAT OF SIMILAR CONDITIONS. FOR SPECIAL CONDITIONS OR DISCREPANCIES, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK TO THE AFFECTED AREAS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO VISIT THE SITE, VERIFY CONDITIONS, BECOME THOROUGHLY FAMILIAR WITH THE SCOPE OF WORK, AND REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS, SPECIFICATIONS, AND ALL OTHER PROJECT INFORMATION TO ALL SUBCONTRACTORS UNDER HIS/HER OR THE OWNER'S JURISDICTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL BUILDING CODES.

DIMENSIONS MAEKD 'VERIFY' OR 'V.I.F.' ARE TO BE CHECKED FOR ACCURACY BY THE CONTRACTOR AS WORK PROGRESSES.

CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING FIXTURES, AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE FOR SAID FIXTURES ARE PROVIDED.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER, WHEN IN THE COURSE OF DEMOLITION OR CONSTRUCTION, CONDITIONS ARE UNCOVERED WHICH ARE UNANTICIPATED OR OTHERWISE APPEAR TO PRESENT A DANGEROUS CONDITION.

INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON RECORD DRAWINGS OR INFORMATION WHICH MAY OR MAY NOT REFLECT EXISTING CONDITIONS. SUCH INFORMATION IS INCLUDED ON ASSUMPTION THAT IT MAY BE OF INTEREST TO THE CONTRACTOR BUT THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY OR COMPLETENESS.

THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

THE CONTRACTOR SHALL PROVIDE FOR ALL PROPER BRACING, SHEETPIILING, SHORTING, ETC AND THE PROTECTION AND SUPPORT OF THE EXISTING AND ADJACENT STRUCTURES AND TREES THAT ARE TO REMAIN. PROVIDE FOR ALL UNDERPINNING AS REQUIRED DUE TO FIELD AND PROJECT CONDITIONS.

THE ENTIRE WORK SHALL BE ACCURATELY FRAMED PLUMB, LEVEL AND TRUE, WELL SPIKED AND NAILED AND ANCHORED TOGETHER TO FORM A RIGID STRUCTURE AND TO INSURE EVEN SETTLEMENT AND SHRINKAGE THROUGHOUT. ANY DAMAGE TO ANY EXISTING PAVEMENTS (INCLUDING PUBLIC STREETS) OR STRUCTURES TO REMAIN MUST BE REPAIRED TO THEIR ORIGINAL CONDITION OR REPLACED THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.

ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR INSTRUCTIONS.

RESECURE AND PROPERLY SUPPORT ALL EXISTING FRAMING AND ALL OTHER CONSTRUCTION THAT MAY BE AFFECTED BY NEW CONSTRUCTION.

BRACE ALL FOUNDATION WALLS AS REQUIRED PRIOR TO BACKFILLING.

CONTRACTOR SHALL GUARANTEE FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL COMPLETION AND ACCEPTANCE BY THE OWNER, ALL WORK PERFORMED UNDER THEIR RESPECTIVE CONTRACTS.

DURING THE COURSE OF CONSTRUCTION, IF MODIFICATIONS TO THE DESIGN OCCUR AS A RESULT OF OWNER, ARCHITECT ETC. THE CONTRACTOR SHALL SUBMIT WRITTEN COPIES OF A CHANGE ORDER WITH THE AMENDED PRICE. CONTRACTOR SHALL NOT CONTINUE WITH ANY CHANGES UNTIL HE/SHE RECEIVES WRITTEN AUTHORIZATION FROM THE OWNER.

THESE DRAWINGS ARE TO BE UTILIZED ONLY FOR THIS PROJECT. THEIR USE FOR OTHER PROJECTS IS PROHIBITED WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION FROM THE ARCHITECT.

DRAWING TITLE:  
TITLE SHEET/  
ZONING SUMMARY/  
GENERAL NOTES

SCALE:  
AS NOTED

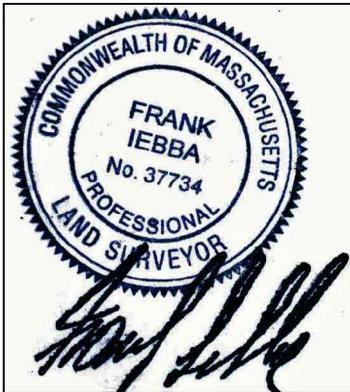
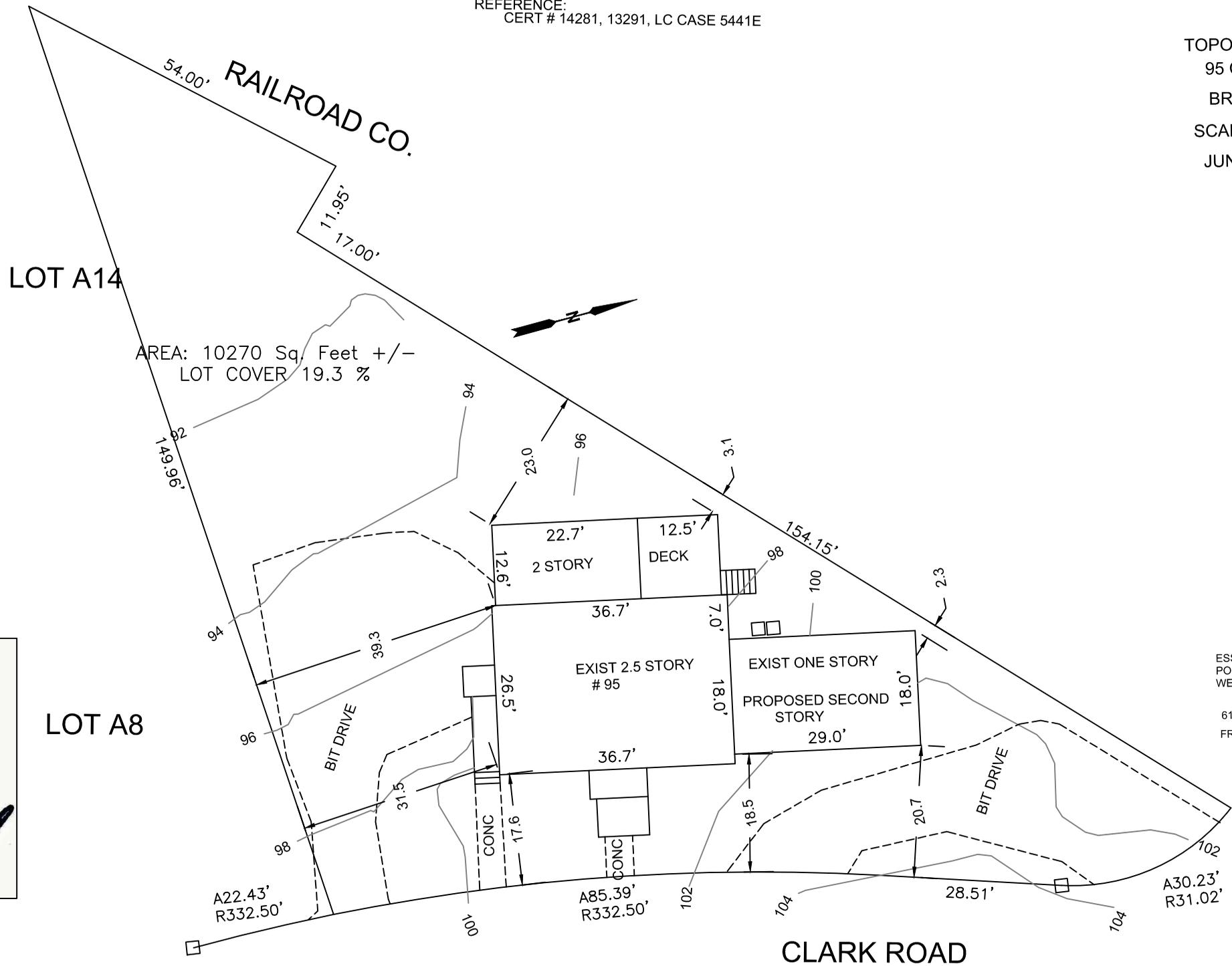
DATE:  
06/11/2019

SHEET NO:

A-0.01

REFERENCE:  
CERT # 14281, 13291, LC CASE 5441E

TOPOGRAPHIC PLAN  
95 CLARK ROAD  
BROOKLINE, MA  
SCALE: 1 IN = 20 FT  
JUNE 8, 2019



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DATE: ISSUE FOR:

DRAWING TITLE:  
EXISTING/DEMO  
FLOOR PLANS

SCALE:  
3/16" = 1'-0"

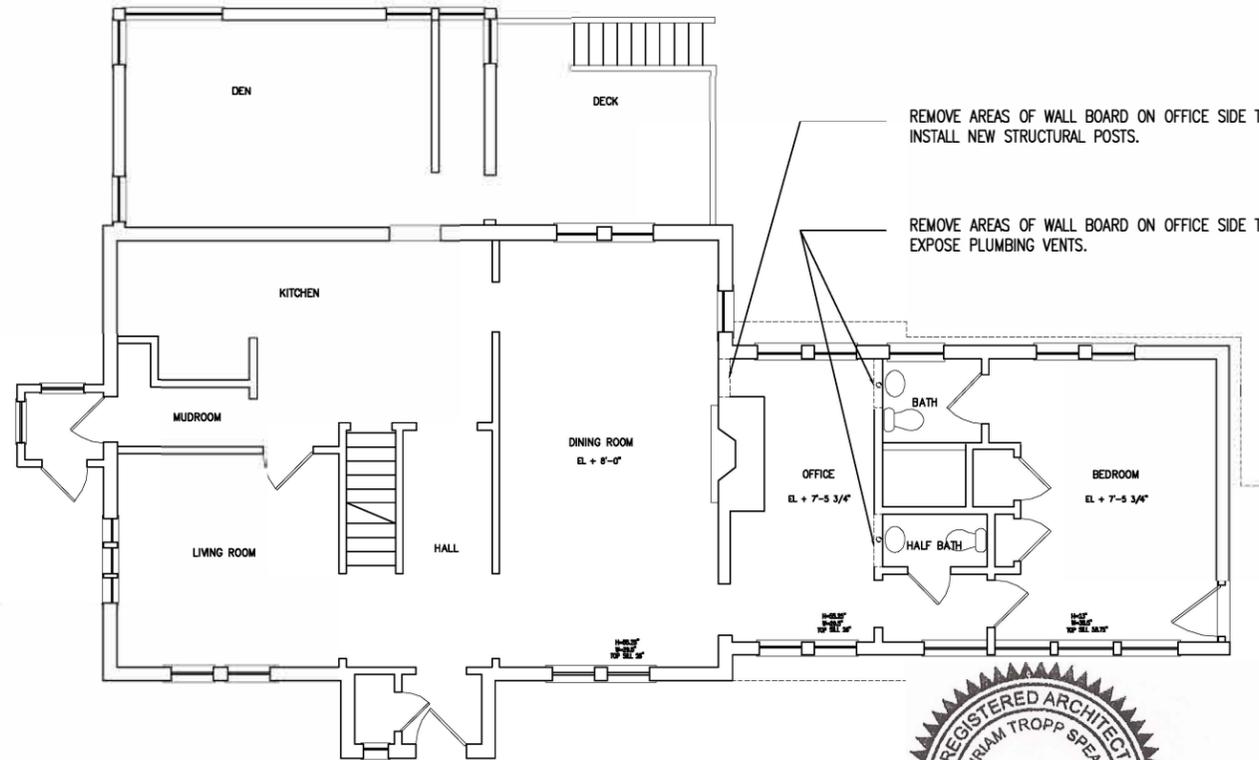
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06/11/2019

SHEET NO:

X-1.00



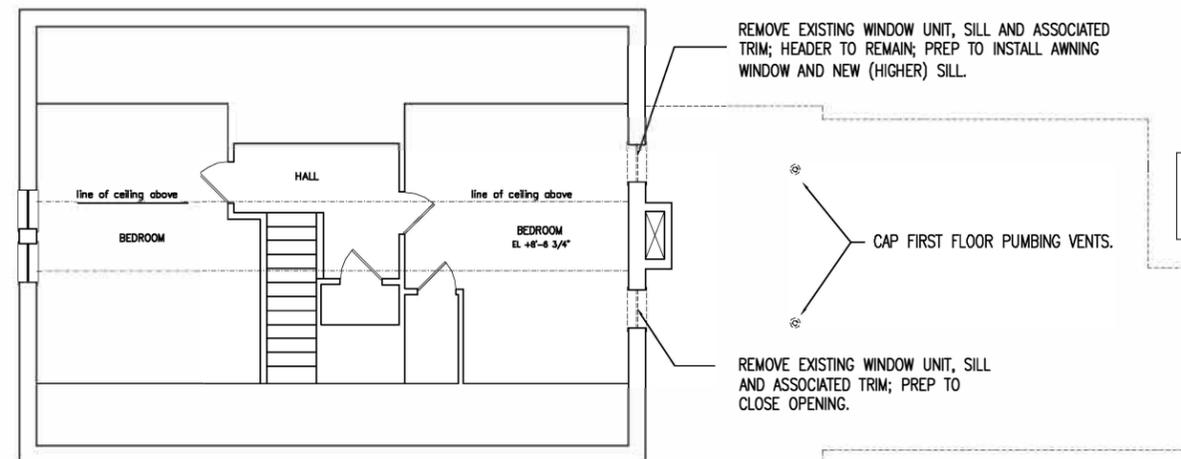
1 BASEMENT FLOOR PLAN  
3/16" = 1'-0"



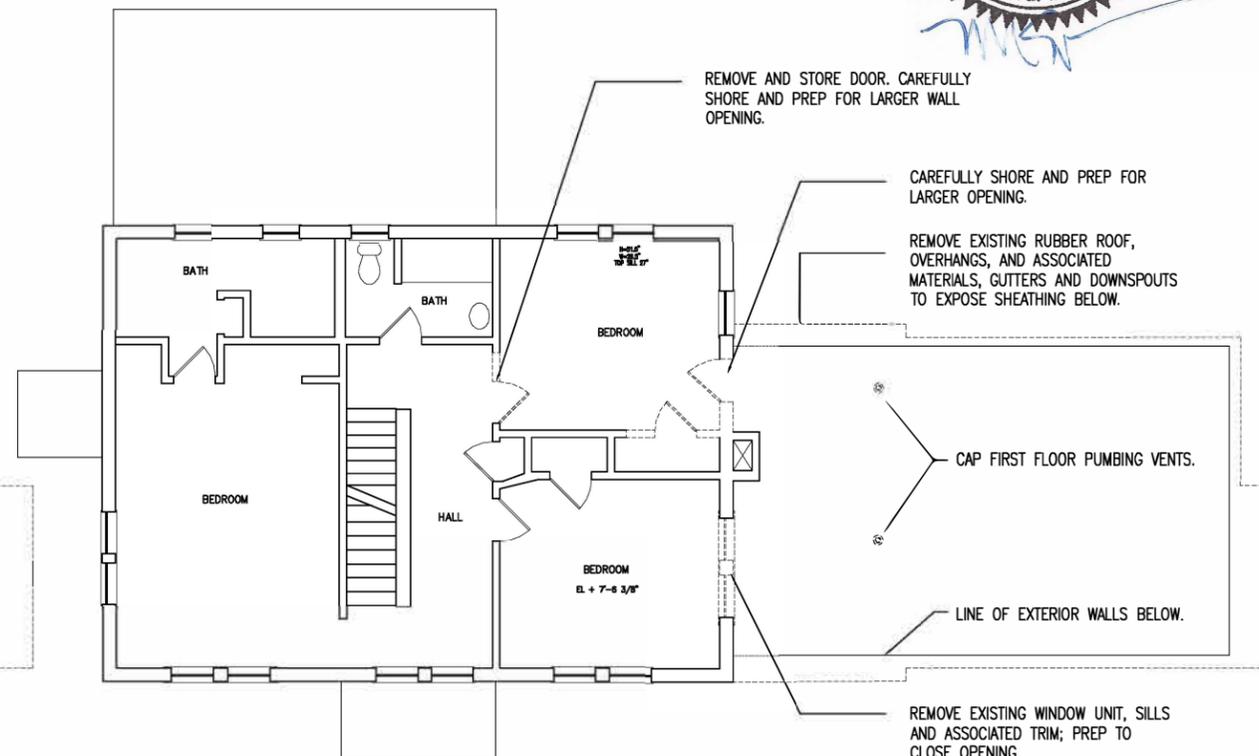
2 FIRST FLOOR PLAN  
3/16" = 1'-0"



DEMOLITION KEY  
 ITEM TO BE REMOVED  
 EXISTING ITEM TO REMAIN



4 ATTIC FLOOR PLAN  
3/16" = 1'-0"



3 SECOND FLOOR PLAN  
3/16" = 1'-0"

REMOVE AND STORE DOOR. CAREFULLY SHORE AND PREP FOR LARGER WALL OPENING.

CAREFULLY SHORE AND PREP FOR LARGER OPENING.

REMOVE EXISTING RUBBER ROOF, OVERHANGS, AND ASSOCIATED MATERIALS, GUTTERS AND DOWNSPOUTS TO EXPOSE SHEATHING BELOW.

REMOVE EXISTING WINDOW UNIT, SILL AND ASSOCIATED TRIM; HEADER TO REMAIN; PREP TO INSTALL AWNING WINDOW AND NEW (HIGHER) SILL.

CAP FIRST FLOOR PUMING VENTS.

REMOVE EXISTING WINDOW UNIT, SILL AND ASSOCIATED TRIM; PREP TO CLOSE OPENING.

LINE OF EXTERIOR WALLS BELOW.

REMOVE EXISTING WINDOW UNIT, SILLS AND ASSOCIATED TRIM; PREP TO CLOSE OPENING.

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DATE:	ISSUE FOR:

DRAWING TITLE:  
EXISTING  
BUILDING ELEVATIONS

SCALE:  
3/8" = 1'-0"

DATE:  
06/11/2019

SHEET NO:  
**X-2.00**

T.O. Main Roof 28'-5"

FF. Attic Fl  
17'-8"

FF. 2nd Fl  
9'-1"

FF. 1st Fl  
0'-0"

REMOVE EXISTING RUBBER ROOF,  
OVERHANGS, AND ASSOCIATED  
MATERIALS, GUTTERS AND  
DOWNSPOUTS TO EXPOSE  
SHEATHING BELOW.

**1** EXISTING FRONT BUILDING ELEVATION  
1/4" = 1'-0"

T.O. Main Roof 28'-5"

FF. Attic Fl  
17'-8"

FF. 2nd Fl  
9'-1"

FF. 1st Fl  
0'-0"

REMOVE EXISTING WINDOW UNIT, SILL AND ASSOCIATED  
TRIM; PREP TO CLOSE OPENING.

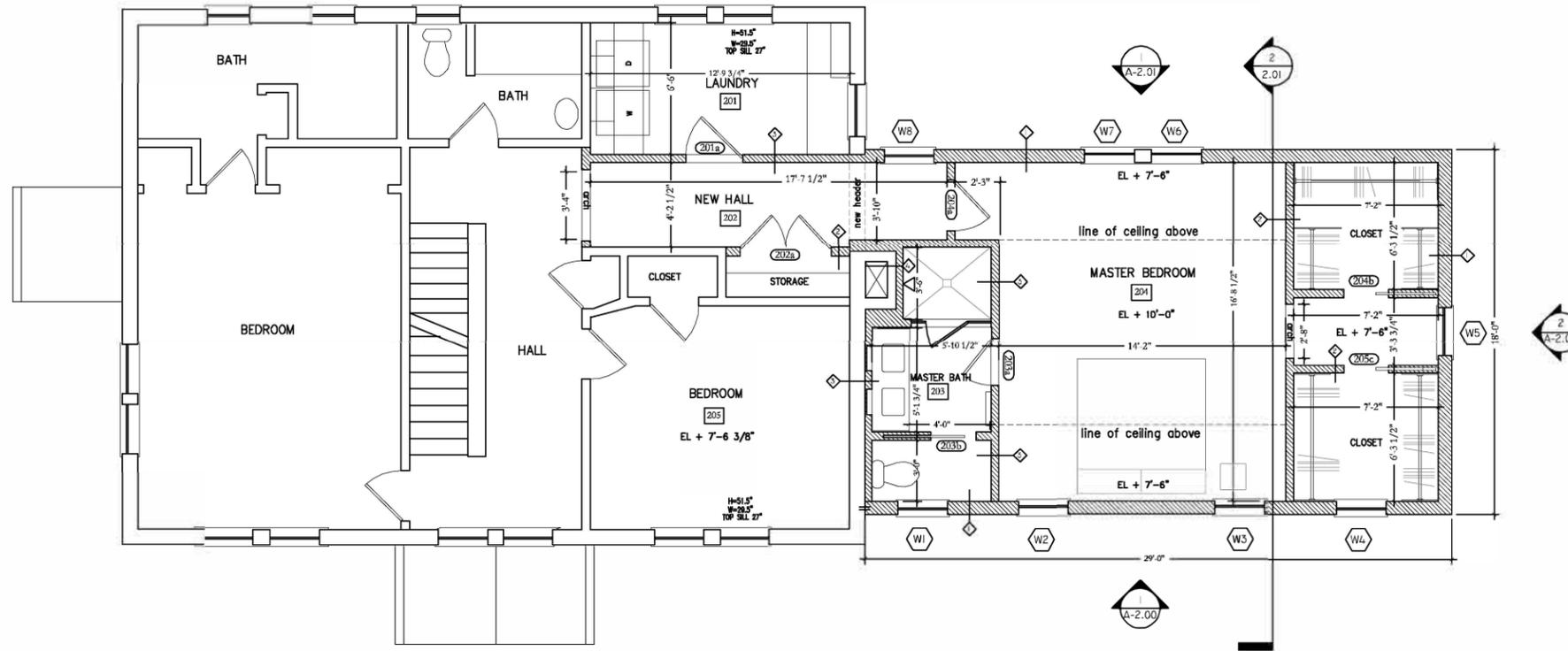
REMOVE EXISTING WINDOW UNIT, SILL AND TRIM;  
HEADER TO REMAIN. PREP OPENING FOR NEW AWNING  
WINDOW.

REMOVE EXISTING WINDOW UNIT/SILL, DOOR, AND  
ASSOCIATED TRIM.

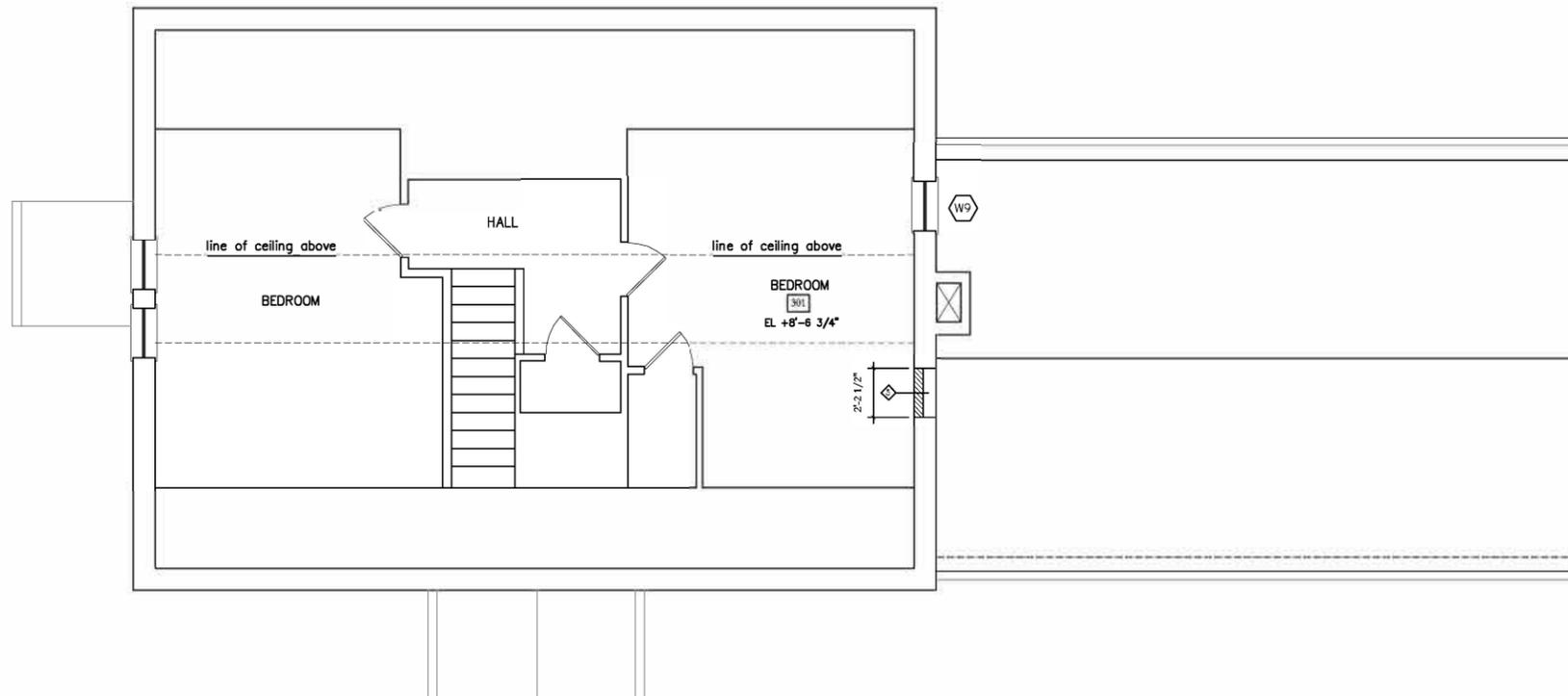
**2** EXISTING SIDE BUILDING ELEVATION  
1/4" = 1'-0"



*M.T.*



**1** PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



**2** PROPOSED ATTIC FLOOR/ROOF PLAN  
1/4" = 1'-0"



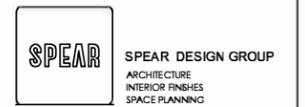
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DATE:	ISSUE FOR:

DRAWING TITLE:  
PROPOSED FLOOR PLANS

SCALE:  
1/4" = 1'-0"

DATE:  
06/11/2019

SHEET NO:  
**A-1.02**

THE  
FULD HOUSE

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DATE: ISSUE FOR:

DRAWING TITLE:  
PROPOSED  
BUILDING ELEVATIONS

SCALE:  
1/4" = 1'-0"

DATE:  
06/11/2019

SHEET NO:

A-2.00

T.O. Main Roof 28'-5"

T.O. New Roof 24'-8"

FF. Attic Fl  
17'-8"

FF. 2nd Fl  
9'-1"

FF. 1st Fl  
0'-0"



NEW ARCHITECTURAL ASPHALT  
SHINGLE ROOF.

NEW DOUBLE-HUNG WINDOWS; SDL  
6-OVER-6 WITH SPACER BAR;  
AZEK TRIM TO MATCH EXISTING.

FIBER CEMENT BOARD SIDING.

PTD. AZEK 'PAINTPRO' TRIM AND  
CORNER BOARDS.

SCOPE OF WORK

**1** PROPOSED BUILDING ELEVATION: FRONT  
1/4" = 1'-0"

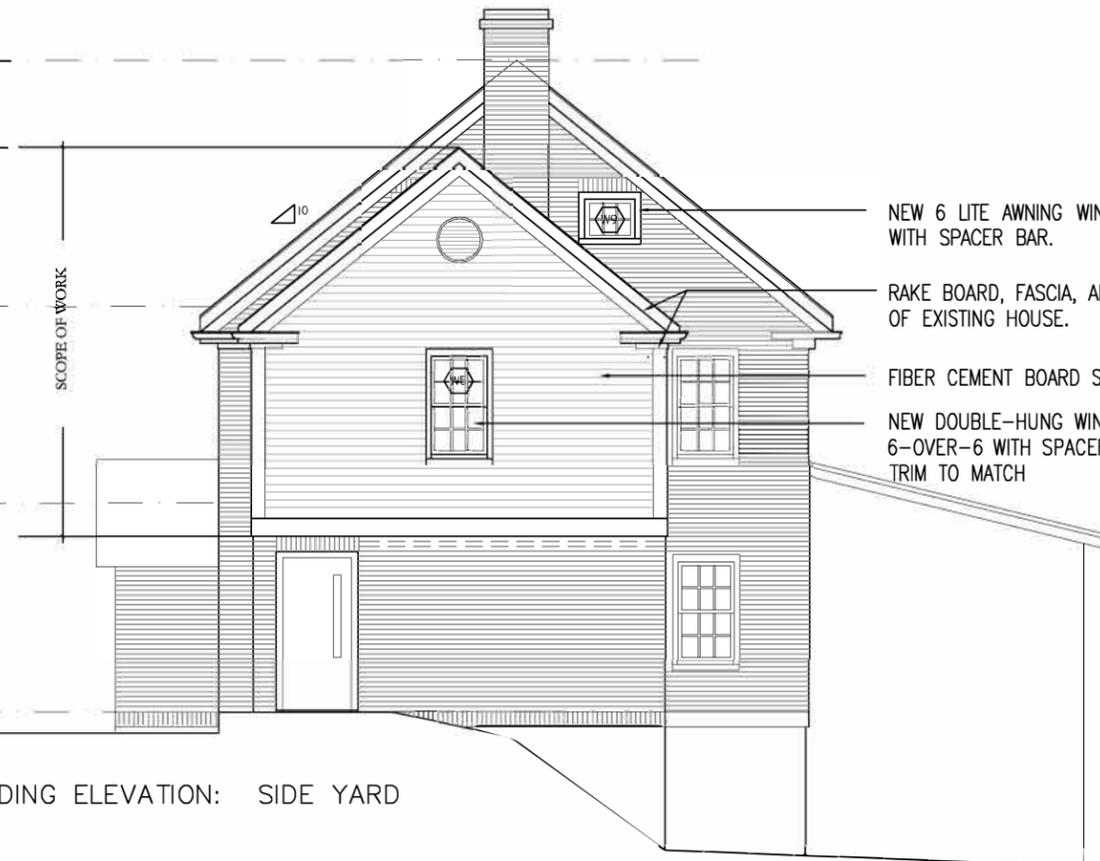
T.O. Main Roof 28'-5"

T.O. New Roof 24'-8"

FF. Attic Fl  
17'-8"

FF. 2nd Fl  
9'-1"

FF. 1st Fl  
0'-0"



NEW 6 LITE AWNING WINDOW AND SILL; SDL  
WITH SPACER BAR.

RAKE BOARD, FASCIA, AND CORNICE TO MATCH  
OF EXISTING HOUSE.

FIBER CEMENT BOARD SIDING.

NEW DOUBLE-HUNG WINDOWS; SDL  
6-OVER-6 WITH SPACER BAR; AZEK  
TRIM TO MATCH

SCOPE OF WORK

**2** PROPOSED BUILDING ELEVATION: SIDE YARD  
1/4" = 1'-0"



*M.T.*

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DATE: ISSUE FOR:

DRAWING TITLE:  
PROPOSED  
BUILDING ELEVATION/  
SECTION THRU ADDITION

SCALE:  
1/4" = 1'-0"

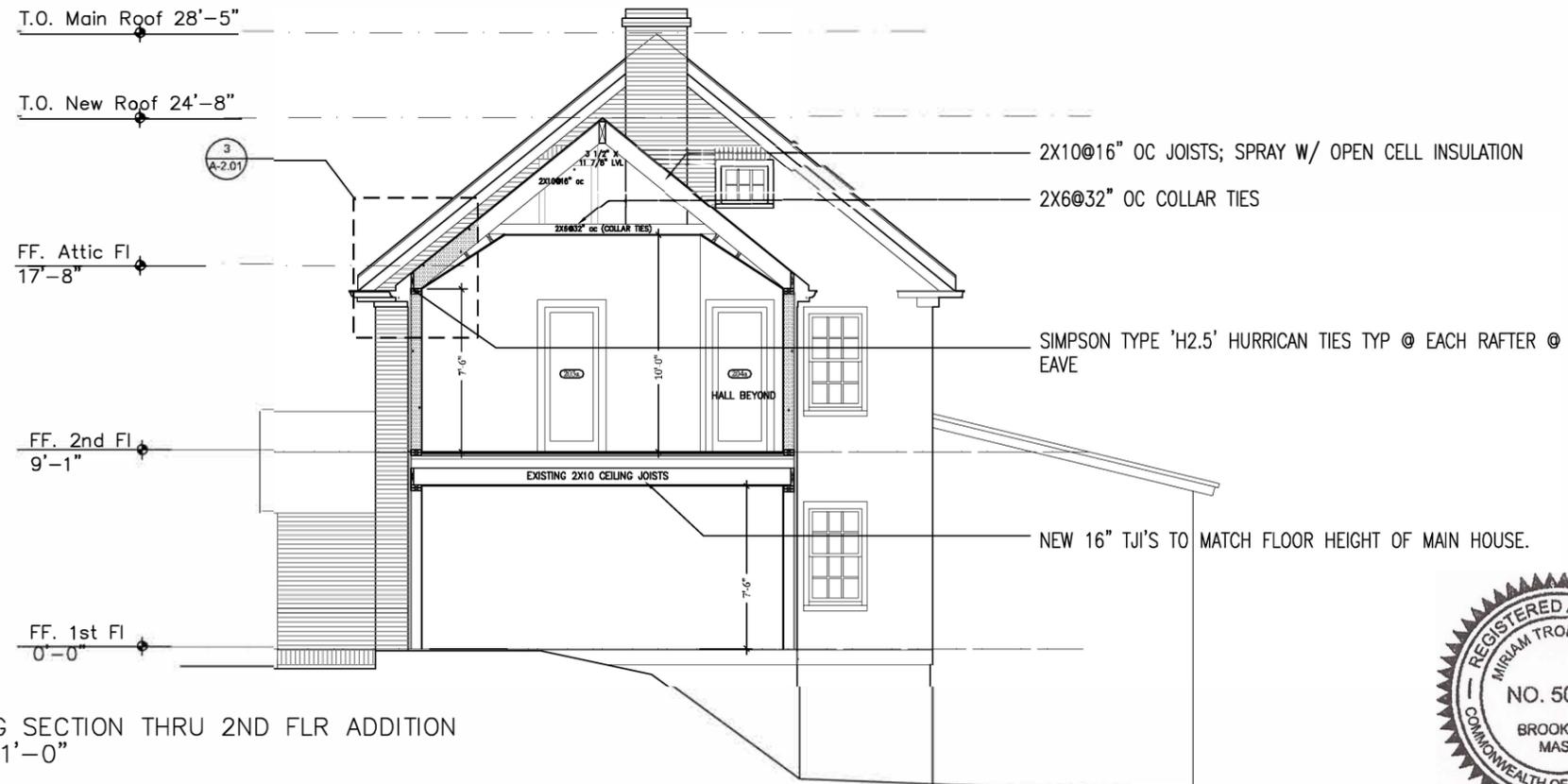
DATE:  
06/11/2019

SHEET NO:

A-2.01



**1** PROPOSED BUILDING ELEVATION: REAR YARD  
1/4" = 1'-0"



**2** BUILDING SECTION THRU 2ND FLR ADDITION  
1/4" = 1'-0"



*M.T.*