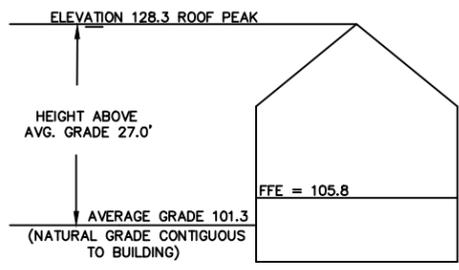


CLARK ROAD

PREPARED FOR:
 SHELAH S. BLOOM
 305 CLARK ROAD
 BROOKLINE, MA. 02445



NOTES:

1. ZONING CLASSIFICATION - S-7
 2. LOCUS DEED:
 NORFOLK REGISTRY OF DEEDS BOOK 28734 PAGE 379
 3. PLAN REFERENCES:
 NORFOLK REGISTRY OF DEEDS BOOK 1356 PAGE 433
 4. ASSESSORS PARCEL ID: 229-35-00
- AVERAGE GRADE:
 (102.2 + 101.4 + 101.4 + 100.6 + 100.5 + 100.8 + 101.4 + 101.6 + 102.1)
 = 912 / 9 = 101.3

PLOT PLAN
 FOR
 305 CLARK ROAD
 IN
 BROOKLINE, MA.

SCALE: 1"=20' MARCH 25, 2019

C & G SURVEY COMPANY
 37 JACKSON ROAD
 SCITUATE, MA. 02066
 1-877-302-8440

REVISED: 07-26-19

REQUIREMENTS:	UNITS	REQUIRED	CURRENT	PROPOSED
MINIMUM LOT AREA	S.F.	7,000	7,602±	7,602±
MINIMUM LOT WIDTH	FT.	65.0	66.68	66.68
FRONT SETBACK	FT.	20.0	16.1'	16.1'
SIDE SETBACK	FT.	7.5	9.0	9.0
REAR SETBACK	FT.	30.0	53.7	53.5
BUILDING HEIGHT	FT.	35.0	27.0	27.0
USABLE OPEN SPACE (% OF GFA)	%	30.0	136.0	111.0



305 CLARK ROAD

BROOKLINE, MASSACHUSETTS

PERMIT SET

Schedule of Drawings

JUNE 19, 2019



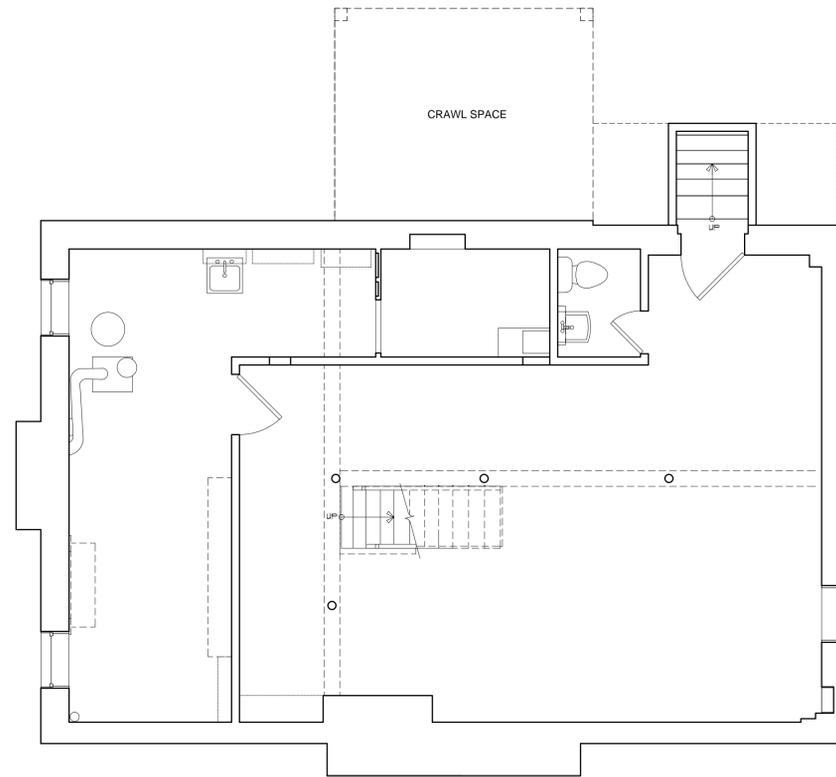
Pauli & Uribe Architects LLC
 Architect
 121 Mount Vernon Street | Boston, MA 02108
 617-221-0954 Office

Sht. No.	Title
T000	TITLE SHEET
EC1 - EXISTING CONDITIONS - FLOOR PLANS	
EC100	EXISTING BASEMENT FLOOR PLAN
EC101	EXISTING FIRST FLOOR PLAN
EC102	EXISTING SECOND FLOOR PLAN
EC3 - EXISTING CONDITIONS - EXTERIOR ELEVATIONS	
EC301	EXISTING NORTH & EAST EXTERIOR ELEVATIONS
EC302	EXISTING SOUTH & WEST EXTERIOR ELEVATIONS
A1 - PROPOSED - FLOOR PLANS	
A100	PROPOSED BASEMENT FLOOR PLAN
A101	PROPOSED FIRST FLOOR PLAN
A102	PROPOSED SECOND FLOOR PLAN
A3 - PROPOSED - EXTERIOR ELEVATIONS	
A301	PROPOSED NORTH & EAST EXTERIOR ELEVATIONS
A302	PROPOSED SOUTH & WEST EXTERIOR ELEVATIONS
SITE SURVEY BY: C & G SURVEY COMPANY	

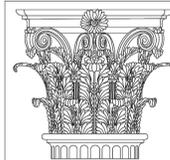


305 Clark Road, Brookline, MA 02445 Town of Brookline Zoning S-7				
	Required	Existing	Proposed	Conforms
Min. Lot Size	7000 sq ft	7602 sq ft	7602 sq ft	Yes, No Change
Max. Gross Floor Area (Based on F.A.R.)	2660 sq ft	2844 sq ft	3451 sq ft	Yes
F.A.R.	0.35*	0.37 (2844/7602)	.45 (3451 / 7602)	No*
Min. Lot Width	65 ft	66.68 ft	66.68 ft	Yes, No Change
Max. Height	35 ft	+/- 28 ft	+/- 28 ft	Yes, No Change
Min. Front Yard	20 ft	20.1	20.1	Yes, No Change
Min. Side Yard	7.5 ft	9.0ft, 18.7ft	9.0ft, 18.7ft	Yes, No Change
Min. Rear Yard	30 ft	53.8 ft	53.8 ft	Yes, No Change
Min. Open Space % (Landscape)	10%	119% (3958/3332)	97% (3803/3939)	Yes
Min. Open Space % (Usable)	30%	136% (4540/3332)	111% (4385/3939)	Yes

* Seeking 30% FAR increase



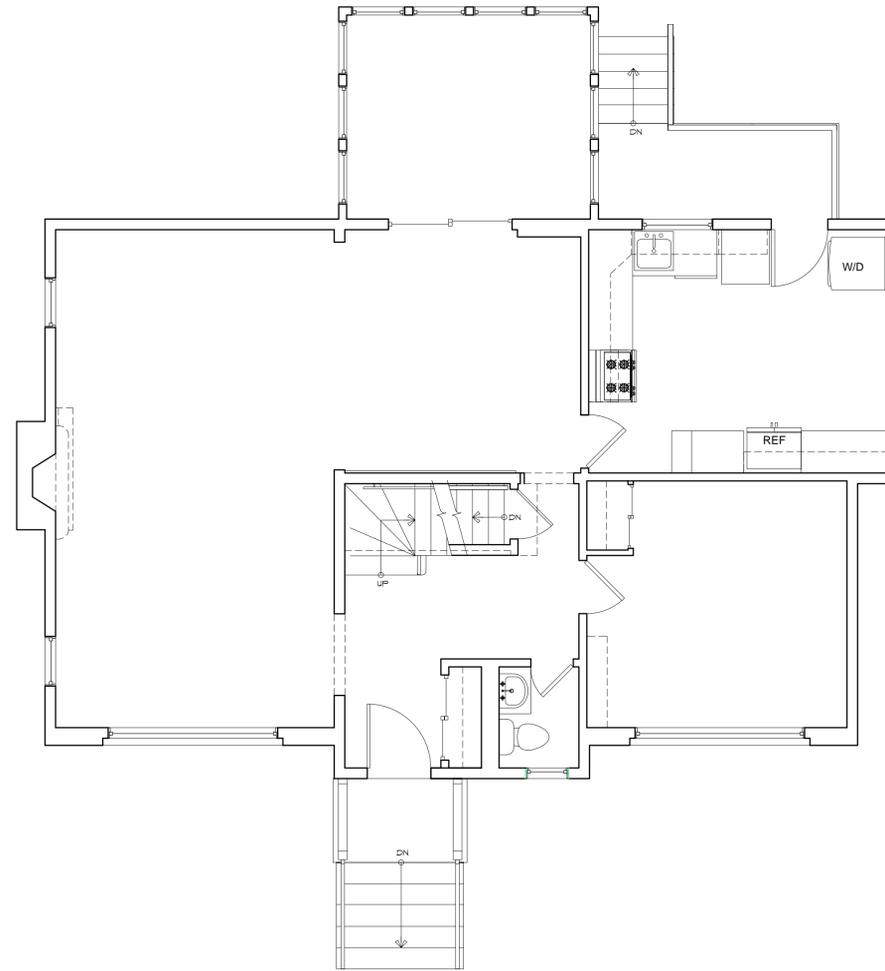
① EXISTING BASEMENT FLOOR PLAN
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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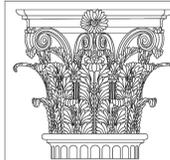
305 CLARK ROAD
 BROOKLINE, MA 02445

SHEET TITLE: EXISTING CONDITIONS BASEMENT FLOOR PLAN	SHEET NO. EC1.00
DATE: JUNE 19, 2019	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZF	



1

EXISTING FIRST FLOOR PLAN
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



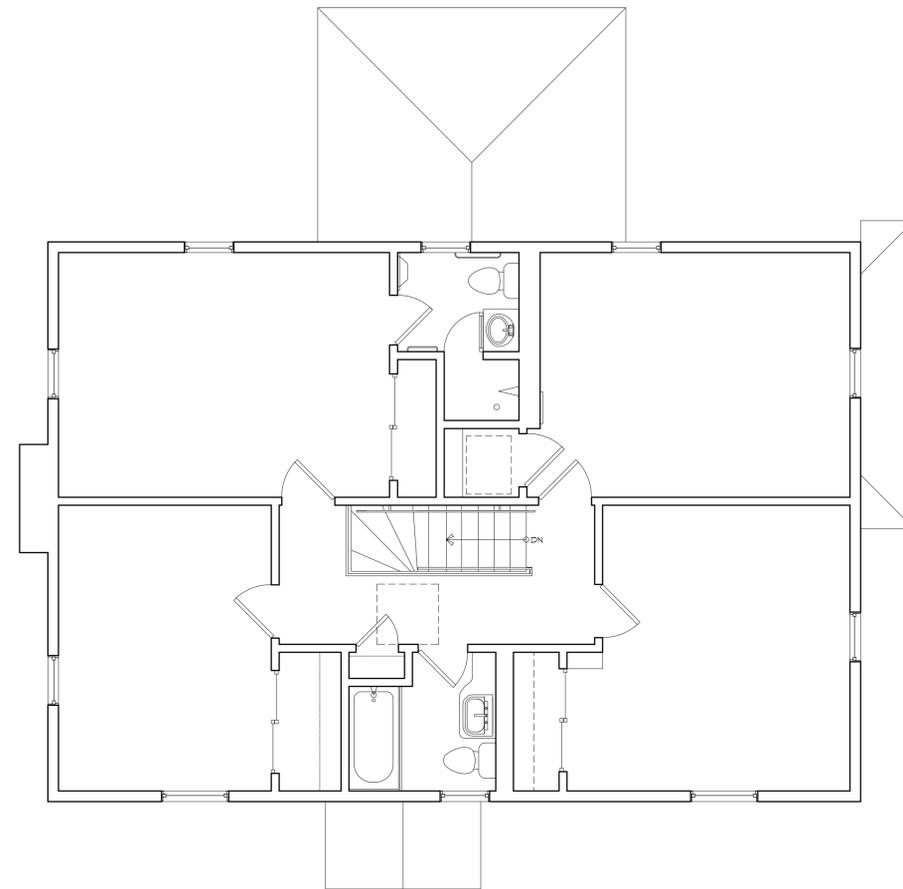
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305 CLARK ROAD
 BROOKLINE, MA 02445

SHEET TITLE:
 EXISTING CONDITIONS
 FIRST FLOOR PLAN

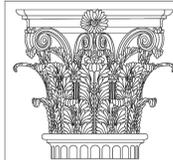
DATE: JUNE 19, 2019
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 EC1.01



1

EXISTING SECOND FLOOR PLAN
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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SHEET TITLE:
 EXISTING CONDITIONS
 SECOND FLOOR PLAN
DATE: JUNE 19, 2019
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

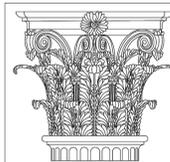
SHEET NO.
 EC1.02



1 EXISTING NORTH ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



2 EXISTING EAST ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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SHEET TITLE:
 EXISTING CONDITIONS
 EXTERIOR ELEVATIONS
 NORTH & EAST
DATE: JUNE 19, 2019
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 EC3.01



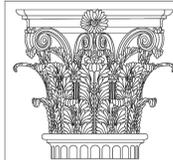
1

EXISTING SOUTH ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



2

EXISTING WEST ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

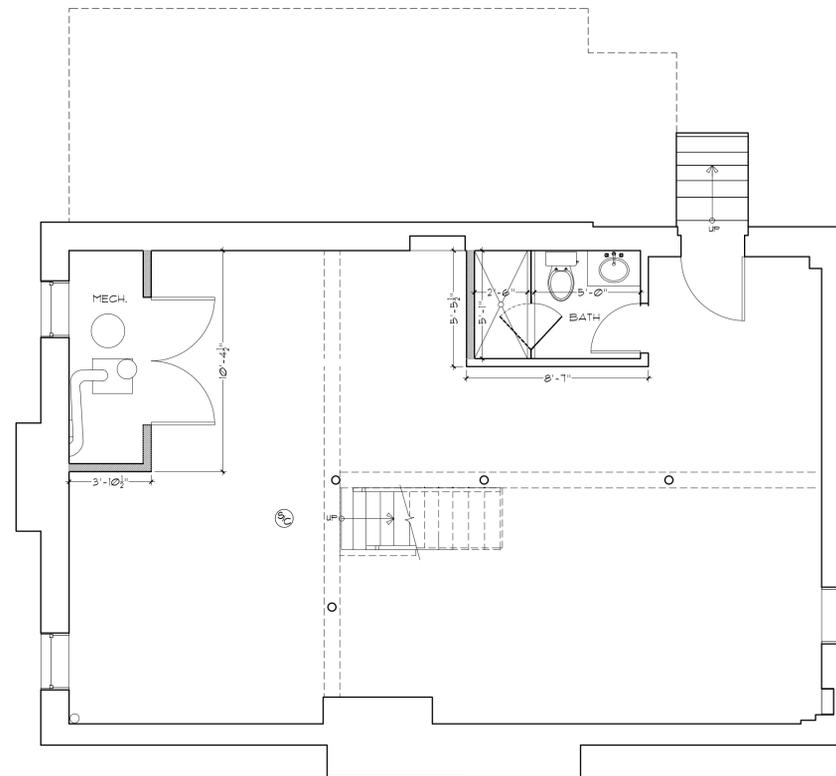


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305 CLARK ROAD
 BROOKLINE, MA 02445

SHEET TITLE:
 EXISTING CONDITIONS
 EXTERIOR ELEVATIONS
 SOUTH & WEST
DATE: JUNE 19, 2019
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
EC3.02

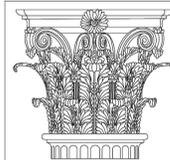


1

BASEMENT FLOOR PLAN
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



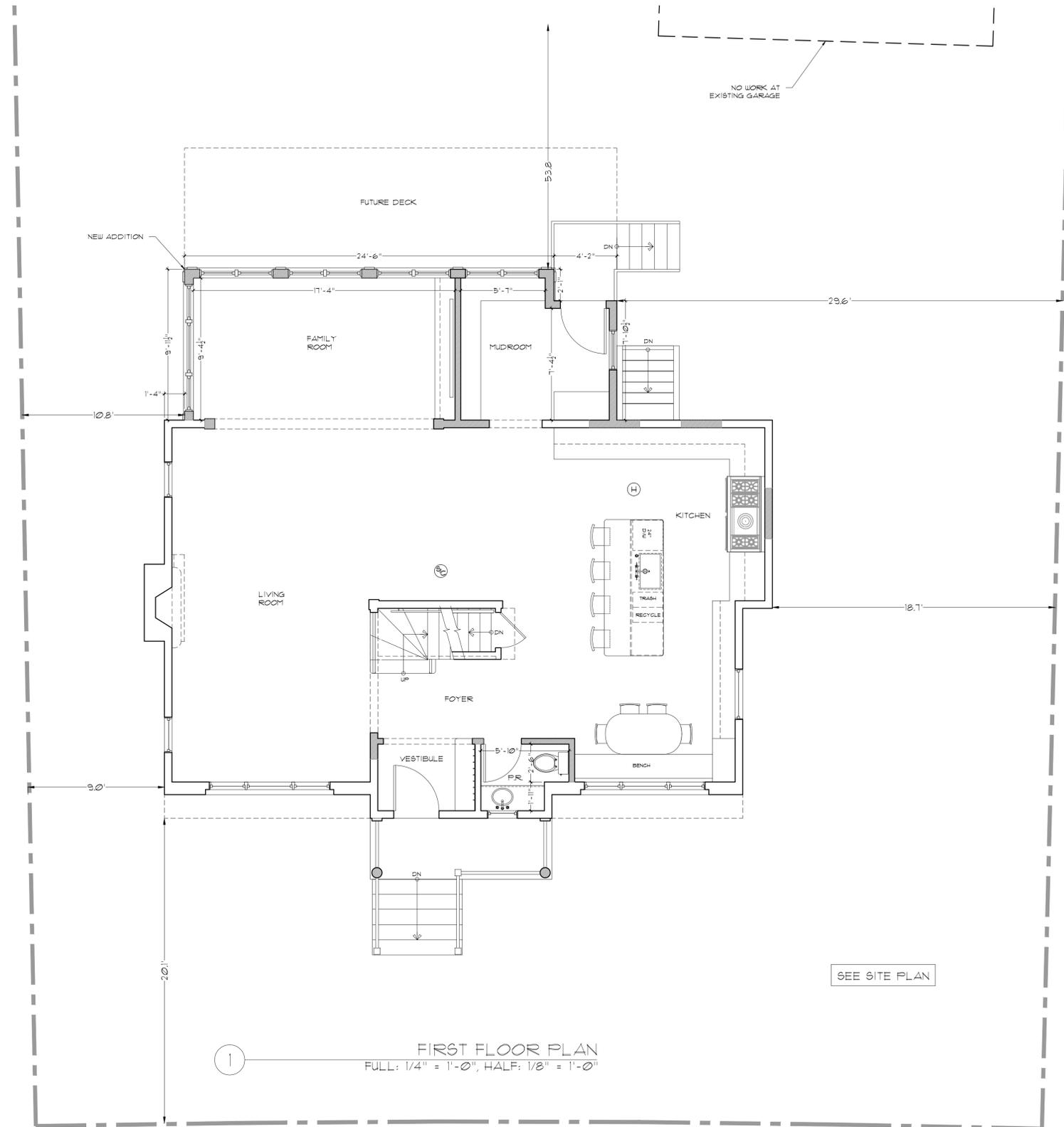
- GENERAL NOTES:
- PROPOSED PARTITIONS SHOWN AS
 - SMOKE DETECTORS SHOWN AS (S)
 - SMOKE/CARBON MONOXIDE SHOWN AS (SM)
 - HEAT DETECTOR SHOWN AS (H)



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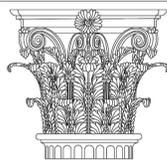
305 CLARK ROAD
 BROOKLINE, MA 02445

SHEET TITLE: PROPOSED BASEMENT FLOOR PLAN	SHEET NO. A1.00
DATE: JUNE 19, 2019	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



① FIRST FLOOR PLAN
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

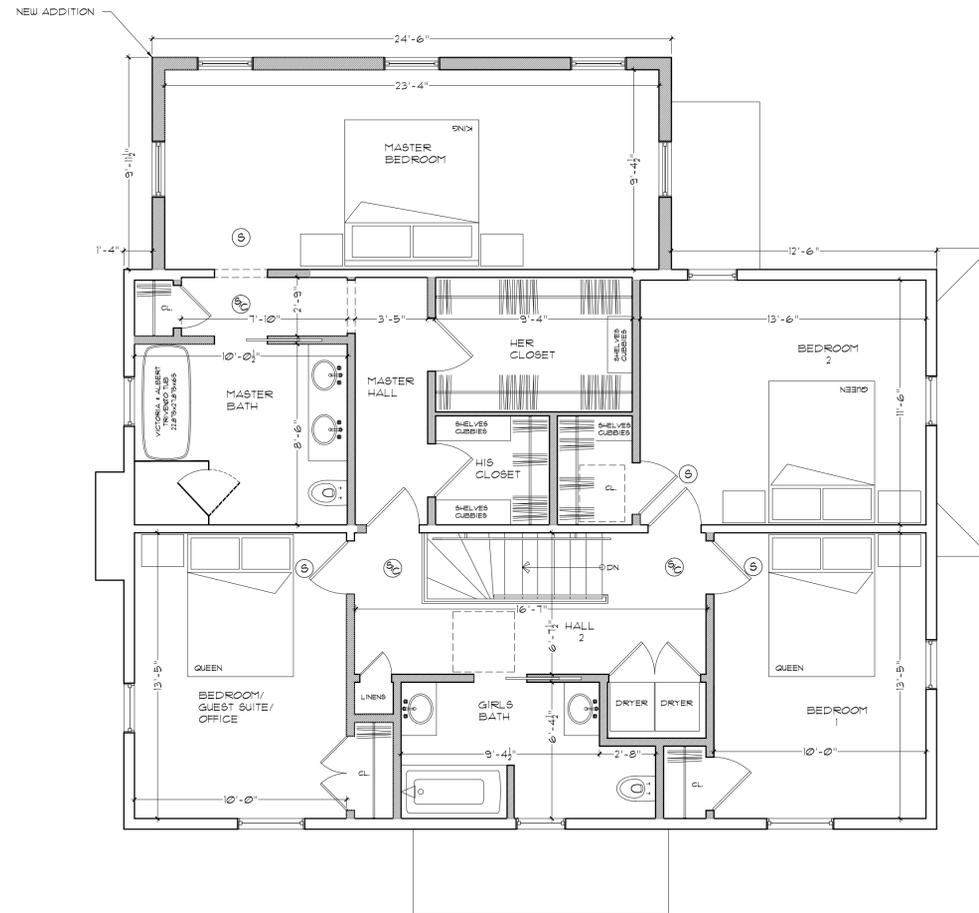
- GENERAL NOTES:
- PROPOSED PARTITIONS SHOWN AS
 - SMOKE DETECTORS SHOWN AS
 - SMOKE/CARBON MONOXIDE SHOWN AS
 - HEAT DETECTOR SHOWN AS

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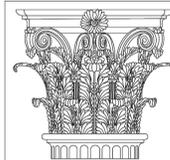
305 CLARK ROAD
 BROOKLINE, MA 02445

SHEET TITLE: PROPOSED FIRST FLOOR PLAN	SHEET NO. A1.01
DATE: JUNE 19, 2019	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



1 SECOND FLOOR PLAN
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

- GENERAL NOTES:
- PROPOSED PARTITIONS SHOWN AS
 - SMOKE DETECTORS SHOWN AS (S)
 - SMOKE/CARBON MONOXIDE SHOWN AS (C)
 - HEAT DETECTOR SHOWN AS (H)



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SHEET TITLE:
 PROPOSED
 SECOND FLOOR PLAN

DATE: JUNE 19, 2019
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

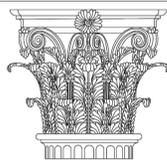
SHEET NO.
 A1.02



1 PROPOSED NORTH ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"


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SHEET TITLE: PROPOSED EXTERIOR ELEVATIONS NORTH & EAST	SHEET NO. A3.01
DATE: JUNE 19, 2019	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



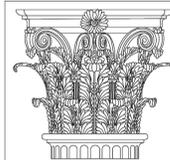
1

PROPOSED SOUTH ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



2

PROPOSED WEST ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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305 CLARK ROAD
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SHEET TITLE:
 PROPOSED
 EXTERIOR ELEVATIONS
 SOUTH & WEST
DATE: JUNE 19, 2019
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.

A3.02

Cornell Residence
305 Clark Road
Brookline, MA 02467

Impact Statement per Section 5.09.4 of Brookline Zoning By-Law

a. Preservation of Trees and Landscape—Trees and other landscape features shall be preserved in a natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas. Public shade trees within the public right-of-way are governed by Massachusetts General Law Chapter 87 and, where feasible, shall be preserved and the appropriate addition of such trees is encouraged.

The planned development is an extension off the back of a residential, single-family home built circa 1955 that was occupied by a single owner until her unfortunate passing. The property was renovated once since approximately 1963 and was sold and bought as-is with the understanding the buyer would need to make significant renovations to make the home habitable as the property was dilapidated inside and out. Our family, which includes two young girls, purchased the home after living in a 1300 sq. ft. Brookline condo for 9 years with the desire to provide a single-family home for our girls with a backyard that they could play in close to their school, John D Runkle Elementary.

The development under consideration measures approximately 512 square feet, the majority of which replaces an existing 3 season porch that was present when the property was acquired in May 2019. There are no trees or other landscape features that are impacted by the development under consideration in any way.

b. Relation of Buildings to Environment—Proposed development shall be related harmoniously to the terrain, trees, landscape, and natural features. The Board of Appeals may require a modification in massing so as to reduce the effect of shadows on abutting property or on public open space and public streets.

The majority of the footprint of the planned development is replacing an existing porch that was present when the property was acquired in May 2019. There are no trees or other landscape features that are impacted by the development under consideration in any way. As the development under consideration is being added to the back of the property, which is fully fenced, there will be no shadow effect on abutting properties, public open spaces and/or public streets. The roof line and pitch will match the existing structure.

c. Relation of Buildings to the Form of the Streetscape and Neighborhood—Proposed development shall be consistent with the use, scale, massing, height, yard setbacks and architecture of existing buildings and the overall streetscape of the surrounding area including existing abutting buildings and existing buildings that conform to the zoning by-law on lots of similar size in the neighborhood. The Board of Appeals may require a modification in massing, scale, height, setbacks or design so as to make the proposed building more consistent with the form of such existing buildings and the existing streetscape, and may rely upon data gathered that documents the character of the existing streetscape in making such a determination. Examples of changes that may be required include addition of bays or roof types consistent with those nearby; alteration of the massing, scale, setbacks and height of the building to more closely match such existing buildings and the existing streetscape, or changes to the fenestration. The street level of a commercial building should be designed for occupancy and not for parking. Unenclosed street level parking along the frontage of any major street as listed in paragraph 2., subparagraph a. of this section is strongly discouraged. Otherwise, street level parking should be enclosed or screened from view.

The development under consideration is an extension off the back of a residential, single-family home built circa 1955. The property was renovated once since approximately 1963 and was sold and bought as-is with the understanding the buyer would need to make significant renovations to make the home habitable as the property was dilapidated inside and out. The development under consideration measures approximately 512 square feet. Further the majority of the footprint of the planned development is replacing an existing porch that was present when the property was acquired in May 2019.

The proposed development will be consistent with the use, scale, massing, height, yard setbacks and architecture of existing buildings and the overall street scape of the surrounding area including existing abutting buildings and existing building that conform to the zoning by-law on lots of similar size in the neighborhood. It is important to note the adjacent properties with similar sized lots contain larger structures which have reduced setbacks at the rear. The property includes an existing two car garage that is set back from the street and therefore there will be no unenclosed street level parking along the frontage and street level. Parking is both enclosed and screened from view.

d. Open Space—All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility, and facilitate maintenance. All landscaped open space shall be continuously maintained.

All open space will be designed to add to the visual amenities of the vicinity. All landscaped open space shall be continuously maintained. Pursuant to sections m (Energy Efficiency) and the town of Brookline Noise Control By-law electric powered landscaping tools including but not limited to lawn mower, string trimmer and blower have been acquired to maintain the landscape.

e. Circulation—With respect to vehicular, bicycle and pedestrian circulation, including entrances, ramps, walkways, drives, and parking, special attention shall be given to location and number of access points to the public streets (especially in relation to existing traffic controls and mass transit facilities), width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, access to community facilities, demand for and availability of bicycle parking and storage facilities, and arrangement of parking areas that are safe and convenient and, insofar as practicable, do not detract from the use and enjoyment of proposed buildings and structures and the neighboring properties.

The development under consideration is an extension off the back of a residential, single-family home built circa 1955. As the development under consideration is being added to the back of the property and reuses the existing driveway there is no impact to vehicular, bicycle and pedestrian circulation including entrances, ramps, walkways, drives, and parking.

f. Stormwater Drainage—Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Storm water shall be removed from all roofs, canopies and paved areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, and will not create puddles in the paved areas. See By-Laws of the Town of Brookline-ARTICLE 8.25 Stormwater Management.

The development under consideration is an extension off the back of a residential, single-family home built circa 1955. The majority of the footprint of the planned development is replacing an existing porch that was present when the property was acquired in May 2019. Storm water shall be removed from all roofs using new

gutters and downspouts and carried away in an underground drainage system. Stormwater management is today and will be in the future in compliance with Town of Brookline-ARTICLE 8.25 Stormwater Management and will not obstruct the flow of vehicular or pedestrian traffic and not create puddles in the paved areas.

g. Utility Service—Electric, telephone, cable TV and other such lines and equipment shall be underground from the source in the public way to all buildings on the site. The location and screening of transformers and dumpsters shall be indicated on the site plan. The proposed method of sanitary sewage disposal and solid waste disposal shall be indicated.

There are no plans to alter the existing utility service connections which shall remain as they were when the property was acquired in May 2019. Further the utility service connections for the property are consistent with homes on Clark Road and abutting properties. Additionally, the home will continue to utilize the existing town of Brookline sanitary sewage and solid waste disposal services.

h. Advertising Features—The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures or features shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties.

There are no planned permanent signs and/or outdoor advertising structures or features that would detract from the use and enjoyment of proposed buildings and/or structures and surrounding properties.

i. Special Features—Exposed storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures whether on the building or on the ground, shall be subject to such setbacks, screen plantings or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.

There are no planned storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and/or structures.

j. Safety and Security—With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police, and other emergency personnel and equipment. Insofar as practicable, all exterior spaces and interior public and semi-public spaces be so designed as to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act.

The home currently has 3 points of ingress/egress and the development under consideration will add an additional ingress/egress point to further facilitate evacuation and maximize accessibility by first responders. Further all exterior spaces and interior public and semi-public spaces are designed to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passerby of any accident or attempted criminal act. Further as part of planned renovations the home will be outfitted with a modern security system for monitoring and alerting fire, police and other first responders of emergencies including but not limited to fire, carbon monoxide and criminal acts such as break-ins.

k. Heritage—With respect to Brookline's heritage, removal or disruption of historic, traditional or significant uses, structures, or architectural elements shall be minimized insofar as practicable, whether these exist on the site or on adjacent properties.

The modification of the Front Porch will add Architectural balance to the home and improve its curb appeal. Further, the new small sitting area will improve community connections to the neighborhood. There are no impacts to Brookline's heritage, removal

or disruption of historic, traditional or significant uses, structures or architectural elements as none exist on the site or on adjacent properties.

I. Microclimate—With respect to the localized climatic characteristics of a given area, any development which proposes new structures, new hard-surface ground coverage, or the installation of machinery which emits heat, vapor, or fumes, shall endeavor to minimize, insofar as practicable, any adverse impact on light, air, and water resources, or on noise and temperature levels of the immediate environment. The development shall comply with the provisions of the Noise Control By-law.

The development under consideration is an extension off the back of a residential, single-family home built circa 1955. The property was renovated once since approximately 1963 and was sold and bought as-is with the understanding the buyer would need to make significant renovations to make the home habitable as the property was dilapidated inside and out. The development under consideration measures approximately 512square feet. Further the majority of the footprint of the planned development is replacing an existing 3-season porch that was present when the property was acquired in May 2019.

There are no impacts planned to localized microclimate characteristics or plans to install machinery which emits heat, vapor or fumes that adversely impacts, light, air and water resources or on noise or temperature levels of the immediate environment. Further the development under consideration is compliant with the provisions of the Noise Control By-Law.

m. Energy Efficiency—To the maximum extent possible, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energyconscious design with regard to orientation, building materials, shading, landscaping, and other elements. Efforts shall be made to harmonize energy-related components with the character of the building and its surroundings and to prevent adverse effects on the energy consumption of neighboring structures and on the environment.

As the property was built circa 1955 planned renovations will to the maximum extent possible utilize energy-efficient technology to reduce energy consumption. This includes but is not limited to the use of; 1) spray foam for insulation, 2) use of energy efficient double paned windows with storms and 3) installation of a modern HVAC system utilizing wall mounted units. Further as part of planned renovations the home will be outfitted with a fast charger for charging hybrid/electric vehicles and will be wired to accommodate the potential addition of solar tiles/panels at a future date.

- End of Document -