

Brookline Preservation Commission Local Historic District Report

Address: 3 Adams Street

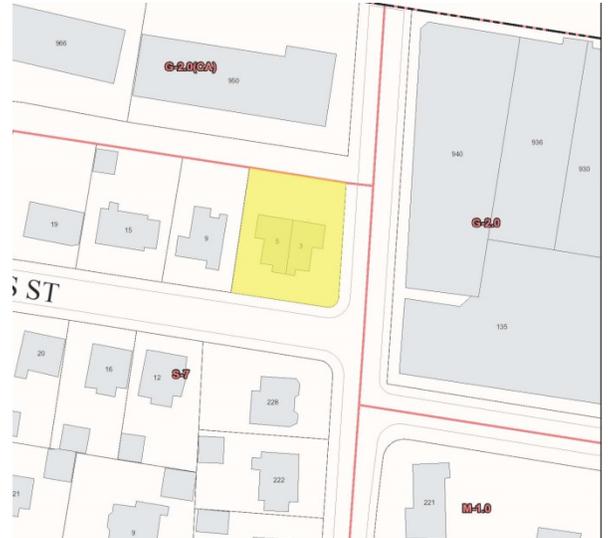
District: Crowninshield LHD

Applicant: Doug Olsen

Date Built: 1987

Architect: Larkin, Glassman and Prager Associates

Builder: James A Moorside



Statement of Significance:

3-5 Adams Street was constructed in 1987 after the original owner obtained a special permit (case #2831) from the Zoning Board of Appeals. The approval included that each address would be allocated two parking spaces in the rear of the property that would be accessed from the abutting rear passageway. In 2010, an exterior side entrance door was installed with a new stairway and landing. In 2019, the current owner obtained approvals via a 10 day letter and Certificate of Non-Applicability to replace a mix of wood and vinyl windows with Marvin wood windows.

Proposed Alterations:

The applicant is proposing to construct a 20' x 21' detached wood two car garage with a hipped asphalt roof in the rear of the property, located close to if not on the rear property line. The rear of the garage would face the rear of the house as access would be off of the rear private passageway, which is entered from Pleasant Street. Please note a change from the plans: the applicant is proposing wood windows, not vinyl.

Applicable Guidelines:

- New construction should respect the existing historic streetscape. The historic relationship of buildings to the street, including setbacks and open spaces, should be maintained.

- In areas where historic garages are generally detached, new garages should be detached. Attached garages should be located behind the main mass of the house and/or not facing the street, if possible. Garages with three or more bays are not historically appropriate except on large estates.
- The Commission will consider the appropriateness of the size and shape of the building or structure in relation to both the land area upon which the building or structure is situated and to buildings and structures in the vicinity. The Commission may impose dimensional and setback requirements more restrictive than those required by the Zoning By-law.
- The Commission will consider discrete additions and new building incorporating non-historical design vocabularies and materials, as long as they are otherwise consistent with the intent of the Guidelines.

Preliminary Findings:

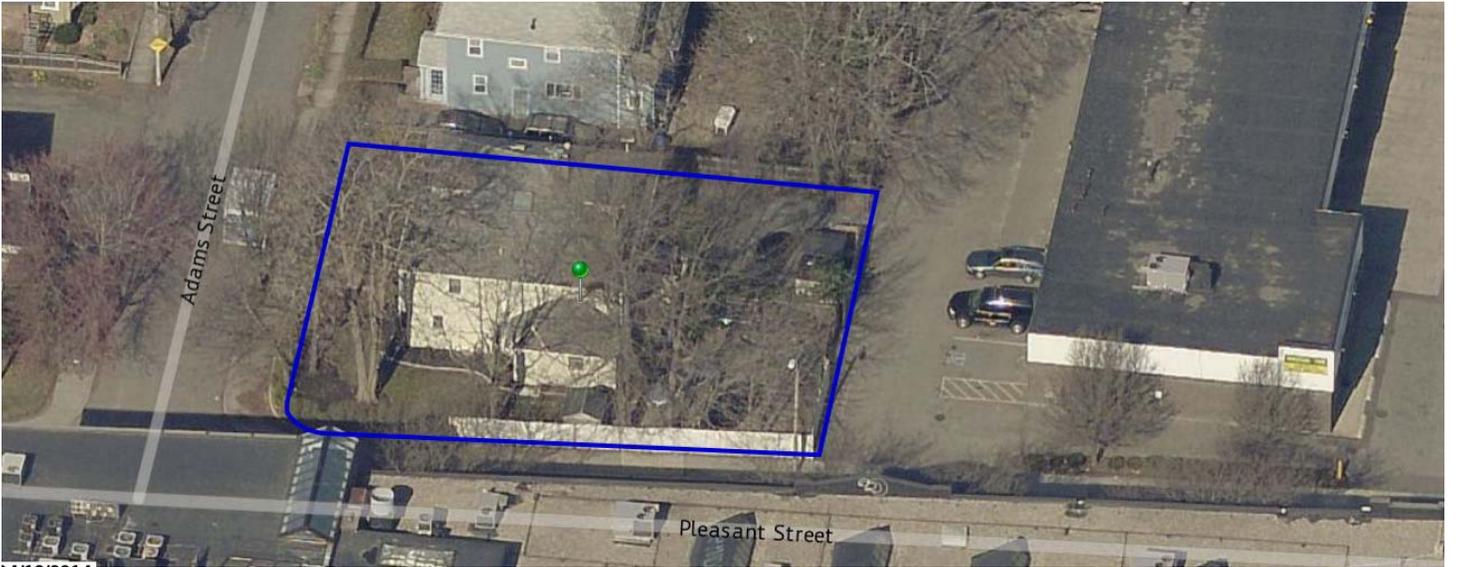
Historically it was not uncommon for properties in the Crowninshield LHD to have detached garages located in the rear of the property, including eight properties on Adams Street. The proposed garage at 3 Adams Street would be similar in placement and size to existing detached garages on the street. While the garage would be facing the opposite direction as the others on the street, it is likely that the rear of the garage would not be visible from Adams Street; thus the continuous view of garages facing Adams street would not be disrupted. The existing parking is located in the rear, with access off of the rear passageway, as required by the initial special permit to construct the dwelling. As the proposal maintains the existing access, the applicant is not proposing any additional paving or fence alterations. At some point additional paving was added in the rear, close to the fence that abuts Pleasant Street, and the applicant is planning to alter that into usable green space as the proposed garage will block vehicular access to it. The proposed garage does require zoning relief, and the applicant will seek approval from the Planning Board and Zoning Board of Appeals if the Preservation Commission approves the project. If approved, staff recommends final details be reviewed by staff or a subcommittee to ensure all materials are consistent with the Design Guidelines for Local Historic Districts.



Aerial view of 3 Adams Street, looking east.



Aerial view of 3 Adams Street, looking south.



Aerial view of 3 Adams Street, looking west.



Aerial view of 3 Adams Street, looking north.



Aerial view of Adams Street with existing detached garages located behind the house (with the front of the house facing Adams Street) circled



Photograph taken from Pleasant Street of existing rear conditions

Google Maps 3 Adams St



Project

**3 ADAMS STREET
Proposed Two Car Garage
Brookline, MA 02446**

Owners: Douglas Olsen and Marta Velasco

Drawings List

- Cover
- Existing Plot Plan
- Proposed Plot Plan
- A1** Site Plan and Zoning Analysis
- A2** Foundation Plan and Floor Plan
- A3** Roof Plan and Roof Framing Plan
- A4** Front Elevation and Left Side Elevation
- A5** Rear Elevation and Right Side Elevation
- A6** Wall Section and Garage Door Detail



Architect

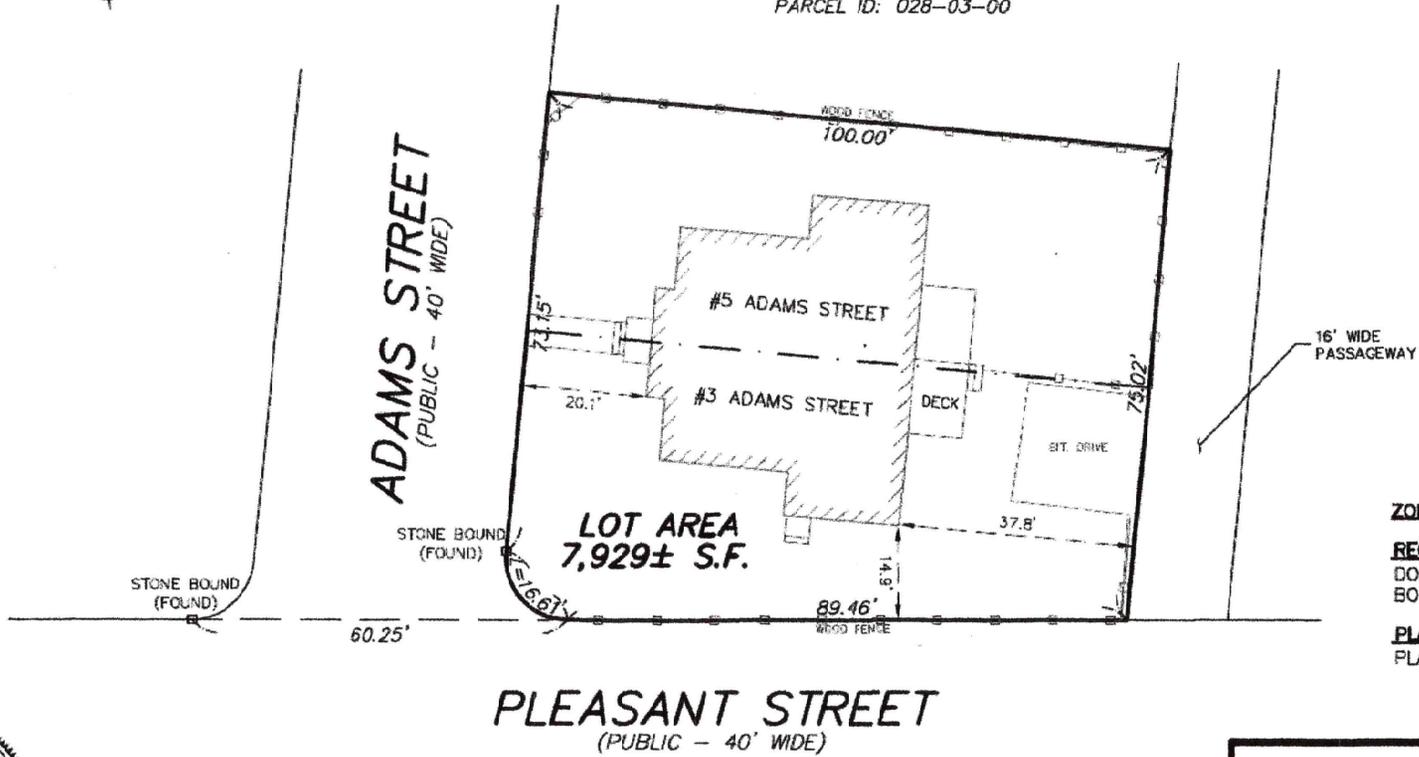
HEZEKIAH PRATT ARCHITECTURE + DESIGN
454 Lowell Avenue Newton, MA 02460
617.320.3749 hezpratt@gmail.com

**PERMIT PLANS
6.13.20**





N/F
9 ADAMS STREET
PARCEL ID: 028-03-00



ZONING SETBACKS: S7

RECORD OWNER:
DOUGLAS M. OLSEN & MARTA VELASCO
BOOK 3718 PAGE 211

PLAN REFERENCE:
PLAN No. 667 OF 1998

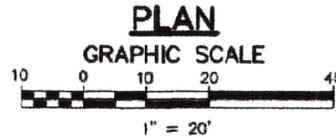


I HEREBY CERTIFY THAT THIS PLAN IS BASED
ON AN ACTUAL INSTRUMENT SURVEY MADE ON THE
GROUND IN JANUARY 2020 AND THE STRUCTURES
DEPICTED HEREON IS LOCATED AS SHOWN.

1-12-20
DATE

Scott M. Cerrato
SIGNATURE

PLEASANT STREET
(PUBLIC - 40' WIDE)



SCOTT M. CERRATO
Professional Land Surveyor

24 Pleasant View Drive Exeter, NH 03833 781-775-3724

PLOT PLAN

3 ADAMS STREET
BROOKLINE, MASSACHUSETTS
PARCEL ID: 028-02-01

JANUARY 13, 2020



N/F
9 ADAMS STREET
PARCEL ID: 028-03-00

ADAMS STREET
(PUBLIC - 40' WIDE)

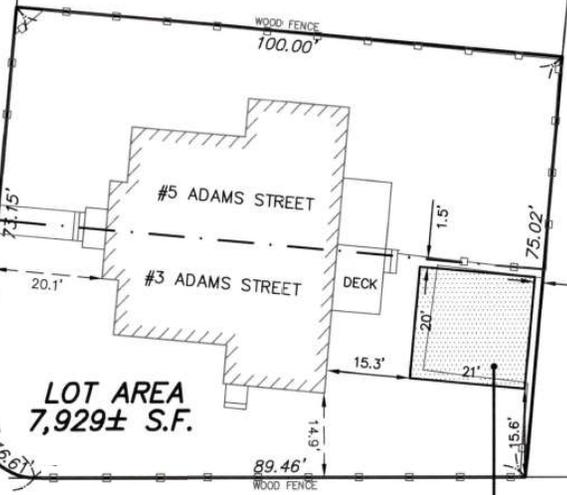
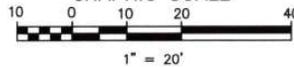
STONE BOUND (FOUND)

LOT AREA
7,929± S.F.

PLEASANT STREET
(PUBLIC - 40' WIDE)

PLAN

GRAPHIC SCALE



16' WIDE
PASSAGEWAY

PROPOSED TWO
CAR GARAGE

ZONING SETBACKS: S7

RECORD OWNER:

DOUGLAS M. OLSEN & MARTA VELASCO
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5-8-20

Scott M. Cerrato

DATE

SIGNATURE

SCOTT M. CERRATO
Professional Land Surveyor

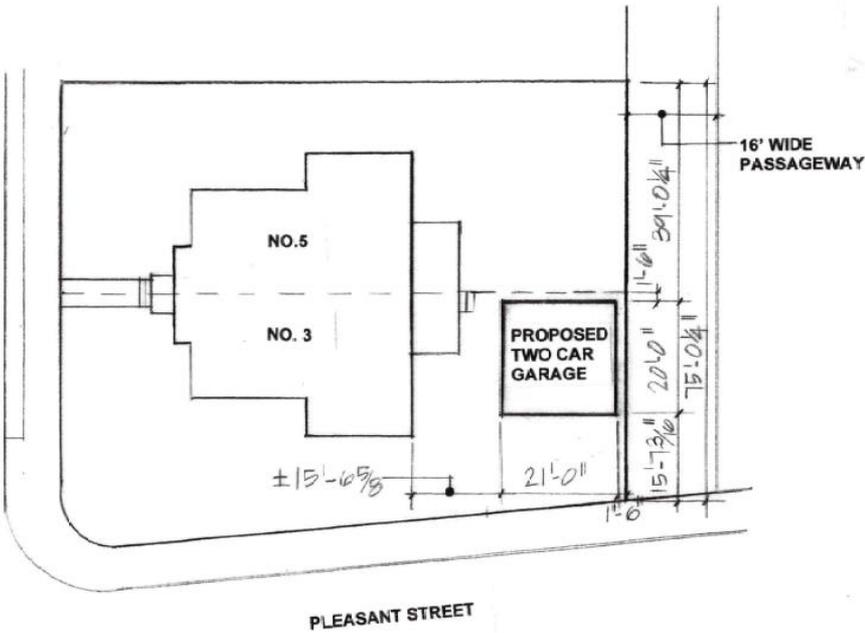
24 Pleasant View Drive Exeter, NH 03833 781-775-3724

PLOT PLAN

3 ADAMS STREET
BROOKLINE, MASSACHUSETTS
PARCEL ID: 028-02-01

MAY 8, 2020

ADAMS STREET



SITE PLAN
1" = 20' - 0"

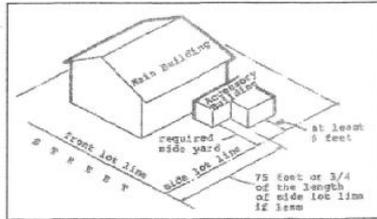


Figure 5.15 - Accessory Building or Structure in Side Yard in S, SC, T, F, or M Districts

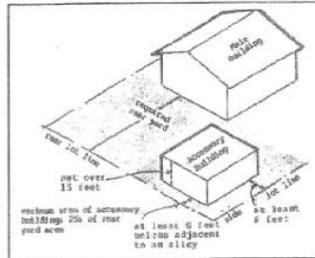


Figure 5.16 - Accessory Building or Structure in Rear Yard

ZONING ANALYSIS		29-Jul-20	
PROJECT ADDRESS	3 ADAMS STREET		
ZONING DISTRICT	S-7		
ZONING ARTICLES	5.46,5.53,5.63,5.72,5.90,5.91, TABLE 5.01		
PROPOSED BUILDING TYPE	2 CAR GARAGE		
PROPOSED BUILDING FOOTPRINT	20 FEET WIDE X 21 FEET DEEP		
PROPOSED GARAGE GROSS SF	420 GROSS SF		
EXISTING RESIDENTIAL BUILDING GROSS SF	4959 GROSS SF		
TABLE 5.01 DIMENSIONAL REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	7,000 SF	7,929 SF	NO CHANGE
MAX. FLOOR AREA RATIO (FAR)	0.35	0.62	0.62
MAXIMUM HEIGHT - NEW GARAGE	15 FEET	NA	12.5 FEET
FRONT YARD SETBACK - NEW GARAGE	14.63 FEET	NA	15.6 FEET
SIDE YARD SETBACK - NEW GARAGE	6 FEET	NA	39.02 FEET
REAR YARD SETBACK - NEW GARAGE	6 FEET	NA	1.5 FEET
MIN. LANDSCAPED OPEN SPACE	495.90 SF (10% OF GROSS FLOOR AREA)	1,920 SF	1,920 SF
MIN. USABLE OPEN SPACE	1,487.70 SF (30% OF GROSS FLOOR AREA)	3,030 SF	3,030 SF

§5.53 - ACCESSORY BUILDINGS IN FRONT YARDS

Accessory buildings shall not be permitted within required front yards.

§5.63 - ACCESSORY BUILDINGS OR STRUCTURES IN SIDE YARDS

Except as may be permitted in §5.44, in any S, SC, T, F, or M District: no part of any accessory building or structure situated within 75 feet of the street line, or within a distance equal to three-fourths of the lot depth if that be less, shall extend within any required side yard. Elsewhere on the lot such buildings or structures may extend into the side yard one-half the required width, but such setback shall be no less than six feet. No accessory building or structure within a required side yard shall exceed 15 feet in height.

§5.72 - ACCESSORY BUILDINGS OR STRUCTURES IN REAR YARDS

Except as may be permitted in §5.44, accessory buildings or structures may occupy up to 25 percent of the required rear yard provided that no such accessory building or structure within a required rear yard shall exceed 15 feet in height, nor be located closer than six feet to any side or rear lot line; nor shall an accessory building be closer than six feet to a principal building; however, if the rear lot line is adjacent to an alley, the setback for the accessory building shall be governed by the State Building Code.

OPEN SPACE REGULATIONS

§5.90 - MINIMUM LANDSCAPED OPEN SPACE

Every lot in any residence district shall include landscaped open space with a total area not less than the percentage of gross floor area of all buildings on the lot as specified in Table 5.01.

§5.91 - MINIMUM USABLE OPEN SPACE

1. Where a minimum usable open space is required in addition to landscaped open space, there shall be included in every lot used in whole or in part for dwelling units intended for family occupancy an area of usable open space provided at the rate specified in Table 5.01. The percentage specified in Table 5.01 shall be the percent of gross floor area of all buildings on the lot. In S, SC, T, and F Districts, a residential use with more dwelling units than are permitted as of right shall provide as much usable open space as required for the dwellings permitted as of right in that district.

Project

3 ADAMS STREET

Proposed Two Car Garage

3 Adams Street, Brookline, MA 02446

Drawing Title: **SITE PLAN AND ZONING ANALYSIS A1**

Scale: 1" = 20' - 0"

Project No.: 2010 Date: 6.13.20

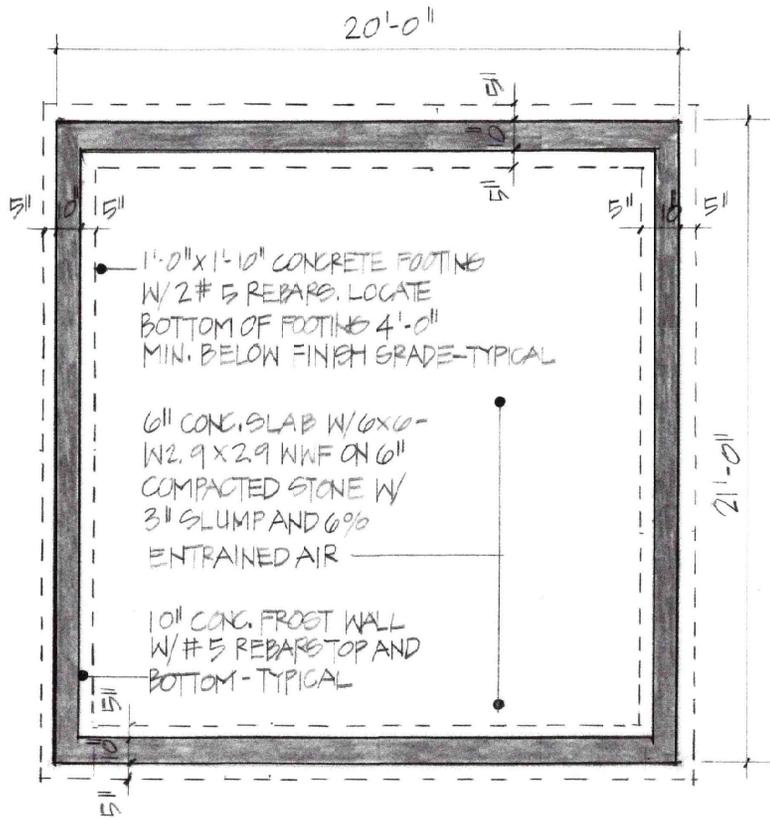
Architect

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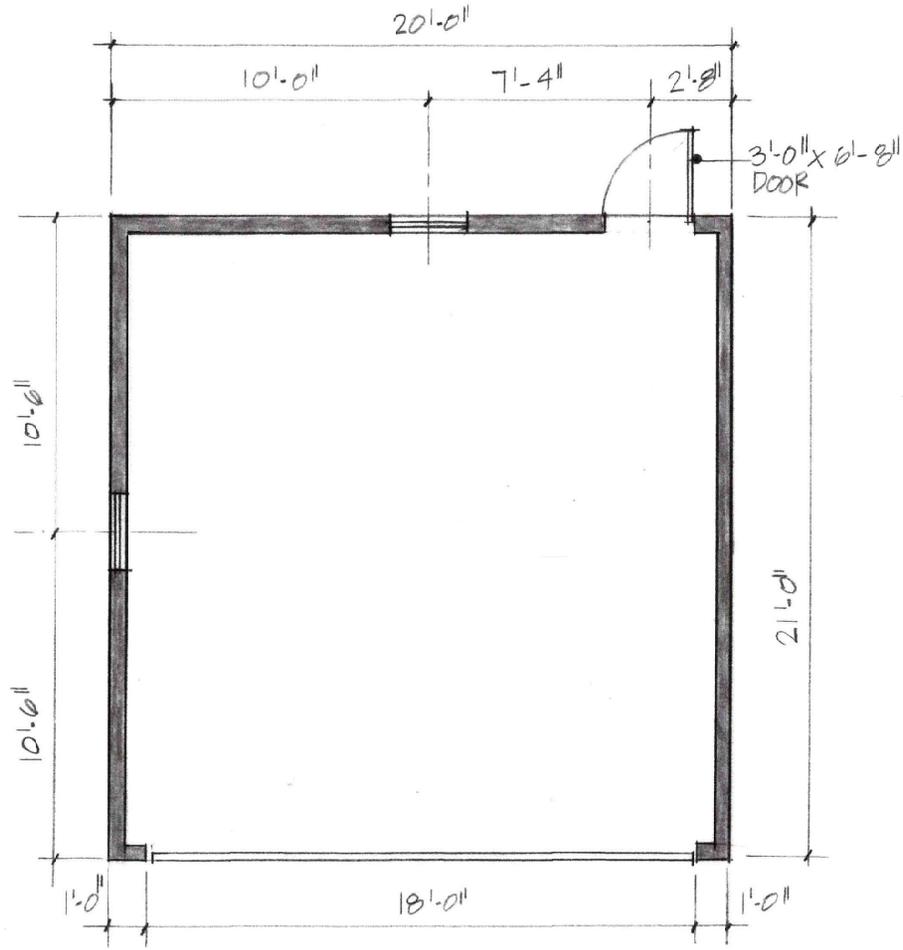
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FOUNDATION PLAN

Scale 1/4" = 1' - 0"



PLAN

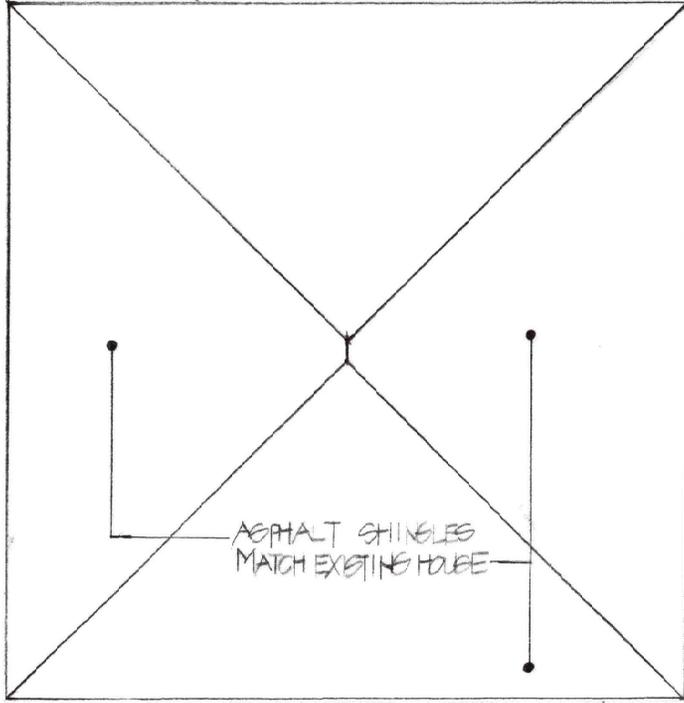
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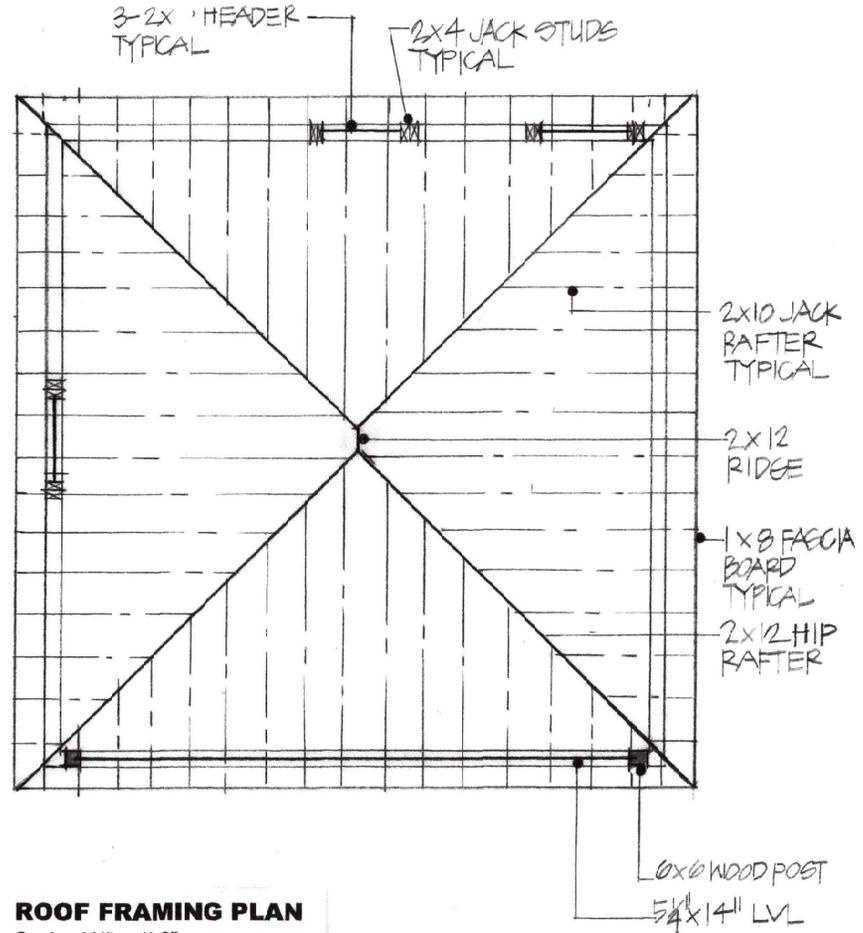
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Project
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Drawing Title: **FOUNDATION PLAN AND FLOOR PLAN A2**
 Scale: 1/4" = 1' - 0"
 Project No.: 2010 Date: 6.13.20



ROOF PLAN
Scale: 1/4" = 1'-0"

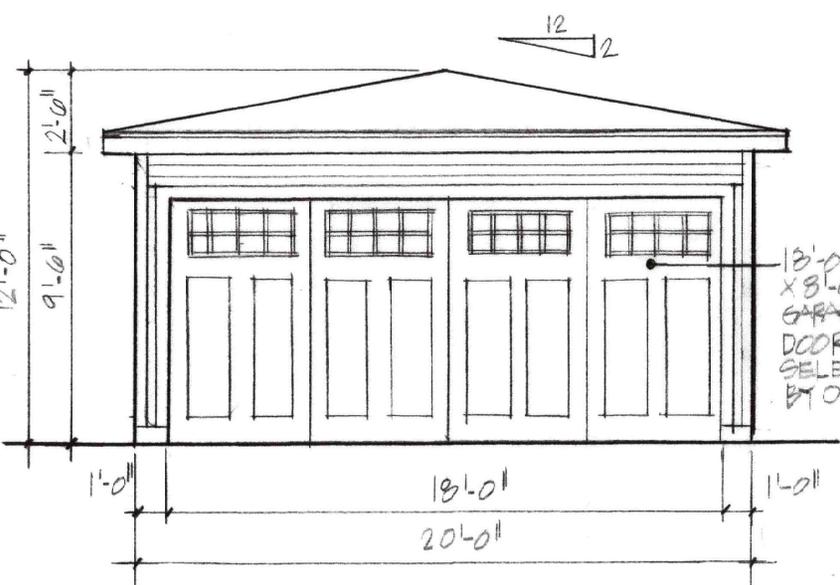


ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

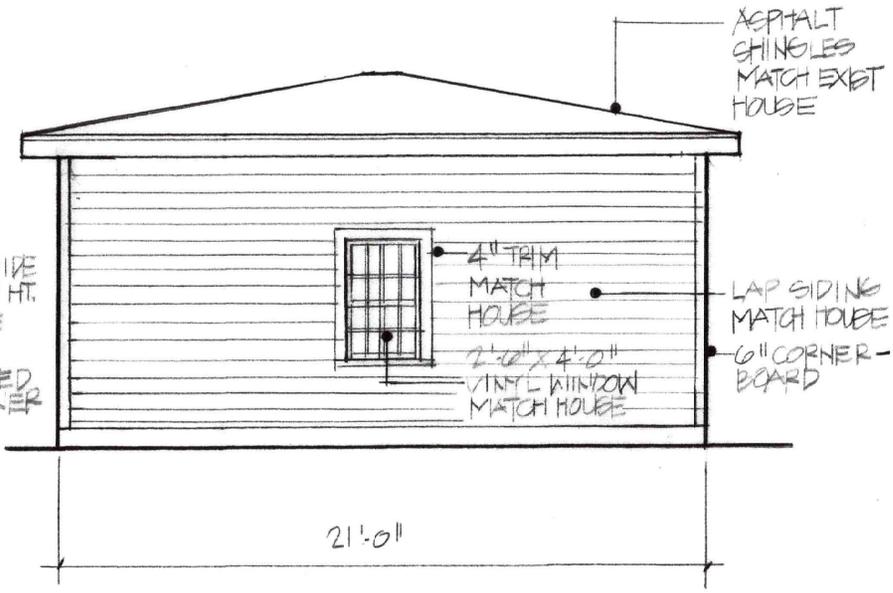


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Project
3 ADAMS STREET
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 3 Adams Street, Brookline, MA 02446
 Drawing Title: **ROOF PLAN AND ROOF FRAMING PLAN A3**
 Scale: 1/4" = 1'-0"
 Project No.: 2010 Date: 6.13.20



FRONT ELEVATION
Scale 1/4" = 1' - 0"

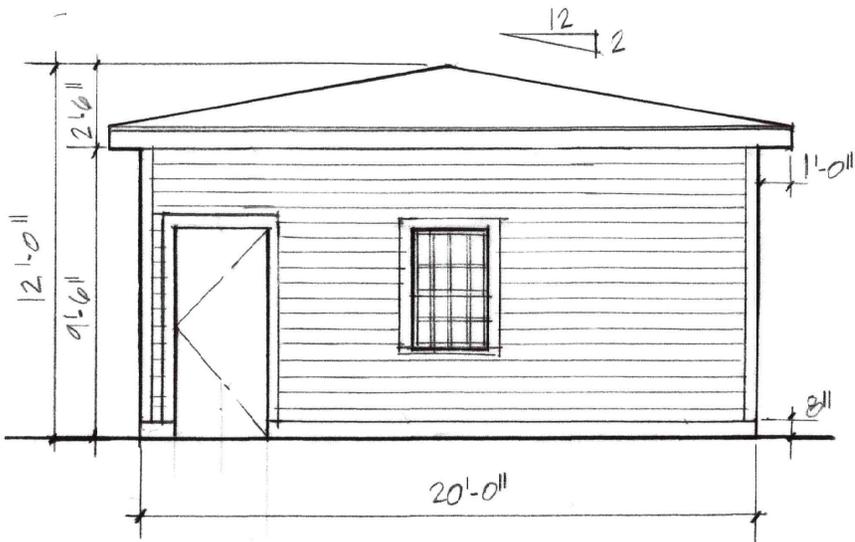


LEFT SIDE ELEVATION
Scale 1/4" = 1' - 0"

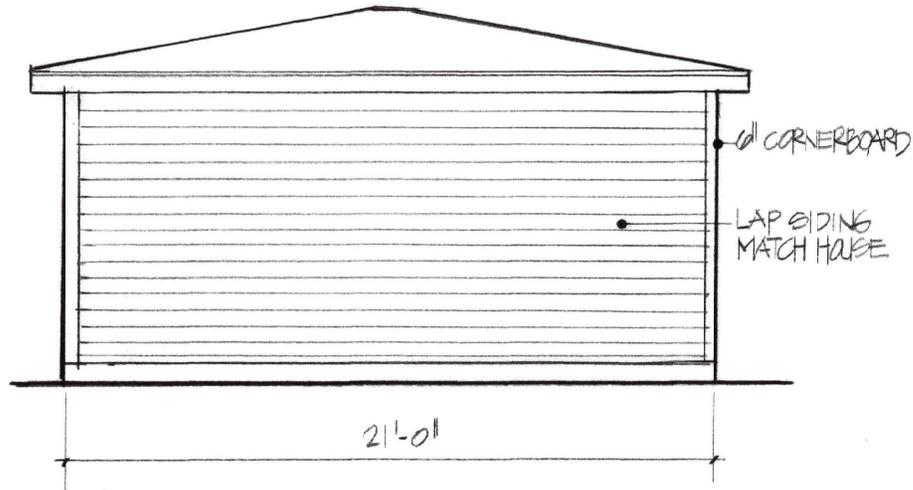
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Project
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 3 Adams Street, Brookline, MA 02446

Drawing Title: **FRONT ELEVATION AND LEFT SIDE ELEVATION A4**
 Scale: 1/4" = 1' - 0"
 Project No.: 2010 Date: 6.13.20



REAR ELEVATION
Scale 1/4" = 1' - 0"



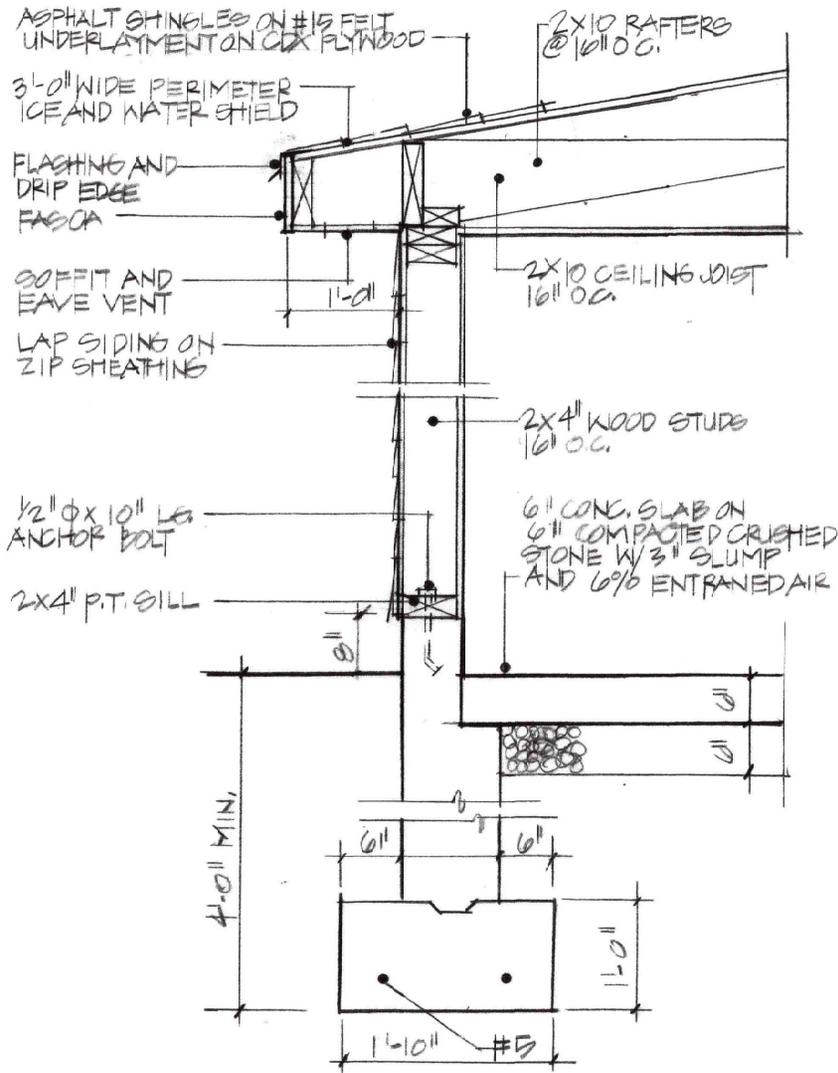
RIGHT SIDE ELEVATION
Scale 1/4" = 1' - 0"



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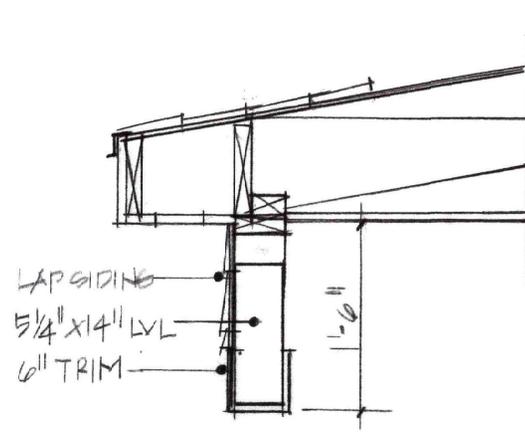
Project
3 ADAMS STREET
 Proposed Two Car Garage
 3 Adams Street, Brookline, MA 02446

Drawing Title: **REAR ELEVATION AND RIGHT SIDE ELEVATION AS**
 Scale: 1/4" = 1' - 0"
 Project No.: 2010 Date: 6.13.20



TYPICAL WALL SECTION

Scale 1" = 1' - 0"



GARAGE DOOR HEAD DETAIL

Scale 1" = 1' - 0"



Architect
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Project
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Drawing Title: **WALL SECTION AND GARAGE DOOR DETAIL A6**
 Scale: 1/4" = 1' - 0"
 Project No.: 2010 Date: 6.13.20